



WESTWOOD BOARD OF APPEALS
APPLICATION FOR HEARING

1. **Name of Applicant:** NSTAR Electric d/b/a Eversource Energy
2. **Applicant is (check one):** Owner Tenant Abutter Purchaser Other
3. **Mailing address of Applicant:** 107 Selden St, Berlin, CT 06037
4. **Telephone - Home:** _____ **Business:** (860) 665-6151
5. **E-Mail Address of Applicant:** mark.kimball@eversource.com
6. **Address of Property subject to Hearing:** 1 NSTAR Way, Westwood, MA 02090
7. **Owner of Property:** NSTAR Electric d/b/a Eversource Energy
8. **Mailing Address of Property Owner:** 107 Selden St, Berlin, CT 06037
9. **Telephone - Home:** _____ **Business:** (860) 665-6151
10. **Deed** recorded in: Norfolk County Registry of Deeds: Book # 587 Page # 19
or Land Court Registry: Certificate # _____ Book # _____ Page # _____
11. **Property** MAP # 37 LOT # 008 DISTRICT _____
12. Has an appeal/application ever been filed with the ZBA on this property? (Y/N) N If yes, when: _____
13. **NATURE of Application** (check one):
 Appeal in accordance with MA G.L.Ch. 40A, Sec. 8 as amended
 Special Permit in accordance with MA G.L.Ch.40A, Sec. 9 as amended
 Variance in accordance with MA G.L. Ch. 40A, Sec. 10 as amended

When applying for a Special Permit under Section 9.3 of the Westwood Zoning Bylaw, please make sure that you and/or your attorney refer to the specific bylaw regarding this section.

STATE the EXACT NATURE of this application including the applicable section number(s) of the Westwood Zoning Bylaw:

Installation of solar parking canopies within the existing paved areas of the site.

I hereby request a hearing before the Westwood Board of Appeals with reference to the subject property.

I am aware that the **cost of legal advertising** will be billed to me directly as the Applicant, by the newspaper at a later date. I am also aware of the provisions in the Zoning Bylaw with regard to **Reimbursement for Consultants**, and I agree to reimburse the Board of Appeals and the Town of Westwood for all costs incurred by the Town or its' Boards for all fees, expenses and costs in connection with the review and evaluation of the Application for Special Permit and/or Variance.

I have reviewed the Zoning Board of Appeals Instructions and Information and understand the time requirements.

Signed: M. K. W. L. Date: 8/15/17
APPLICANT'S SIGNATURE (or Agent)

Signed: M. K. W. L. Date: 8/15/17
PROPERTY OWNER (if different from applicant)

SCHEDULE OF FILING FEES FOR THE BOARD OF APPEALS

Residential Properties - \$165.00

Business Properties - \$330.00

Comprehensive Permits - \$2530.00

CHECKLIST:

- 6 copies of the Application
- 6 copies of the OPTIONAL Appendices (if completed)
- 6 copies of a Certified Plot Plan – size 11" x 17"
- 6 copies of the Building Plans (interior and/or exterior as applicable) – size 11" x 17"
- 6 copies of the Building Commissioner's denial of a building permit or equivalent

File the six (6) packets in the Town Clerk's office located at 580 High Street making sure to include a check for the filing fee in the correct amount.

Deliver one (1) electronic copy of the Application with attachments to the Office of the Board of Appeals at 50 Carby Street.

OPTIONAL

APPENDIX A – Variance Worksheet

The Variance must be with respect to particular land or structures.

- Parcel of Land: _____
- Structures: _____

There must be circumstances relating to soil conditions, shape, and topography of such land or structures and especially affecting such land or structures, but not affecting generally the zoning district in which it is located.

- Circumstances would be: _____

Literal enforcement of the provisions of the bylaw would involve substantial hardship, financial or otherwise, to the petitioner or appellant.

- Hardship would be: _____

Desirable relief may be granted without detriment to the public good and without nullifying or substantially derogating from the intent or purpose of such bylaw.

- Relief would be:

- Detriment would be:

- Intent or purpose of Bylaw section?

- Would the Variance nullify intent or purpose above?

- Is there any substantial derogating (lessening) of the intent or purpose and if so, what is it?

Plan on a minimum of three months to complete the process.

OPTIONAL

APPENDIX B - Special Permit Considerations

- The structure is in harmony with the general purpose and intent of the bylaw.

Please refer to attached cover letter

- The structure is in an appropriate location and is not detrimental to the neighborhood and does not significantly alter the character of the zoning district.

Please refer to attached cover letter

- Adequate and appropriate facilities will be provided for the proper operation of the proposed structure.

Please refer to attached cover letter

- The proposed structure will not be detrimental or offensive to the adjoining zoning districts and neighboring properties due to the effects of lighting, odors, smoke, noise, sewage, refuse material, visual or other nuisances.

Please refer to attached cover letter

- The proposed structure will not cause undue traffic congestion in the immediate area.

Please refer to attached cover letter

August 15, 2017

Ms. Sarah Bouchard, Zoning Agent
Zoning Board of Appeals
Town of Westwood, Massachusetts
50 Carby Street
Westwood, MA 02090

Re: **Eversource – Solar Canopy Project**
Special Permit Application

Dear Ms. Bouchard and Members of the Zoning Board of Appeals:

Weston & Sampson, on behalf of Eversource, is hereby providing the enclosed Special Permit Application and supporting documents for the proposed solar canopy project at the Eversource corporate offices on NSTAR Way. As the Building Inspector has advised us, the Project requires a Special Permit under section 4.3.2.7 of the Town's recently amended Zoning Bylaws.

The Project includes the installation of several "solar PV canopies" within the existing employee parking areas at the site. No new site disturbance or tree clearing is proposed. The canopies will provide shade and a degree of protection from rain and snow for employee parking, with the added benefit of also producing sustainable solar energy from the solar PV modules that comprise the roof of the canopies. Under-canopy lighting has been proposed for employee safety, but the lighting design is such that off-site lighting impacts are expected to be minimal.

The total generating capacity of the solar canopies is expected to be approximately 2,300 kW DC, with an annual output of approximately 2.5 million kWh. The electricity generated by the PV modules will be exported to the grid per utility regulations, but given historic usage data at the existing corporate offices it is anticipated that the offices will consume 100% of the annual generation from the PV modules.

The Project is part of Eversource's statewide program, approved by the Department of Public Utilities, to construct, own and operate up to 62 MW of solar energy projects. The program is designed to help Eversource cost-effectively meet its renewable energy goals under the State's Renewable Portfolio Standard, and to do so by utilizing available areas for solar panel deployment at its existing land holdings.

The following sections address the Project's compliance with section 10.3.3 of the Zoning Bylaw as well as the items listed in Appendix B of the Special Permit application:

Bylaw Section 10.3.3 Special Permit – Decision Factors

1. Social, economic or community needs which are served by the proposal.

The Project supports the overall renewable energy goals of the Commonwealth as set out initially in the Global Warming Solutions Act of 2008 and subsequent related legislation, and helps Eversource, a public utility, in complying with its own renewable energy goals and the regulatory provisions for utility-owned renewable generation established by the Massachusetts Department of Public Utilities.

2. Traffic flow and safety, including parking and loading.

The Project maintains the current adequacy of ingress/egress to the property with no adverse impact to parking or loading, or to pedestrian safety and convenience. The carport canopy structures will also provide a measure of shelter for employee and visitor parking from inclement weather. There are no changes proposed to off-street parking, traffic flow or emergency access, and there will be no additional traffic as a result of the Project.

3. Adequacy of utilities and other public services.

The Project will not create any substantive new impacts to existing utilities at the site. All current utilities and public services will remain unchanged.

4. Neighborhood character, aesthetics and social structures.

The Project is generally compatible with character of the existing Industrial/Office zoning district, and will have no detrimental aesthetic impact on the surrounding neighborhood.

5. Impacts on the natural environment.

The Project will be constructed entirely within previously disturbed areas of the site (parking lots). No new impervious areas will be created, and only minor tree pruning will be required in several locations.

6. Potential fiscal impact, including impact on town services, tax base and employment.

The Project will not have any substantive impacts on town services, tax base or employment.

Special Permit Application, Appendix B - Special Permit Considerations

The structure is in harmony with the general purpose and intent of the bylaw.

The Project is in harmony with the general purpose and intent of the bylaw in that the proposed use is compatible with the underlying zoning district and adjacent land uses, protects the health and safety of residents and visitors, does not impact the cultural and historic heritage of the community and promotes the general welfare through reduction of greenhouse gases and fossil fuel emissions.

The structure is in an appropriate location and is not detrimental to the neighborhood, and does not significantly alter the character of the zoning district.

The Project is located appropriately within an existing commercial parking lot and is not detrimental to the neighborhood, nor does the Project alter the character of the existing Industrial/Office zoning district. Existing landscaping and screening will be preserved.

Adequate and appropriate facilities will be provided for the proper operation of the proposed structure.

The Project will be owned and maintained by Eversource. The PV canopies are fixed, non-mechanical solar arrays and will operate with minimal required operational oversight. Routine maintenance consists of periodic visual inspection of the wiring connections and structural attachments as well as preventive maintenance on the associated inverters and transformers.

The proposed structure will not be detrimental or offensive to the adjoining zoning districts and neighboring properties due to the effects of lighting, odors, smoke, noise, sewage, refuse materials, visual or other nuisances.

The Project will not be detrimental or offensive to neighboring properties for any of the listed nuisances. The solar canopies will operate essentially silently with no nuisance emissions. Existing landscaping and screening will remain in place.

The proposed structure will not cause undue traffic congestion in the immediate area.

The Project will not generate additional traffic at the site.

We believe the project Proponent has developed a well-conceived Project, which complies with the Town of Westwood Zoning Bylaws, and we trust that the Zoning Board of Appeals will find the application worthy of approval. We look forward to discussing the project and will be available to answer any questions or address any comments at the next scheduled Zoning Board public hearing.

In the meantime, if you have any questions or require any additional information, please contact me in our Peabody, MA office at 978-532-1900 x 2221 or by e-mail at wiehes@wseinc.com.

Very truly yours,

WESTON & SAMPSON ENGINEERS, INC.



Stephen Paul Wiehe, PG
Project Manager

28678

*Building Permit - Commercial Projects – COMMERCIAL - NEW CONSTRUCTION

TIMELINE



Submission received

Aug 14, 2017 at 3:23pm



Permit Fee Deposit

Paid Aug 15, 2017 at 10:35am



Application Completeness Review

Completed Aug 15, 2017 at 10:35am



Sewer/Engineering Plan Review

Skipped Aug 15, 2017 at 10:55am



Planning Board Review

Skipped Aug 15, 2017 at 11:41am



Conservation Review

Completed Aug 16, 2017 at 10:06am



DPW/Highway Review

Skipped Aug 16, 2017 at 11:03am



Fire Department Review

Skipped Aug 16, 2017 at 11:05am



Health Department Review

Skipped Aug 16, 2017 at 11:05am



Building Department Review

In Progress



- Sewer Payment** 🗨️
Review by departmental staff
- Permit Fee Review**
Review by departmental staff
- Permit Fee**
Payment
- Permit Issuance**
Document
- Inspections**
Site visit to monitor compliance
- Final Inspections**
Site visit to monitor compliance
- Sewer As-Built**
Review by departmental staff
- Building COO Sign-off**
Review by departmental staff
- Certificate of Occupancy Issuance**
Document

Building Department Review MP Mike

MP Mike ✓ Aug 16th 2017, 11:21am

I have reviewed this application and determined that it requires a special permit issued by the Zoning

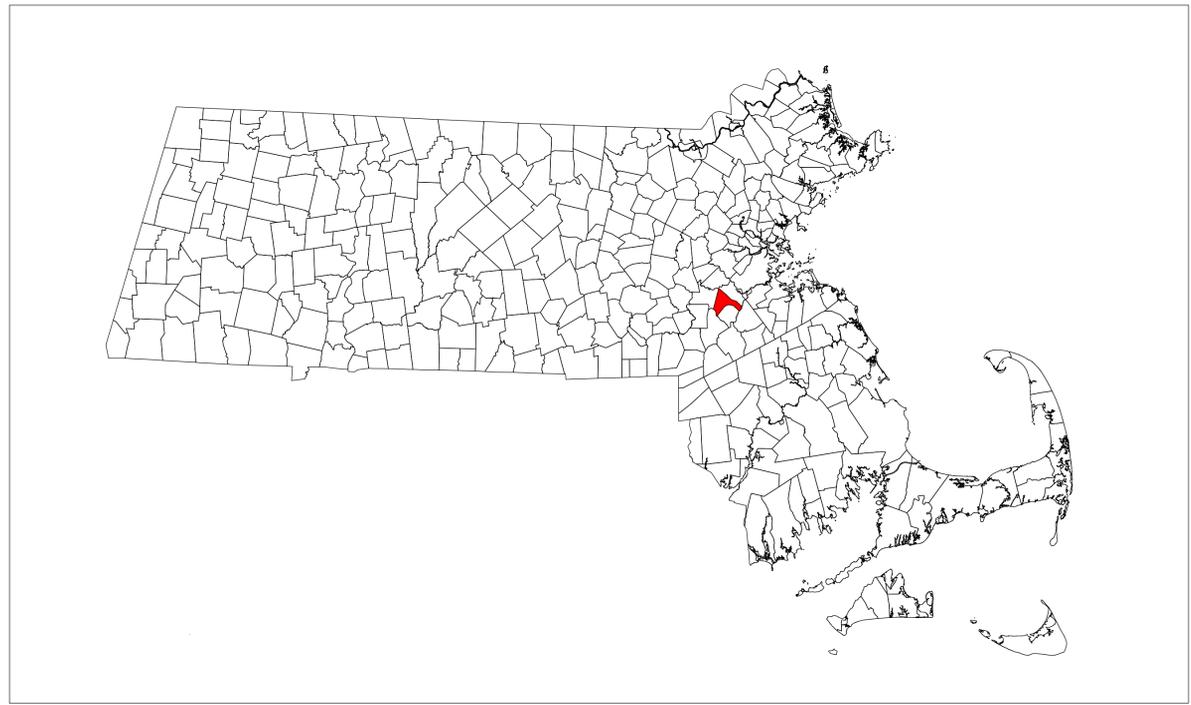
Board of
Appeals as per section 4.3.2.7 of the Westwood Zoning Bylaw.

EVERSOURCE - MASSACHUSETTS PHOTOVOLTAIC PROGRAM - ROUND II

PROPOSED ±2,270.4 kW-DC SOLAR PHOTOVOLTAIC (PV) PROJECT

1 NSTAR WAY
WESTWOOD, MA 02090

Project:
EVERSOURCE
EVERSOURCE ENERGY
P.O. BOX 5017
HARTFORD, CT. 06102
MASSACHUSETTS PHOTOVOLTAIC PROGRAM - ROUND II
1 NSTAR WAY
WESTWOOD, MA 02090



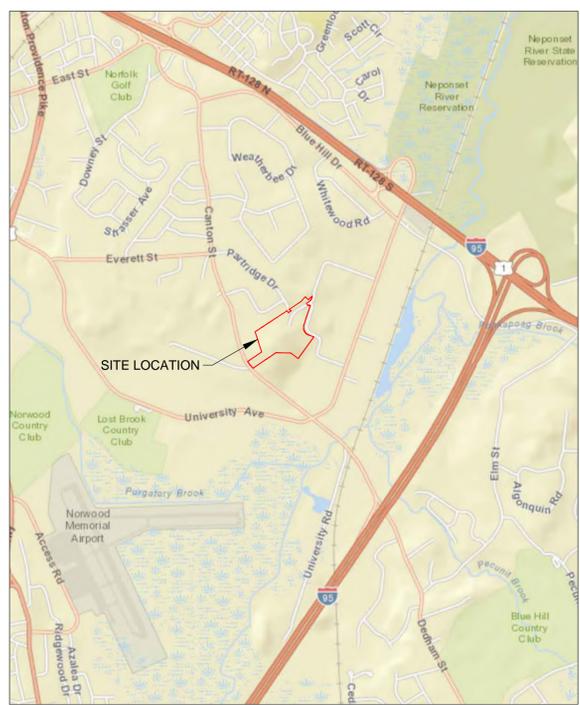
MASSACHUSETTS MUNICIPAL MAP
SCALE: N.T.S.

| PROJECT DIRECTORY | |
|--|--|
| DEVELOPER/APPLICANT: EVERSOURCE 107 SELDEN STREET BERLIN, CONNECTICUT 06037 CONTACT: MARK KIMBALL (860) 665-6151 | |
| ENGINEER: WESTON & SAMPSON ENGINEERS, INC. 5 CENTENNIAL DRIVE PEABODY, MASSACHUSETTS 01960 CONTACT: STEPHEN WIEHE, PG (978) 532-1900 | |
| UTILITY: EVERSOURCE 107 SELDEN STREET BERLIN, CONNECTICUT 06037 CONTACT: MARK KIMBALL (860) 665-6151 | |

| DRAWING INDEX | |
|---------------|--|
| SHEET | SHEET TITLE |
| T-1 | COVER SHEET |
| G-1 | GENERAL NOTES AND LEGEND |
| C-1 | EXISTING CONDITIONS PLAN |
| C-2 | EXISTING CONDITIONS PLAN WITH AERIAL |
| C-3 | EXISTING UTILITIES PLAN |
| C-4 | EXISTING LIGHTING PLAN |
| C-5 | EROSION AND SEDIMENTATION CONTROL PLAN |
| C-6 | PROPOSED DEMOLITION PLAN |
| C-7 | PROPOSED SITE PLAN |
| C-8 | PROPOSED LIGHTING PLAN |
| D-1 | DETAILS I |
| D-2 | DETAILS II |
| D-3 | DETAILS III |

| SOLAR PHOTOVOLTAIC (PV) SYSTEM DESCRIPTION | | |
|--|---|----------------|
| SYSTEM SIZE (@ STC) | ±2,270.4 kW (DC) | ±1,740 kW (AC) |
| MODULE | (5,676) 400 WATT | |
| TILT ANGLE | SEE CARPORT INFORMATION TABLE (G-1 SHEET) | |
| AZIMUTH | SEE CARPORT INFORMATION TABLE (G-1 SHEET) | |
| RACKING | SEE CARPORT INFORMATION TABLE (G-1 SHEET) | |
| INVERTER(S) | (29) 60 kW | |

Weston & Sampson
Weston & Sampson Engineers, Inc.
5 Centennial Drive Peabody, Massachusetts
(978) 532-1900 (800) Sampson
www.westonandsampson.com



SITE LOCUS MAP
SCALE: 1"= 2,000'



SITE LOCATION MAP (AERIAL VIEW)
SCALE: 1"=500'

| MAP / LOT: | INDUSTRIAL (I) ZONING TABLE (SEE NOTE 1) | | |
|--------------------------------|--|--------------|--------------|
| | REQUIRED* | EXISTING | PROPOSED** |
| 37_008 | | | |
| REGULATION REQUIREMENTS | | | |
| MIN. FRONT YARD SETBACK (FT.): | 50 | ±153 | ±50 |
| MIN. SIDE YARD SETBACK (FT.): | 15 | ±252 | ±139 |
| MIN. REAR YARD SETBACK (FT.): | 15 | ±45 | ±45 |
| MIN. LOT AREA (SQ. FT.): | 40,000 | ±1,191,801.6 | ±1,191,801.6 |
| BUILDING COVERAGE (SQ. FT.): | ±595,900.8 | ±114,808.84 | ±246,399.46 |
| MAX. BUILDING COVERAGE (%): | 50 | ±9.64 | ±41.35 |
| IMPERVIOUS AREA (SQ. FT.): | ±953,441.28 | ±650,000 | ±651,000 |
| MAX. IMPERVIOUS COVERAGE (%): | 80 | ±54.54 | ±54.63 |

INDUSTRIAL (I) NOTES:
*SETBACKS AND QUANTITIES PER TABLE 5.2 DIMENSIONAL REQUIREMENTS OF THE WESTWOOD BYLAWS.
**PROPOSED SETBACKS AND QUANTITIES ARE APPROXIMATE AND SUBJECT TO CHANGE BASED ON FINAL ENGINEERED DESIGN. FINAL PROPOSED SETBACKS AND DIMENSIONS SHALL BE DESIGNED TO MEET MINIMUM ZONING REQUIREMENTS.

| SITE INFORMATION TABLE (SEE NOTE 1) | |
|-------------------------------------|--|
| LOCATION: | ONE NSTAR WAY |
| MAP / LOT: | 37_008 |
| USE CODE: | 3400 |
| LAND OWNER: | NSTAR ELECTRIC COMPANY |
| OWNER ADDRESS: | P.O. BOX 270 |
| OWNER CITY: | HARTFORD |
| OWNER STATE: | CONNECTICUT |
| OWNER ZIP: | 06141-0270 |
| ZONING: | INDUSTRIAL (I) |
| OVERLAY DISTRICTS: | ACCESS APPROVAL OVERLAY DISTRICT (AAOD) FLEXIBLE MULTIPLE USE OVERLAY DISTRICT (FMUOD1) |
| PARCEL AREA: | ±27.36 ACRES (±1,191,801.6 SQ. FT.) |

| Revisions: | | |
|------------|------|-------------|
| Rev | Date | Description |
| | | |
| | | |
| | | |
| | | |



JOB NO. 2170318.B
PERMIT SET
NOT FOR CONSTRUCTION

Date: 08.15.17
Scale: AS SHOWN
Designed By: RWG
Reviewed By: RWG
Checked By: SPW
Approved By: FMR

Drawing Title:
COVER SHEET
Sheet Number:
T-1

NOTE:
1. EXISTING CONDITIONS AND SITE INFORMATION FROM THE ZONING BYLAW OF THE TOWN OF WESTWOOD, TOWN OF WESTWOOD GIS AND MASSACHUSETTS GIS. ALL QUANTITIES ARE APPROXIMATE.

I:\wse03_local\WSE\Projects\Private\Eversource Energy\MA Solar\IICAD\Solar Canopy\Site 55 - Westwood\0-T-1-Westwood_rev0.dwg

\\wse03.local\WSE\Projects\Private\Eversource Energy\MA Solar \ICAD\Solar Canopy\Site 55 - Westwood\G-1-Westwood_rev1.dwg

LEGEND

- DRAIN MANHOLE
- CATCH BASIN
- ⊙ SEWER MANHOLE
- ⊙ ELECTRIC MANHOLE
- ⊙ TELEPHONE MANHOLE
- MANHOLE
- HH - HANDHOLE
- BOLLARD
- WATER GATE
- FIRE HYDRANT
- GAS GATE
- STREET SIGN
- * LIGHT POLE
- UTILITY POLE
- GUY POLE
- GUY WIRE
- MONITORING WELL
- WELL
- ▶ FLOOD LIGHT
- ⊙ TOTAL PARKING SPACES
- ♿ HANDICAP SYMBOL
- * SHRUB
- SMALL TREE
- ⊙ FLAG POLE
- ▬ STRAW WATTLE (PROPOSED)
- ▬ PV MODULES (PROPOSED)
- ↑ F.F.E.=45.27 FINISHED FLOOR ELEVATION
- EOP— EDGE OF PAVEMENT
- CC— CONCRETE CURB
- VGC— VERTICAL GRANITE CURB
- SGE— SLOPED GRANITE EDGE
- BB— BITUMINOUS BERM
- BC— BITUMINOUS CURB
- — GUARD RAIL-STEEL POST
- — GUARD RAIL-WOOD POST
- — CHAIN LINK FENCE
- — STOCKADE FENCE
- — DRAINAGE LINE
- — SEWER LINE
- — OVERHEAD WIRE
- — UNDERGROUND ELECTRIC
- — TELEPHONE LINE
- — GAS LINE
- — GAS LINE (FROM PROPOSED PLANS)
- — WATER LINE
- — WATER LINE (FROM PROPOSED PLANS)
- — STONE WALL
- — TREE LINE
- — LIMIT OF BANK
- — BFI-100 WETLAND BOUNDARY
- — WF1-100
- — EXISTING PAVEMENT
- — PROPERTY LINE
- — PROPERTY SETBACK LINE
- — CARPORT LIMIT (PROPOSED)

PROTECTION OF EXISTING PROPERTY:

1. THE WORK SHALL BE EXECUTED IN SUCH A MANNER AS TO PREVENT ANY DAMAGE TO FACILITIES AT THE SITE AND ADJACENT PROPERTY AND EXISTING IMPROVEMENTS SUCH AS, BUT NOT LIMITED TO, STREETS, CURBS, PAVING, SERVICE UTILITY LINES, STRUCTURES, MONUMENTS, BENCH MARKS, OBSERVATION WELLS, AND OTHER PUBLIC OR PRIVATE PROPERTY. PROTECT EXISTING IMPROVEMENTS FROM DAMAGE CAUSED BY SETTLEMENT, LATERAL MOVEMENTS, UNDERMINING, WASHOUT AND OTHER HAZARDS CREATED BY EARTHWORK OPERATIONS.
2. IN CASE OF ANY DAMAGE OR INJURY CAUSED IN THE PERFORMANCE OF THE WORK, THE CONTRACTOR SHALL, AT ITS OWN EXPENSE, MAKE REPAIR/REPLACE OF SUCH DAMAGE OR INJURY TO THE SATISFACTION OF, AND WITHOUT COST TO, THE OWNER. EXISTING ROADS, SIDEWALKS, AND CURBS DAMAGED DURING THE PROJECT WORK SHALL BE REPAIRED OR REPLACED TO AT LEAST THE PRE-CONSTRUCTION CONDITION. THE CONTRACTOR SHALL REPLACE, AT HIS OWN COST, EXISTING BENCHMARKS, OBSERVATION WELLS, MONUMENTS, AND OTHER REFERENCE POINTS WHICH ARE DISTURBED OR DESTROYED.
3. BURIED DRAINAGE STRUCTURES AND PIPES, OBSERVATION WELLS, PIEZOMETERS, INCLUDING THOSE WHICH PROJECT LESS THAN EIGHTEEN INCHES (18") ABOVE GRADE, WHICH ARE SUBJECT TO DAMAGE FROM CONSTRUCTION EQUIPMENT SHALL BE CLEARLY MARKED TO INDICATE THE HAZARD. MARKERS SHALL INDICATE LIMITS OF DANGER AREAS, BY MEANS WHICH WILL BE CLEARLY VISIBLE TO OPERATORS OF TRUCKS AND OTHER CONSTRUCTION EQUIPMENT, AND SHALL BE MAINTAINED AT ALL TIMES UNTIL COMPLETION OF PROJECT.

DRAINAGE:

1. THE CONTRACTOR SHALL PROVIDE, AT ITS OWN EXPENSE, ADEQUATE DRAINAGE FACILITIES TO COMPLETE ALL WORK ITEMS IN AN ACCEPTABLE MANNER. DRAINAGE SHALL BE DONE IN A MANNER SO THAT RUNOFF WILL NOT ADVERSELY AFFECT CONSTRUCTION PROCEDURES NOR CAUSE EXCESSIVE DISTURBANCE OF UNDERLYING NATURAL GROUND OR ADJUTING PROPERTIES.

FROST PROTECTION AND SNOW REMOVAL:

1. THE CONTRACTOR SHALL, AT ITS OWN EXPENSE, KEEP EARTHWORK OPERATIONS CLEAR AND FREE OF ACCUMULATIONS OF SNOW AS REQUIRED TO CARRY OUT THE WORK.
2. THE CONTRACTOR SHALL PROTECT THE SUBGRADE BENEATH NEW STRUCTURES AND PIPES FROM FROST PENETRATION WHEN FREEZING TEMPERATURES ARE EXPECTED.

CONSTRUCTION NOTES:

1. THE CONTRACTOR SHALL CALL DIGSAFE AT 811 OR 1-888-344-7233 AT LEAST 72 HOURS, SATURDAYS, SUNDAYS, AND HOLIDAYS EXCLUDED, PRIOR TO EXCAVATING AT ANY LOCATION. A COPY OF THE DIGSAFE PROJECT REFERENCE NUMBER(S) SHALL BE GIVEN TO THE OWNER PRIOR TO EXCAVATION.
2. LOCATIONS OF EXISTING PIPES, CONDUITS, UTILITIES, FOUNDATIONS AND OTHER UNDERGROUND OBJECTS ARE NOT WARRANTED TO BE CORRECT AND THE CONTRACTOR SHALL HAVE NO CLAIM ON THAT ACCOUNT SHOULD THEY BE OTHER THAN SHOWN. CONTRACTOR TO RELOCATE ANY EXISTING UTILITIES FOUND TO BE IN CONFLICT WITH FOUNDATION LOCATIONS.
3. STONE WALLS, FENCES, CURBS, ETC. SHALL BE REMOVED AND REPLACED AS NECESSARY TO PERFORM THE WORK. UNLESS OTHERWISE INDICATED, ALL SUCH WORK SHALL BE INCIDENTAL TO CONSTRUCTION OF THE PROJECT.
4. ALL AREAS DISTURBED BY THE CONTRACTOR BEYOND PAYMENT LIMITS SHALL BE RESTORED AT NO ADDITIONAL COST TO THE OWNER.
5. THE FOLLOWING NOTES ARE PROVIDED AS A SUMMARY REFERENCE FOR THE CONTRACTOR ONLY. THE REQUIREMENTS IN THE FULL SPECIFICATIONS FOR THE PROJECT SHALL BE FOLLOWED BY THE CONTRACTOR. IN THE EVENT OF A CONFLICT BETWEEN THE DRAWINGS AND THE SPECIFICATIONS, THE ENGINEER SHALL DETERMINE THE CORRECT REQUIREMENTS.
6. PRIOR TO CONSTRUCTION, CONTRACTOR TO SUBMIT A CONSTRUCTION SEQUENCE/TRAFFIC AND CONSTRUCTION PARKING PLAN. PLAN SHALL DETAIL CONSTRUCTION PHASING TIED TO SCHEDULE, TRAFFIC FLOW AND PARKING AREAS TO BE USED DURING CONSTRUCTION.

| CARPORT INFORMATION TABLE* | | | | | | | | |
|----------------------------|--------------|--------------|-------------|-------------------------|-------------------|---------------|-------------------------|------------------|
| CARPORT | CARPORT TYPE | LENGTH (FT.) | WIDTH (FT.) | TILT (DEGREES) | AZIMUTH (DEGREES) | MODULE QTY. | SYSTEM SIZE kW (DC) | FOUNDATIONS QTY. |
| 1 | DUAL-TILT | ±300.6522 | ±41.6688 | ±1 (L.S.) / ±7 (H.S.)** | ±146 | ±540 | ±216 | 10 |
| 2 | DUAL-TILT | ±240.5135 | ±41.6688 | ±1 (L.S.) / ±7 (H.S.)** | ±146 | ±432 | ±172.8 | 8 |
| 3 | DUAL-TILT | ±220.4672 | ±41.6688 | ±1 (L.S.) / ±7 (H.S.)** | ±146 | ±396 | ±158.4 | 8 |
| 4 | DUAL-TILT | ±193.7388 | ±41.6688 | ±1 (L.S.) / ±7 (H.S.)** | ±146 | ±348 | ±139.2 | 7 |
| 5 | DUAL-TILT | ±180.3747 | ±41.6688 | ±1 (L.S.) / ±7 (H.S.)** | ±146 | ±324 | ±129.6 | 6 |
| 6 | DUAL-TILT | ±180.3747 | ±41.6688 | ±1 (L.S.) / ±7 (H.S.)** | ±146 | ±324 | ±129.6 | 6 |
| 7 | DUAL-TILT | ±180.3747 | ±41.6688 | ±1 (L.S.) / ±7 (H.S.)** | ±146 | ±324 | ±129.6 | 6 |
| 8 | DUAL-TILT | ±193.7388 | ±41.6688 | ±1 (L.S.) / ±7 (H.S.)** | ±146 | ±348 | ±139.2 | 7 |
| 9 | DUAL-TILT | ±187.0568 | ±34.8213 | ±1 (L.S.) / ±7 (H.S.)** | ±180 | ±280 | ±112 | 8 |
| 10 | DUAL-TILT | ±153.6463 | ±41.6688 | ±1 (L.S.) / ±7 (H.S.)** | ±198 | ±276 | ±110.4 | 6 |
| 11 | DUAL-TILT | ±73.4163 | ±41.6688 | ±1 (L.S.) / ±7 (H.S.)** | ±214 | ±132 | ±52.8 | 3 |
| 12 | DUAL-TILT | ±120.2359 | ±41.6688 | ±1 (L.S.) / ±7 (H.S.)** | ±94 | ±216 | ±86.4 | 5 |
| 13 | DUAL-TILT | ±120.2359 | ±41.6688 | ±1 (L.S.) / ±7 (H.S.)** | ±107 | ±216 | ±86.4 | 5 |
| 14 | DUAL-TILT | ±173.6926 | ±41.6688 | ±1 (L.S.) / ±7 (H.S.)** | ±120 | ±312 | ±124.8 | 7 |
| 15 | SINGLE-SIDED | ±146.9642 | ±27.1233 | ±7 | ±108 | ±176 | ±70.4 | 5 |
| 16 | DUAL-TILT | ±66.7792 | ±41.6688 | ±1 (L.S.) / ±7 (H.S.)** | ±108 | ±120 | ±48 | 3 |
| 17 | DUAL-TILT | ±193.7388 | ±41.6688 | ±1 (L.S.) / ±7 (H.S.)** | ±108 | ±348 | ±139.2 | 7 |
| 18 | DUAL-TILT | ±314.0164 | ±41.6688 | ±1 (L.S.) / ±7 (H.S.)** | ±108 | ±564 | ±225.6 | 11 |
| TOTALS | | | | | | ±5,676 | ±2,270.4 kW (DC) | 118 |

CARPORT INFORMATION TABLE NOTES:

*PROPOSED DIMENSIONS AND QUANTITIES ARE APPROXIMATE AND SUBJECT TO CHANGE BASED ON FINAL ENGINEERED DESIGN. FINAL PROPOSED SETBACKS AND DIMENSIONS SHALL BE DESIGNED TO MEET MINIMUM ZONING REQUIREMENTS.
 **LOW SIDE (L.S.) AND HIGH SIDE (H.S.) TILT ANGLES FOR DUAL-TILTED CARPORTS.

Project:

EVERSOURCE
EVERSOURCE ENERGY
 P.O. BOX 5017
 HARTFORD, CT. 06102
MASSACHUSETTS
PHOTOVOLTAIC
PROGRAM - ROUND II
1 NSTAR WAY
WESTWOOD, MA
02090

Weston & Sampson

Weston & Sampson Engineers, Inc.
 5 Centennial Drive Peabody, Massachusetts
 (978) 532-1900 (800) Sampson
 www.westonandsampson.com

Revisions:

| Rev | Date | Description |
|-----|------|-------------|
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

Seal:



JOB NO. 2170318.B
PERMIT SET
NOT FOR CONSTRUCTION

Date: 08.15.17

Scale: AS SHOWN

Designed By: RWG

Reviewed By: RWG

Checked By: SPW

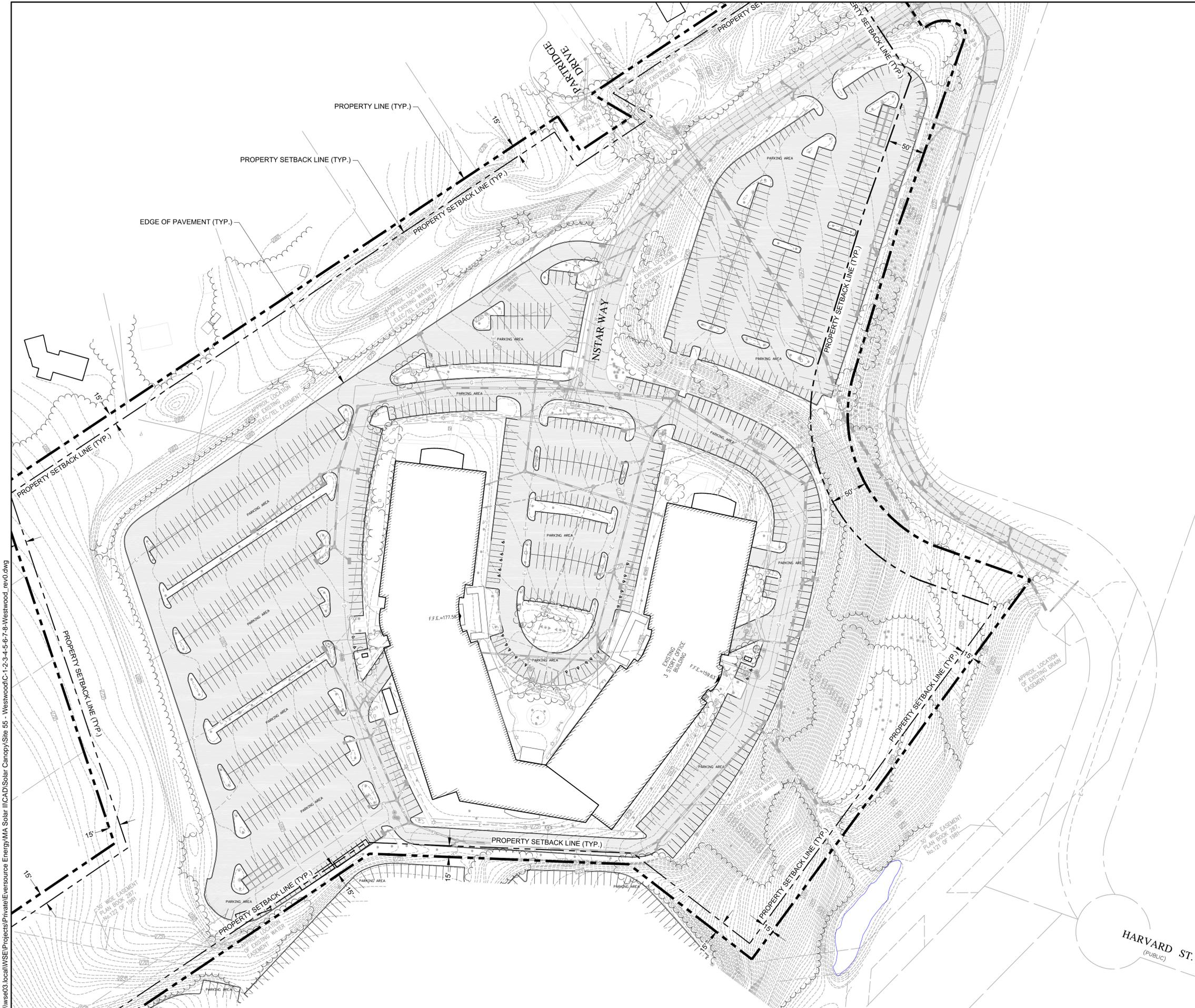
Approved By: FMR

Drawing Title:

GENERAL NOTES
AND LEGEND

Sheet Number:

G-1



I:\se03_local\SE\Projects\Private\Eversource Energy\MA Solar\ICAD\Solar Canopy\Site 55 - Westwood\C-1-2-3-4-5-6-7-8-Westwood_rev0.dwg

Project:
EVERSOURCE
 EVERSOURCE ENERGY
 P.O. BOX 5017
 HARTFORD, CT. 06102
 MASSACHUSETTS
 PHOTOVOLTAIC
 PROGRAM - ROUND II
 1 NSTAR WAY
 WESTWOOD, MA
 02090

Weston & Sampson
 Weston & Sampson Engineers, Inc.
 5 Centennial Drive Peabody, Massachusetts
 (978) 532-1900 (800) Sampson
 www.westonandsampson.com

NOTES:

- BASE LAYOUT DESIGN FROM EVERSOURCE ENERGY EXISTING CONDITIONS PLAN, "EXISTING CONDITIONS PLAN OF LAND NSTAR WAY - WESTWOOD, MASSACHUSETTS", PROVIDED TO WESTON & SAMPSON AND USED BY PERMISSION FROM OWNER.
- NOTES ON THIS LAYOUT FROM EVERSOURCE ENERGY EXISTING CONDITIONS PLAN, "EXISTING CONDITIONS PLAN OF LAND NSTAR WAY - WESTWOOD, MASSACHUSETTS", PROVIDED TO WESTON & SAMPSON AND USED BY PERMISSION FROM OWNER.

GENERAL NOTES:

- THE OWNER OF RECORD AT THE TIME OF THE SURVEY IS: NSTAR ELECTRIC COMPANY
- THE PROPERTY LINES SHOWN WERE DETERMINED BY ACTUAL FIELD SURVEY CONDUCTED IN APRIL 2017 WITH AN ERROR OF CLOSURE LESS THAN 1:10,000 AND PLANS AND DEEDS OF RECORD
- THE EXISTING CONDITION SHOWN ON THIS PLAN ARE BASED UPON AN AERIAL PHOTOGRAMMETRY SURVEY PERFORMED BY AEROTECH IN APRIL 2017, AND SUPPLEMENTED WITH ON-THE-GROUND FIELD SURVEY PERFORMED BY VHB, INC. IN APRIL 2017
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD OBSERVATIONS AND INFORMATION OF RECORD. THEY ARE NOT WARRANTED TO BE EXACTLY LOCATED NOR IS IT WARRANTED THAT ALL UNDERGROUND UTILITIES OR OTHER STRUCTURES ARE SHOWN ON THIS PLAN.
- HORIZONTAL DATUM IS N.A.D. 1983.
- CONTOURS AND SPOT ELEVATIONS SHOWN ARE BASED UPON N.A.V.D. 1988.
- MAP 37 LOT 8 LIES ENTIRELY WITHIN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL FLOODPLAIN) AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR NORFOLK COUNTY, MASSACHUSETTS MAP NUMBER 25021C0183E, EFFECTIVE DATE JULY 17, 2012.
- MAP 37 LOT B LIES ENTIRELY WITHIN THE INDUSTRIAL (I) ZONING DISTRICT AS DEFINED BY THE WESTWOOD ZONING ORDINANCE, DIMENSIONAL REQUIREMENTS FOR THE INDUSTRIAL (I) DISTRICT AT THE TIME OF THE SURVEY ARE AS FOLLOWS:
 MINIMUM LOT AREA: 40,000 SF
 MINIMUM FRONTAGE: 200 FEET
 MINIMUM LOT WIDTH: 200 FEET
 MINIMUM NONWETLAND AREA: 12,000 SF
 MINIMUM FRONT YARD SETBACK: 50 FEET
 MINIMUM SIDE YARD SETBACK: 15 FEET
 MINIMUM REAR YARD SETBACK: 15 FEET
 MINIMUM BUILDING COVERAGE: 50%
 MINIMUM IMPERVIOUS SURFACE: 80%
- 1,131 PARKING SPACES WERE OBSERVED ON LOCUS.

Revisions:

| Rev | Date | Description |
|-----|------|-------------|
| | | |
| | | |
| | | |

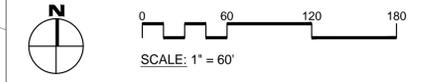


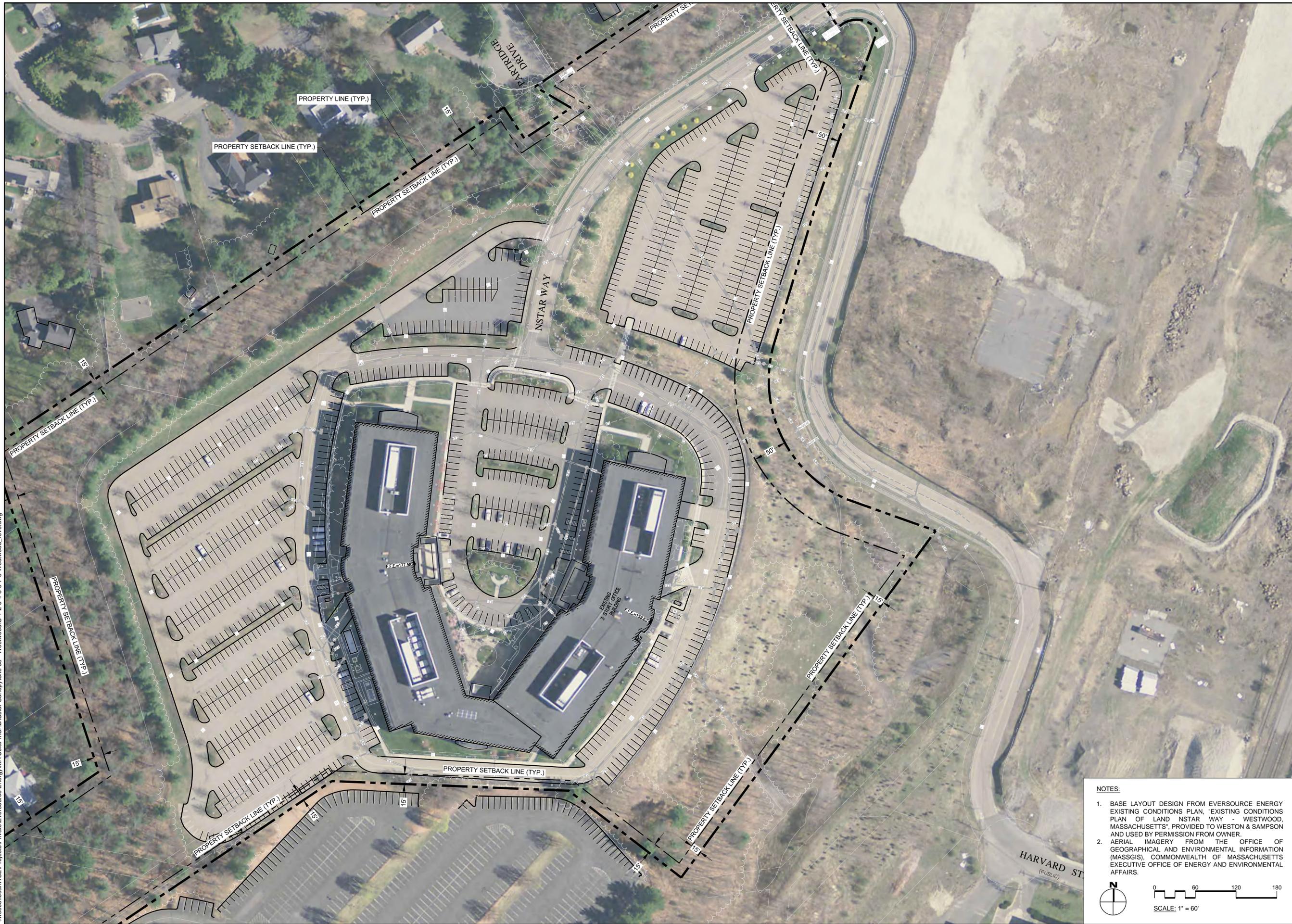
JOB NO. 2170318.B
PERMIT SET
NOT FOR CONSTRUCTION

Date: 08.15.17
 Scale: AS SHOWN
 Designed By: RWG
 Reviewed By: RWG
 Checked By: SPW
 Approved By: FMR

Drawing Title:
EXISTING CONDITIONS PLAN

Sheet Number:
C-1





I:\wse03_local\WSE\Projects\Private\Eversource Energy\MA Solar I\CAD\Solar Canopy\Site 55 - Westwood\C-1-2-3-4-5-6-7-8-Westwood_rev0.dwg

Project:
EVERSOURCE
 EVERSOURCE ENERGY
 P.O. BOX 5017
 HARTFORD, CT. 06102
 MASSACHUSETTS
 PHOTOVOLTAIC
 PROGRAM - ROUND II
 1 NSTAR WAY
 WESTWOOD, MA
 02090

Weston & Sampson
 Weston & Sampson Engineers, Inc.
 5 Centennial Drive Pasbody, Massachusetts
 (978) 532-1900 (800) Sampson
 www.westonandsampson.com

Revisions:

| Rev | Date | Description |
|-----|------|-------------|
| | | |
| | | |
| | | |
| | | |



JOB NO. 2170318.B
PERMIT SET
NOT FOR CONSTRUCTION

Date: 08.15.17
 Scale: AS SHOWN
 Designed By: RWG
 Reviewed By: RWG
 Checked By: SPW
 Approved By: FMR

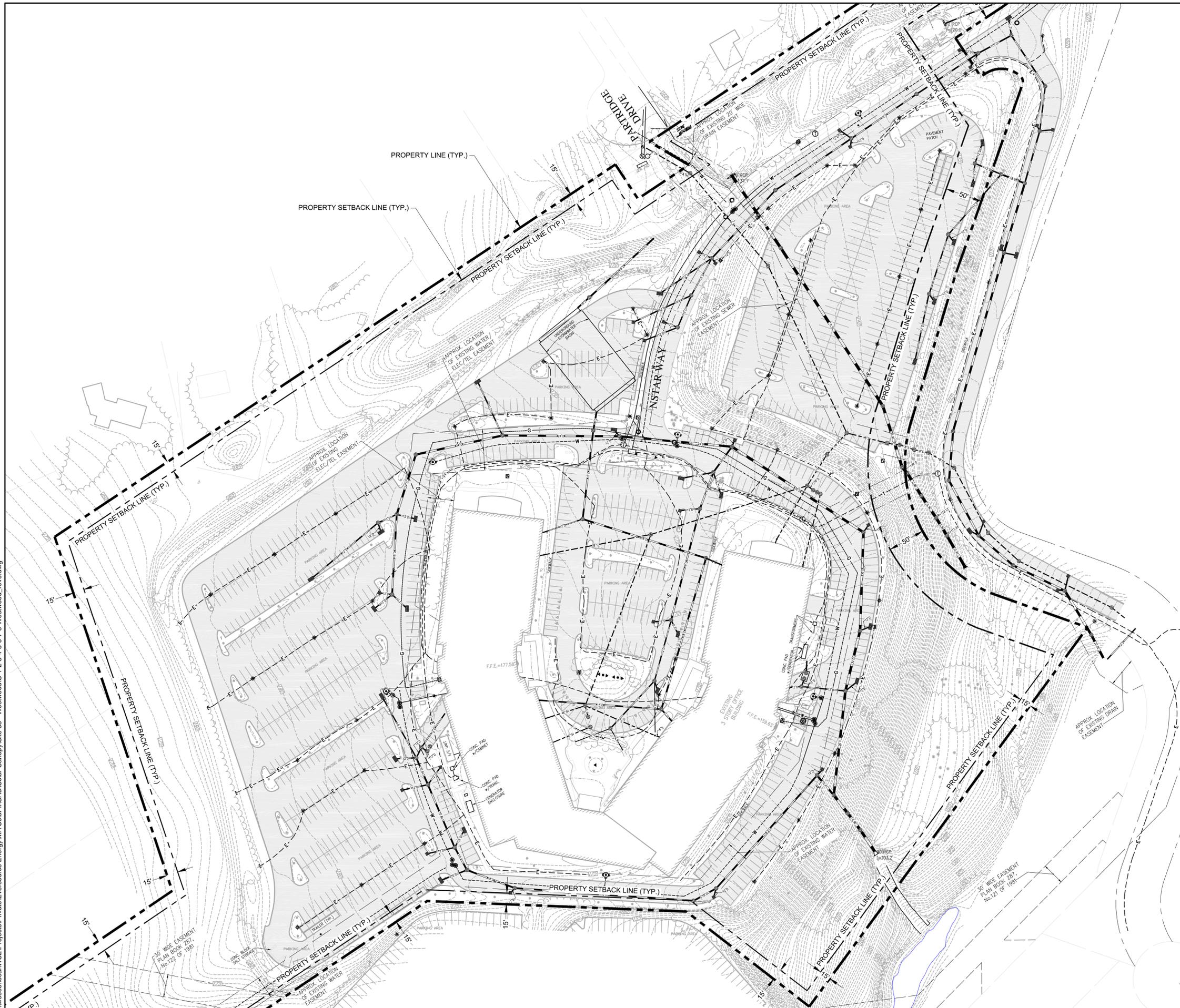
Drawing Title:
**EXISTING CONDITIONS
 PLAN WITH AERIAL**
 Sheet Number:
C-2

NOTES:

1. BASE LAYOUT DESIGN FROM EVERSOURCE ENERGY EXISTING CONDITIONS PLAN, "EXISTING CONDITIONS PLAN OF LAND NSTAR WAY - WESTWOOD, MASSACHUSETTS", PROVIDED TO WESTON & SAMPSON AND USED BY PERMISSION FROM OWNER.
2. AERIAL IMAGERY FROM THE OFFICE OF GEOGRAPHICAL AND ENVIRONMENTAL INFORMATION (MASSGIS), COMMONWEALTH OF MASSACHUSETTS EXECUTIVE OFFICE OF ENERGY AND ENVIRONMENTAL AFFAIRS.

SCALE: 1" = 60'

\\ms03.local\MS03\Projects\Private\Eversource Energy\MA Solar\IICAD\Solar Canopy\Site 55 - Westwood\C-1-2-3-4-5-6-7-8-Westwood_rev0.dwg



NOTES:

1. BASE LAYOUT DESIGN FROM EVERSOURCE ENERGY EXISTING CONDITIONS PLAN, "EXISTING CONDITIONS PLAN OF LAND NSTAR WAY - WESTWOOD, MASSACHUSETTS", PROVIDED TO WESTON & SAMPSON AND USED BY PERMISSION FROM OWNER.
2. CONTRACTOR TO LOCATE ALL EXISTING UNDERGROUND/OVERHEAD UTILITIES PRIOR TO CONSTRUCTION.




 SCALE: 1" = 60'

Project:

EVERSOURCE

EVERSOURCE ENERGY
 P.O. BOX 5017
 HARTFORD, CT. 06102

MASSACHUSETTS
 PHOTOVOLTAIC
 PROGRAM - ROUND II

1 NSTAR WAY
 WESTWOOD, MA
 02090

Weston & Sampson

Weston & Sampson Engineers, Inc.
 5 Centennial Drive Pasbody, Massachusetts
 (978) 532-1900 (800) Sampson
 www.westonandsampson.com

Revisions:

| Rev | Date | Description |
|-----|------|-------------|
| | | |
| | | |
| | | |
| | | |
| | | |



JOB NO. 2170318.B
PERMIT SET
NOT FOR CONSTRUCTION

Date: 08.15.17

Scale: AS SHOWN

Designed By: RWG

Reviewed By: RWG

Checked By: SPW

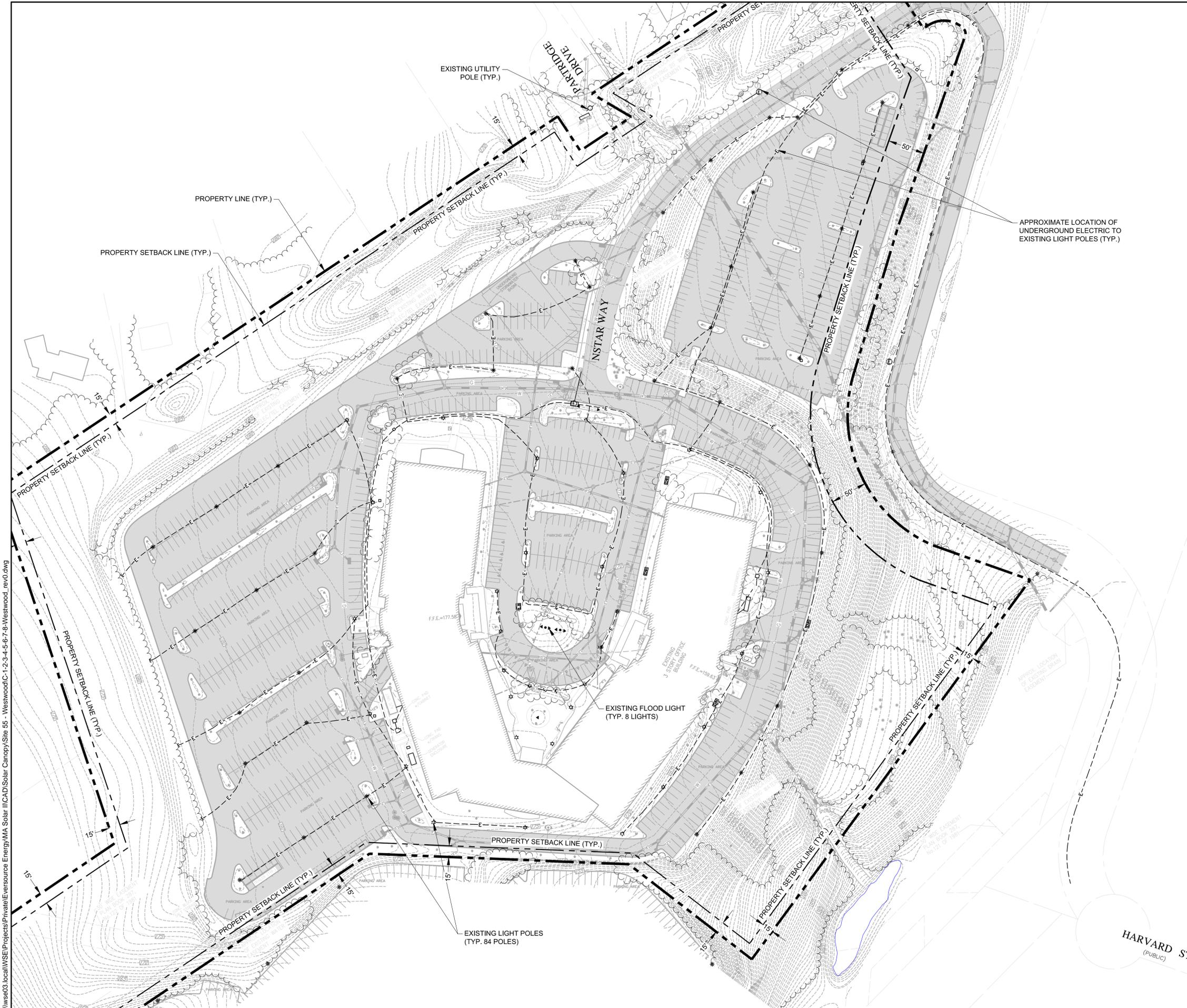
Approved By: FMR

Drawing Title:

EXISTING UTILITIES PLAN

Sheet Number:

C-3



I:\se03_local\SE\Projects\Private\Eversource Energy\MA Solar I\ICAD\Solar Canopy\Site 55 - Westwood\1-2-3-4-5-6-7-8-Westwood_rev0.dwg

Project:
EVERSOURCE
 EVERSOURCE ENERGY
 P.O. BOX 5017
 HARTFORD, CT. 06102
 MASSACHUSETTS
 PHOTOVOLTAIC
 PROGRAM - ROUND II
 1 NSTAR WAY
 WESTWOOD, MA
 02090

Weston & Sampson
 Weston & Sampson Engineers, Inc.
 5 Centennial Drive Peabody, Massachusetts
 (978) 532-1900 (800) Sampson
 www.westonandsampson.com

Revisions:

| Rev | Date | Description |
|-----|------|-------------|
| | | |
| | | |
| | | |
| | | |
| | | |



JOB NO. 2170318.B
PERMIT SET
NOT FOR CONSTRUCTION

Date: 08.15.17
 Scale: AS SHOWN
 Designed By: RWG
 Reviewed By: RWG
 Checked By: SPW
 Approved By: FMR

Drawing Title:
EXISTING LIGHTING PLAN
 Sheet Number:
C-4

NOTES:

- BASE LAYOUT DESIGN FROM EVERSOURCE ENERGY EXISTING CONDITIONS PLAN, "EXISTING CONDITIONS PLAN OF LAND NSTAR WAY - WESTWOOD, MASSACHUSETTS" PROVIDED TO WESTON & SAMPSON AND USED BY PERMISSION FROM OWNER.
- CONTRACTOR TO LOCATE ALL EXISTING UNDERGROUND/OVERHEAD UTILITIES PRIOR TO CONSTRUCTION.

SCALE: 1" = 60'



Project:

EVERSOURCE
 EVERSOURCE ENERGY
 P.O. BOX 5017
 HARTFORD, CT. 06102

**MASSACHUSETTS
 PHOTOVOLTAIC
 PROGRAM - ROUND II**

**1 NSTAR WAY
 WESTWOOD, MA
 02090**

Weston & Sampson
 Weston & Sampson Engineers, Inc.
 5 Centennial Drive Peabody, Massachusetts
 (978) 532-1900 (800) Sampson
 www.westonandsampson.com

Revisions:

| Rev | Date | Description |
|-----|------|-------------|
| | | |
| | | |
| | | |
| | | |
| | | |



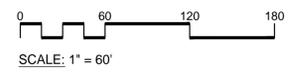
JOB NO. 2170318.B
**PERMIT SET
 NOT FOR CONSTRUCTION**

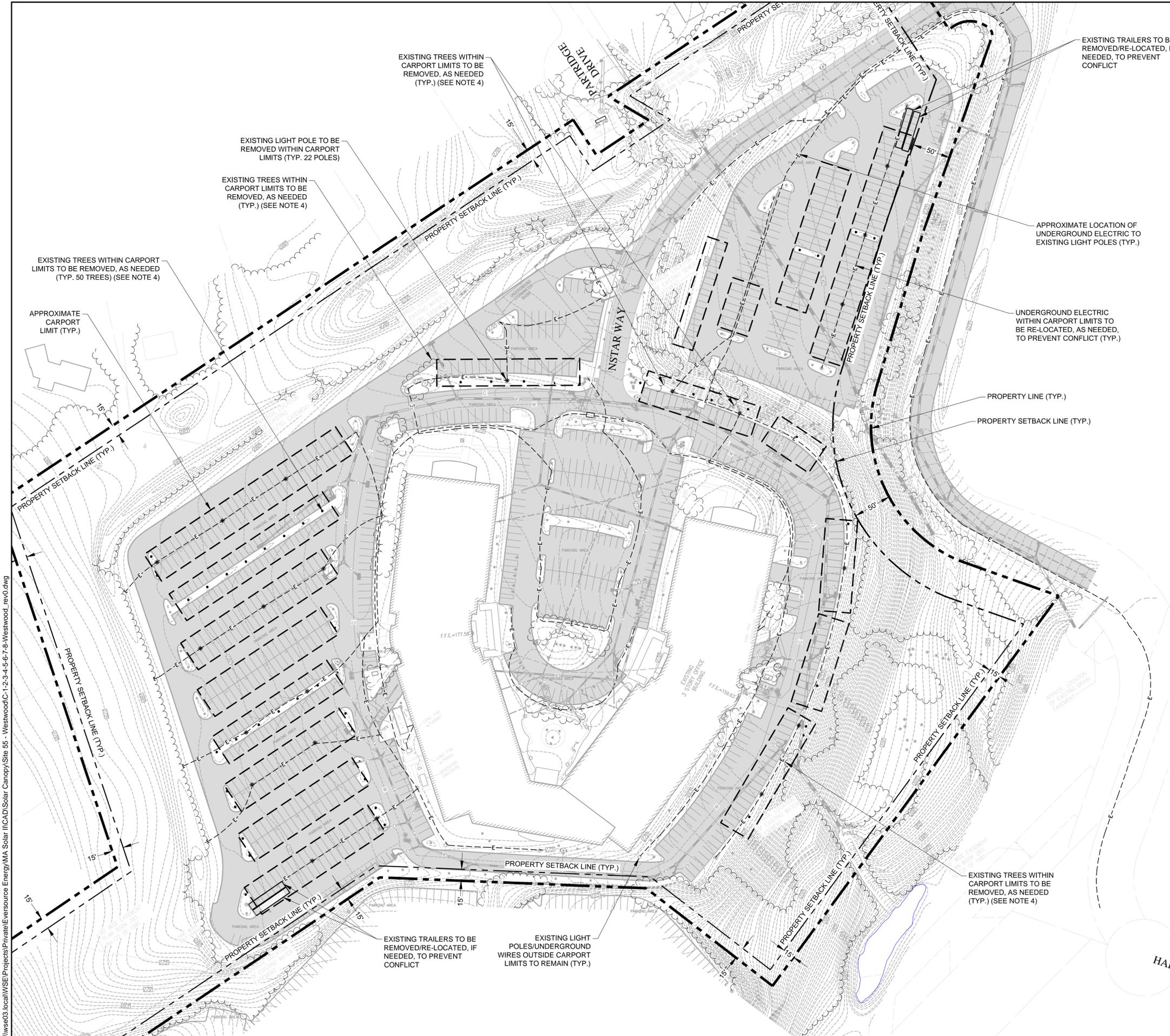
Date: 08.15.17
 Scale: AS SHOWN
 Designed By: RWG
 Reviewed By: RWG
 Checked By: SPW
 Approved By: FMR

Drawing Title:
**EROSION AND
 SEDIMENTATION
 CONTROL PLAN**

Sheet Number:
C-5

- NOTES:**
- BASE LAYOUT DESIGN FROM EVERSOURCE ENERGY EXISTING CONDITIONS PLAN, "EXISTING CONDITIONS PLAN OF LAND NSTAR WAY - WESTWOOD, MASSACHUSETTS", PROVIDED TO WESTON & SAMPSON AND USED BY PERMISSION FROM OWNER.
 - CONTRACTOR TO LOCATE ALL EXISTING UNDERGROUND/OVERHEAD UTILITIES PRIOR TO CONSTRUCTION.
- SEQUENCE FOR INSTALLATION OF TEMPORARY EROSION CONTROL MEASURES:**
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED AS INDICATED ON THESE PLANS OR AS REQUIRED BY THE OWNER'S REPRESENTATIVE.
 - THE SMALLEST PRACTICAL AREA OF LAND SHALL BE EXPOSED AT ANY ONE TIME.
 - EROSION CONTROL BARRIERS ARE TO BE MAINTAINED AND CLEANED UNTIL ALL AREAS HAVE BEEN ADEQUATELY STABILIZED.
 - THE TEMPORARY AND PERMANENT STORMWATER CONTROLS SHALL BE PERIODICALLY CLEANED OF SEDIMENT, OR AS REQUIRED BY THE OWNER'S REPRESENTATIVE. THE SEDIMENT WILL BE REMOVED TO A SECURE LOCATION SO AS TO PREVENT SILTATION OF NATURAL WATER WAYS.
 - STRAW WATTLE FILLED WITH COMPOST MUST BE A MINIMUM TUBE DIAMETER OF 12 INCHES (300mm) FOR SLOPES UP TO 50 FEET (15.24m) IN LENGTH WITH A SLOPE RATIO OF 3H:1V OR STEEPER. LONGER SLOPES OF 3H:1V MAY REQUIRE LARGER TUBE DIAMETER OR ADDITIONAL COURSING OF FILTER TUBES TO CREATE A FILTER BERM. SILT SOCK TO BE MADE OF BIODEGRADABLE BURLAP. SILT SOCK TO BE SEDIMENT FILTERMITT OR APPROVED EQUAL. REFER TO MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION INSTRUCTIONS.
 - INSTALL STRAW WATTLE ALONG CONTOURS AND PERPENDICULAR TO SHEET OR CONCENTRATED FLOW.
 - CONFIGURE STRAW WATTLE AROUND EXISTING SITE FEATURES TO MINIMIZE SITE DISTURBANCE AND MAXIMIZE CAPTURE AREA OF STORMWATER RUN-OFF.
 - DISTURBED AREAS SHALL BE SEEDED IMMEDIATELY OR AS SOON AS PRACTICABLE.
 - EROSION CONTROL MEASURES SHALL BE REMOVED WHEN DISTURBED AREA IS STABILIZED.
 - A CHECK LIST (PROVIDED BY THE OWNER'S REPRESENTATIVE) SHALL BE FILLED OUT BY THE CONTRACTOR EVERY WEEK OR AFTER EACH RAINFALL EVENT OF 1/2" OR GREATER AS NOTED ABOVE.





I:\se03_local\WSE\Projects\Private\Eversource Energy\MA Solar I\ICAD\Solar Canopy\Site 55 - Westwood\C-1-2-3-4-5-6-7-8-Westwood_rev0.dwg

Project:
EVERSOURCE
 EVERSOURCE ENERGY
 P.O. BOX 5017
 HARTFORD, CT. 06102
 MASSACHUSETTS
 PHOTOVOLTAIC
 PROGRAM - ROUND II
 1 NSTAR WAY
 WESTWOOD, MA
 02090

Weston & Sampson
 Weston & Sampson Engineers, Inc.
 5 Centennial Drive Fitchburg, Massachusetts
 (978) 532-1900 (800) Sampson
 www.westonandsampson.com

Revisions:

| Rev | Date | Description |
|-----|------|-------------|
| | | |
| | | |
| | | |
| | | |



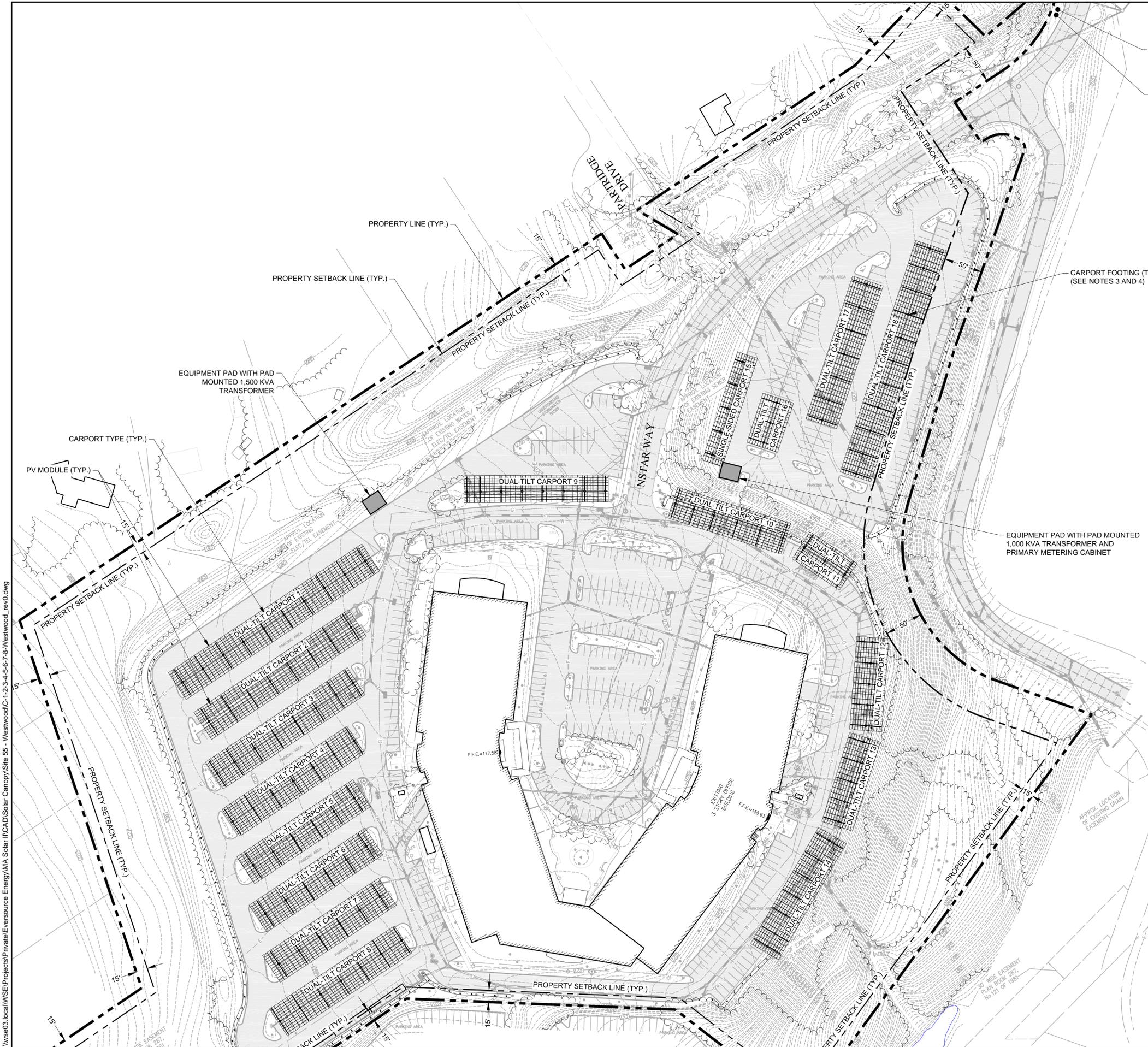
JOB NO. 2170318.B
PERMIT SET
NOT FOR CONSTRUCTION

Date: 08.15.17
 Scale: AS SHOWN
 Designed By: RWG
 Reviewed By: RWG
 Checked By: SPW
 Approved By: FMR

Drawing Title:
**PROPOSED DEMOLITION
 PLAN**

Sheet Number:
C-6

- NOTES:**
1. BASE LAYOUT DESIGN FROM EVERSOURCE ENERGY EXISTING CONDITIONS PLAN, "EXISTING CONDITIONS PLAN OF LAND NSTAR WAY - WESTWOOD, MASSACHUSETTS", PROVIDED TO WESTON & SAMPSON AND USED BY PERMISSION FROM OWNER.
 2. CONTRACTOR TO LOCATE ALL EXISTING UNDERGROUND/OVERHEAD UTILITIES PRIOR TO CONSTRUCTION.
 3. CONTRACTOR TO REMOVE/RE-LOCATE EXISTING UNDERGROUND/OVERHEAD UTILITIES, AS NEEDED, TO PREVENT CONFLICT WITH THE PROPOSED DEVELOPMENT. CONTRACTOR TO COORDINATE THE REMOVAL/RE-LOCATION OF UNDERGROUND/OVERHEAD UTILITIES WITH THE UTILITY PROVIDER/FACILITIES DIRECTOR PRIOR TO THE START OF CONSTRUCTION.
 4. CONTRACTOR TO REMOVE STUMPS AND RESTORE GROUND SURFACE AFTER TREE REMOVAL.



ESTIMATED POINT OF INTERCONNECTION TO EXISTING UNDERGROUND DISTRIBUTION CIRCUIT

LOAD BREAK SWITCH AND RECLOSER

CARPORT FOOTING (TYP.) (SEE NOTES 3 AND 4)

EQUIPMENT PAD WITH PAD MOUNTED 1,000 KVA TRANSFORMER AND PRIMARY METERING CABINET

NOTES:

1. PROPOSED SYSTEM INCLUDES:

| SOLAR PHOTOVOLTAIC (PV) SYSTEM DESCRIPTION | | |
|--|---|----------------|
| SYSTEM SIZE (@ STC) | ±2,270.4 kW (DC) | ±1,740 kW (AC) |
| MODULE | (5,676) 400 WATT | |
| TILT ANGLE | SEE CARPORT INFORMATION TABLE (G-1 SHEET) | |
| AZIMUTH | SEE CARPORT INFORMATION TABLE (G-1 SHEET) | |
| RACKING | SEE CARPORT INFORMATION TABLE (G-1 SHEET) | |
| INVERTER(S) | (29) 60 kW | |

- FINAL COMPONENTS AND CONFIGURATION SUBJECT TO CHANGE BASED ON FINAL ENGINEERED DESIGN AND EXISTING SITE CONDITIONS.
- CARPORT FOOTINGS ARE SHOWN FOR CONCEPTUAL PURPOSES ONLY. FINAL FOOTING LOCATIONS AND DESIGN TO BE DETERMINED THROUGH GEOTECHNICAL AND STRUCTURAL ANALYSIS.
- CARPORT FOOTINGS SHALL AVOID CONFLICT WITH EXISTING UNDERGROUND UTILITIES.
- CONTRACTOR TO SUBMIT UTILITY PROTECTION/RELOCATION/CLEARANCE PLAN PRIOR TO CONSTRUCTION FOR ALL CARPORT AREAS.
- CONTRACTOR TO SUBMIT MAINTENANCE OF TRAFFIC AND PARKING DURING CONSTRUCTION PLAN PRIOR TO CONSTRUCTION.
- PV SYSTEM LAYOUT IS CONCEPTUAL AND FOR PERMITTING PURPOSES ONLY. ARRAY LAYOUT SUBJECT TO CHANGE BASED ON FINAL ENGINEERED DESIGN.
- BASE LAYOUT DESIGN FROM EVERSOURCE ENERGY EXISTING CONDITIONS PLAN, "EXISTING CONDITIONS PLAN OF LAND NSTAR WAY - WESTWOOD, MASSACHUSETTS", PROVIDED TO WESTON & SAMPSON AND USED BY PERMISSION FROM OWNER.
- EXISTING CONDITIONS AND SITE INFORMATION FROM THE ZONING BYLAWS OF THE TOWN OF WESTWOOD AND MASSACHUSETTS GIS. ALL QUANTITIES ARE APPROXIMATE.
- CONTRACTOR TO LOCATE ALL EXISTING UNDERGROUND/OVERHEAD UTILITIES PRIOR TO CONSTRUCTION.



Project:

EVERSOURCE
EVERSOURCE ENERGY
 P.O. BOX 5017
 HARTFORD, CT. 06102

MASSACHUSETTS PHOTOVOLTAIC PROGRAM - ROUND II

1 NSTAR WAY
WESTWOOD, MA
02090

Weston & Sampson

Weston & Sampson Engineers, Inc.
 5 Centennial Drive Foxboro, Massachusetts
 (978) 532-1900 (800) Sampson
 www.westonandsampson.com

Revisions:

| Rev | Date | Description |
|-----|------|-------------|
| | | |
| | | |
| | | |
| | | |
| | | |



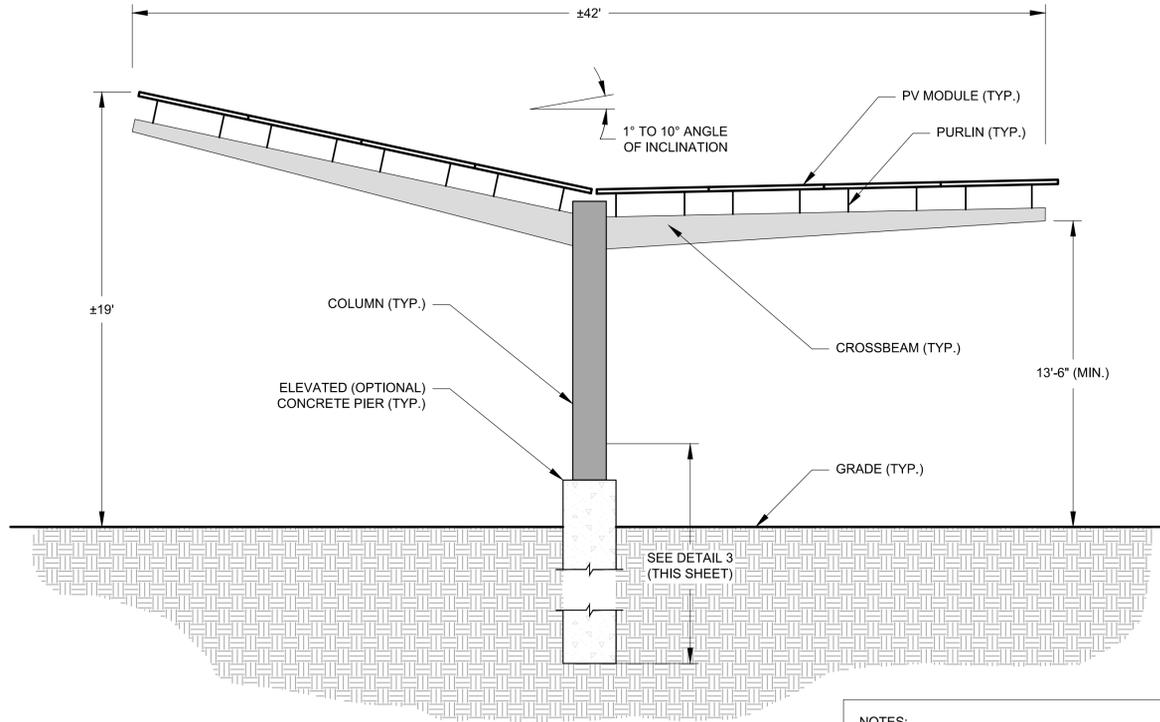
JOB NO. 2170318.B
PERMIT SET
NOT FOR CONSTRUCTION

Date: 08.15.17
 Scale: AS SHOWN
 Designed By: RWG
 Reviewed By: RWG
 Checked By: SPW
 Approved By: FMR

Drawing Title:
PROPOSED SITE PLAN

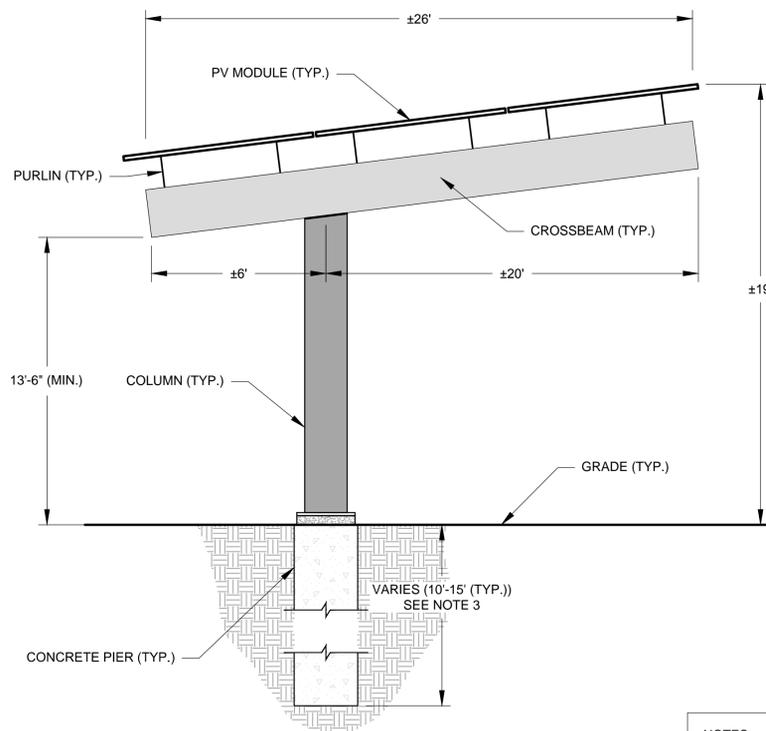
Sheet Number:
C-7

I:\wse03_local\WSE\Projects\Private\Eversource Energy\MA Solar\ICAD\Solar Canopy\Site 55 - Westwood\IC-1-2-3-4-5-6-7-8-Westwood_rev0.dwg



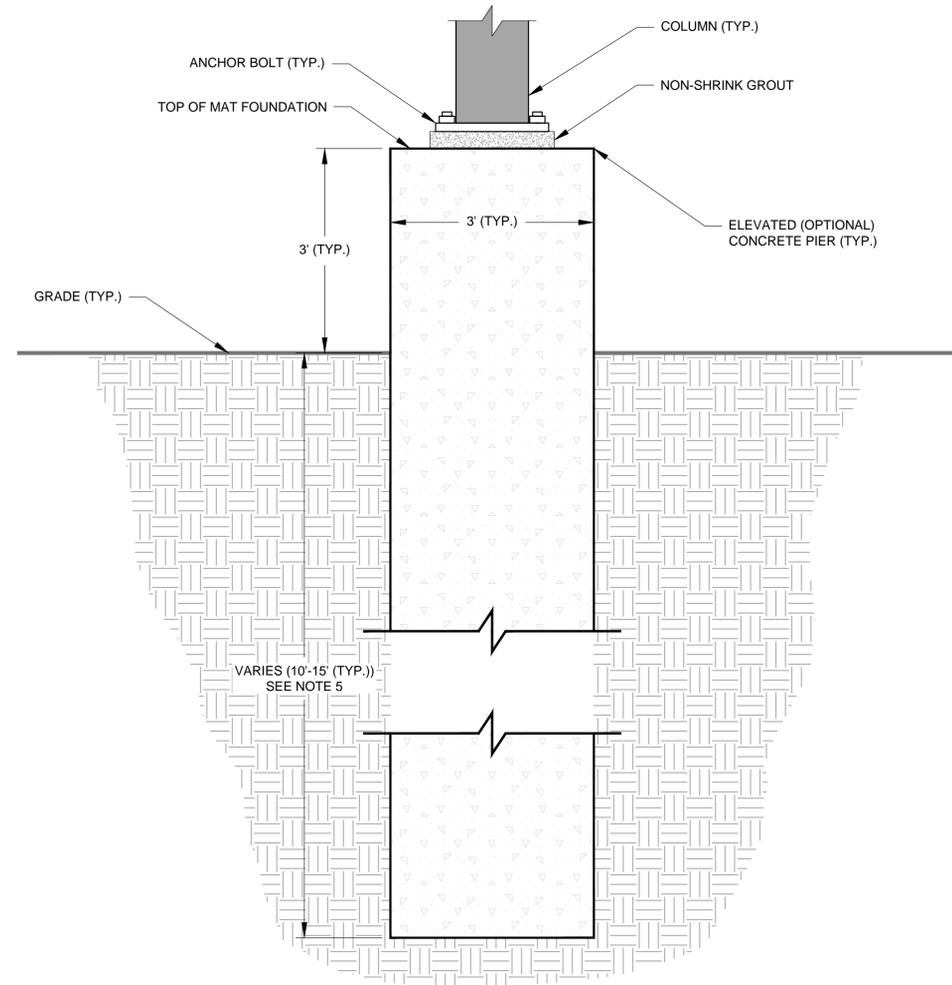
1 TYPICAL DUAL-TILT SOLAR CARPORT SECTION
SCALE: N.T.S.

- NOTES:
1. FINAL COMPONENTS AND CONFIGURATION SUBJECT TO CHANGE BASED ON FINAL ENGINEERED DESIGN.
 2. ALL DIMENSIONS AND QUANTITIES ARE CONCEPTUAL AND APPROXIMATE.
 3. COLUMN DEPTH AND FREQUENCY TO BE DETERMINED THROUGH GEOTECHNICAL AND STRUCTURAL DESIGN/ANALYSIS.
 4. FOUNDATIONS TO AVOID CONFLICT WITH UNDERGROUND UTILITIES.



2 TYPICAL SINGLE-SIDED SOLAR CARPORT SECTION
SCALE: N.T.S.

- NOTES:
1. FINAL COMPONENTS AND CONFIGURATION SUBJECT TO CHANGE BASED ON FINAL ENGINEERED DESIGN.
 2. ALL DIMENSIONS AND QUANTITIES ARE CONCEPTUAL AND APPROXIMATE.
 3. COLUMN DEPTH AND FREQUENCY TO BE DETERMINED THROUGH GEOTECHNICAL AND STRUCTURAL DESIGN/ANALYSIS.
 4. FOUNDATIONS TO AVOID CONFLICT WITH UNDERGROUND UTILITIES.



3 TYPICAL FOOTING DETAIL
SCALE: N.T.S.

- NOTES:
1. FOUNDATION DESIGN TO BE DETERMINED THROUGH GEOTECHNICAL AND STRUCTURAL ANALYSIS.
 2. FOUNDATIONS TO AVOID CONFLICT WITH UNDERGROUND UTILITIES.
 3. FINAL COMPONENTS AND CONFIGURATION SUBJECT TO CHANGE BASED ON FINAL ENGINEERED DESIGN.
 4. ALL DIMENSIONS AND QUANTITIES ARE CONCEPTUAL AND APPROXIMATE.
 5. COLUMN DEPTH AND FREQUENCY TO BE DETERMINED THROUGH GEOTECHNICAL AND STRUCTURAL DESIGN/ANALYSIS.

Project:
EVERSOURCE
 EVERSOURCE ENERGY
 P.O. BOX 5017
 HARTFORD, CT. 06102
 MASSACHUSETTS
 PHOTOVOLTAIC
 PROGRAM - ROUND II
 1 NSTAR WAY
 WESTWOOD, MA
 02090

Weston & Sampson
 Weston & Sampson Engineers, Inc.
 5 Centennial Drive, Westwood, Massachusetts
 (978) 532-1900 (800) Sampson
 www.westonandsampson.com

Revisions:

| Rev | Date | Description |
|-----|------|-------------|
| | | |
| | | |
| | | |
| | | |
| | | |



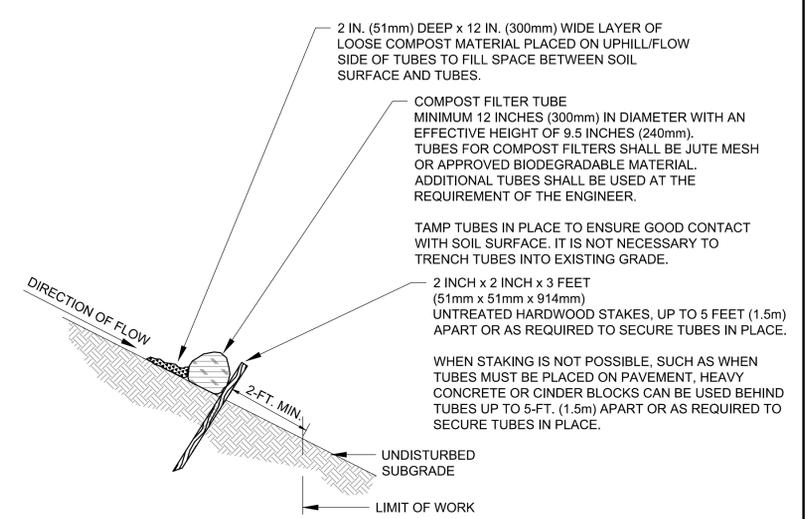
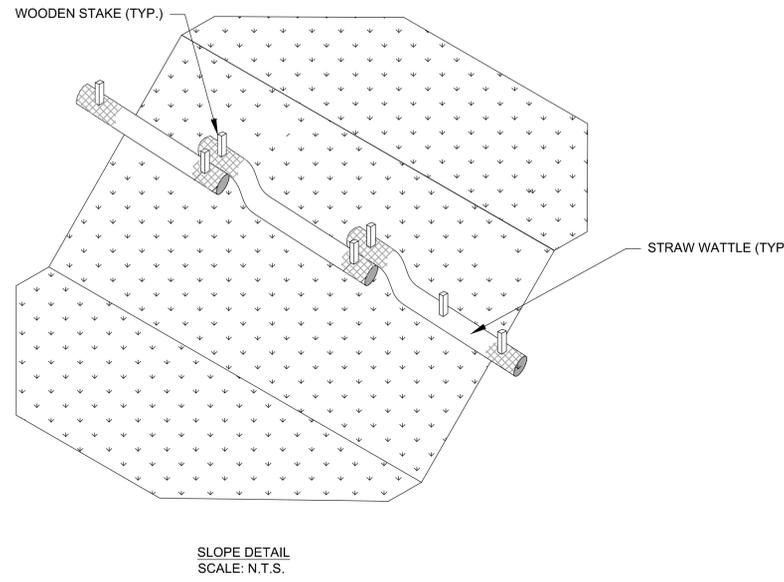
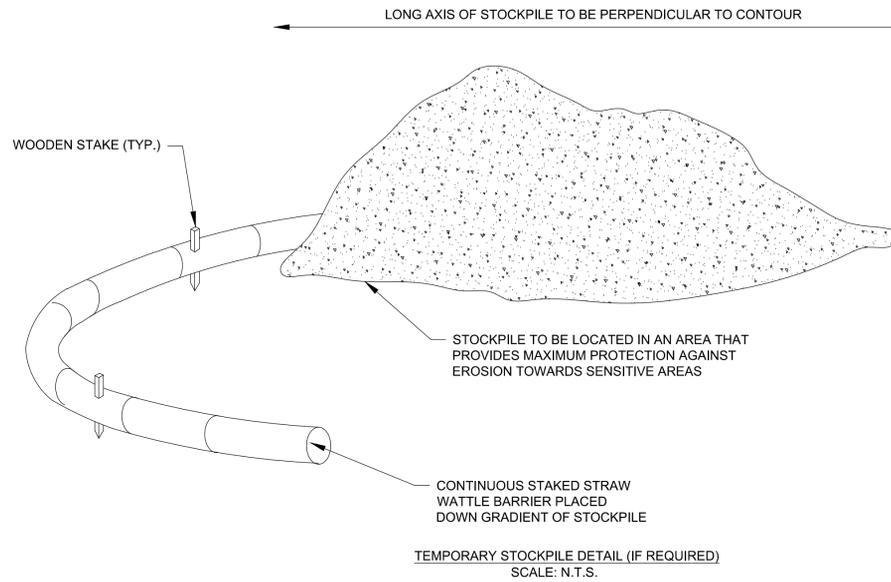
JOB NO. 2170318.B
 PERMIT SET
 NOT FOR CONSTRUCTION

Date: 08.15.17
 Scale: AS SHOWN
 Designed By: RWG
 Reviewed By: RWG
 Checked By: SPW
 Approved By: FMR

Drawing Title:
DETAILS I

Sheet Number:
D-1

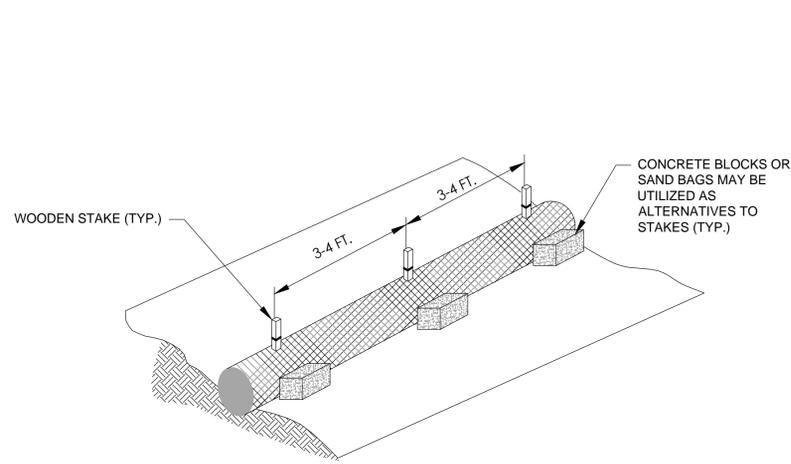
I:\se03_local\WSE\Projects\Private\Eversource Energy\MA Solar I\CAD\Solar Canopy\Site 55 - Westwood\7-D-1-2-3-Westwood_rev0.dwg



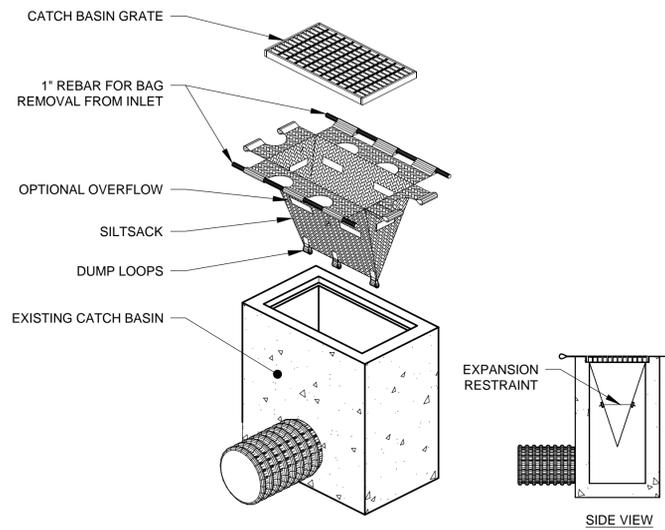
GENERAL NOTES:

1. EROSION CONTROL MEASURES SHALL BE IMPLEMENTED AS DETERMINED BY THE ENGINEER.
2. THE SMALLEST PRACTICAL AREA OF LAND SHALL BE EXPOSED AT ANY ONE TIME.
3. EROSION/SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AS SHOWN ON PLANS. EROSION CONTROL BARRIERS ARE TO BE MAINTAINED AND CLEANED UNTIL ALL AREAS HAVE BEEN ADEQUATELY STABILIZED.
4. THE TEMPORARY AND PERMANENT STORMWATER CONTROLS SHALL BE PERIODICALLY CLEANED OF SEDIMENT, AS REQUIRED BY THE OWNER'S REPRESENTATIVE. THE SEDIMENT WILL BE REMOVED TO A SECURE LOCATION SO AS TO PREVENT SILTATION OF NATURAL WATERWAYS.
5. STRAW WATTLE MUST BE A MINIMUM TUBE DIAMETER OF 12 INCHES (300mm) FOR SLOPES UP TO 50 FEET (15.24m) IN LENGTH WITH A SLOPE RATIO OF 3H:1V OR STEEPER. LONGER SLOPES OF 3H:1V MAY REQUIRE LARGER TUBE DIAMETER OR ADDITIONAL COURSING OF FILTER TUBES TO CREATE A FILTER BERM. STRAW WATTLE TO BE MADE OF BIODEGRADABLE BURLAP. REFER TO MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION INSTRUCTIONS FOR OTHER EROSION CONTROLS.
6. INSTALL STRAW WATTLE ALONG CONTOURS AND PERPENDICULAR TO SHEET OR CONCENTRATED FLOW.
7. CONFIGURE WATTLES AROUND EXISTING SITE FEATURES TO MINIMIZE SITE DISTURBANCE AND MAXIMIZE CAPTURE AREA OF STORMWATER RUN-OFF.
8. EROSION CONTROL MEASURES SHALL BE REMOVED WHEN DISTURBED AREA IS STABILIZED. DISTURBED AREA RESULTING FROM THE EROSION CONTROL MEASURE REMOVAL OPERATION SHALL BE SEEDED.
9. STRAW WATTLE TO BE INSTALLED PER MANUFACTURERS REQUIREMENTS.

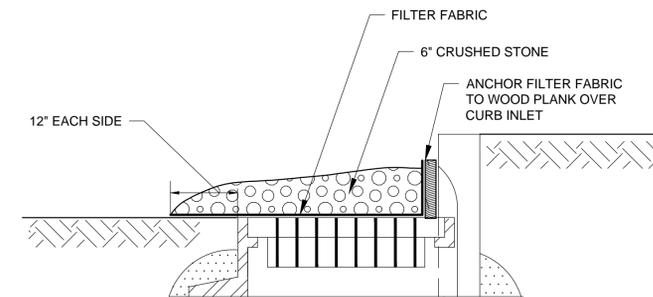
4 EROSION CONTROL MEASURES
SCALE: N.T.S.



5 SILT SOCK INSTALLATION DETAIL
SCALE: N.T.S.



6 RECTANGULAR CATCH BASIN INLET PROTECTION
SCALE: N.T.S.



7 ROUND CATCH BASIN INLET PROTECTION
SCALE: N.T.S.

Project:

EVERSOURCE
EVERSOURCE ENERGY
P.O. BOX 5017
HARTFORD, CT. 06102

**MASSACHUSETTS
PHOTOVOLTAIC
PROGRAM - ROUND II**

**1 NSTAR WAY
WESTWOOD, MA
02090**

Weston & Sampson
Weston & Sampson Engineers, Inc.
5 Centennial Drive Peabody, Massachusetts
(978) 532-1900 (800) Sampson
www.westonandsampson.com

Revisions:

| Rev | Date | Description |
|-----|------|-------------|
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |



JOB NO. 2170318.B
**PERMIT SET
NOT FOR CONSTRUCTION**

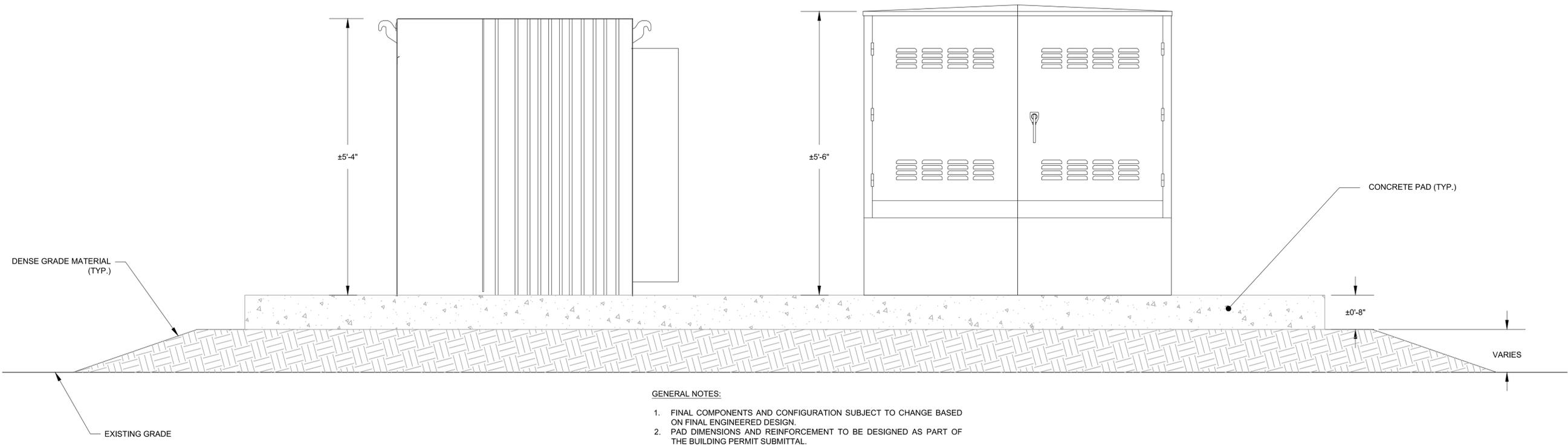
Date: 08.15.17
Scale: AS SHOWN
Designed By: RWG
Reviewed By: RWG
Checked By: SPW
Approved By: FMR

Drawing Title:
DETAILS II

Sheet Number:
D-2

TRANSFORMER

METERING ENCLOSURE



GENERAL NOTES:

1. FINAL COMPONENTS AND CONFIGURATION SUBJECT TO CHANGE BASED ON FINAL ENGINEERED DESIGN.
2. PAD DIMENSIONS AND REINFORCEMENT TO BE DESIGNED AS PART OF THE BUILDING PERMIT SUBMITTAL.
3. ALL DIMENSIONS AND QUANTITIES ARE CONCEPTUAL AND APPROXIMATE.
4. DENSE GRADE MATERIAL TO LEVEL THE PAD.

8 TYPICAL EQUIPMENT PAD DETAIL
SCALE: N.T.S.

Project:
EVERSOURCE
 EVERSOURCE ENERGY
 P.O. BOX 5017
 HARTFORD, CT. 06102
 MASSACHUSETTS
 PHOTOVOLTAIC
 PROGRAM - ROUND II
 1 NSTAR WAY
 WESTWOOD, MA
 02090

Weston & Sampson
 Weston & Sampson Engineers, Inc.
 5 Centennial Drive, Peabody, Massachusetts
 (978) 532-1900 (800) Sampson
 www.westonandsampson.com

Revisions:

| Rev | Date | Description |
|-----|------|-------------|
| | | |
| | | |
| | | |
| | | |
| | | |



JOB NO. 2170318.B
PERMIT SET
NOT FOR CONSTRUCTION

Date: 08.15.17
 Scale: AS SHOWN
 Designed By: RWG
 Reviewed By: RWG
 Checked By: SPW
 Approved By: FMR

Drawing Title:
DETAILS III

Sheet Number:
D-3

I:\se03_local\WSE\Projects\Private\Eversource Energy\MA Solar_ILCAD\Solar Canopy\Site 55 - Westwood\7-D-1-2-3-Westwood_rev0.dwg