



**WESTWOOD BOARD OF APPEALS
APPLICATION FOR HEARING**

1. Name of Applicant: ANDY KAMRANPOUR 2017 JUL 19 A 10:55
2. Applicant is (check one): Owner Tenant Abutter Purchaser Other TOWN OF WESTWOOD
3. Mailing address of Applicant: 26 PARKER ST. WESTWOOD 02090
4. Telephone - Home: _____ Business: _____
5. E-Mail Address of Applicant: ANDYKAM1@YAHOO.COM
6. Address of Property subject to Hearing: 26 PARKER ST. WESTWOOD 02090
7. Owner of Property: ANDISHEH ANDREW KAMRANPOUR
8. Mailing Address of Property Owner: 26 PARKER ST. WESTWOOD 02090
9. Telephone - Home: _____ Business: _____
10. Deed recorded in: Norfolk County Registry of Deeds: Book # 241841 Page # 55
or Land Court Registry: Certificate # _____ Book # _____ Page # _____
11. Property MAP # 16 LOT # 355 DISTRICT SRA
12. Has an appeal/application ever been filed with the ZBA on this property? (Y/N) N If yes, when: _____
13. NATURE of Application (check one):
 Appeal in accordance with MA G.L.Ch. 40A, Sec. 8 as amended
 Special Permit in accordance with MA G.L.Ch.40A, Sec. 9 as amended
 Variance in accordance with MA G.L. Ch. 40A, Sec. 10 as amended

When applying for a Special Permit under Section 9.3 of the Westwood Zoning Bylaw, please make sure that you and/or your attorney refer to the specific bylaw regarding this section.

STATE the EXACT NATURE of this application including the applicable section number(s) of the Westwood Zoning Bylaw:

Dear Zoning Board;
Under 4.5.2.2 Special Permit, I wish to extend the Left-Corner of the Left-Elevation of current structure (outlined in Red see Plot Plan). This will extend the "L" area 11.5' by 15.5' covering asphalt, providing much needed space to existing first and second floor bedrooms of my house. This proposed change will match the look and finish of existing structure.

Plan on a minimum of three months to complete the process.

OPTIONAL

APPENDIX B - Special Permit Considerations

- The structure is in harmony with the general purpose and intent of the bylaw.

Proposed structure will be in harmony with general purpose and intent of the bylaw.

We Plan to match existing Siding and windows, our goal is one will not be able to tell if there was an addition.

- The structure is in an appropriate location and is not detrimental to the neighborhood and does not significantly alter the character of the zoning district.

Proposed change will be in an appropriate location, not detrimental to the neighborhood, it is not readily visible from the street and does not change the character of the house.

- Adequate and appropriate facilities will be provided for the proper operation of the proposed structure.

Not Applicable.

- The proposed structure will not be detrimental or offensive to the adjoining zoning districts and neighboring properties due to the effects of lighting, odors, smoke, noise, sewage, refuse material, visual or other nuisances.

Proposed change will not impact negatively neighboring properties or anything else. Please see exterior Elevation sketches provided.

- The proposed structure will not cause undue traffic congestion in the immediate area.

Proposed change will not impact traffic, it will maintain the same occupancy load as before. We're not adding a bedroom just enlarging existing room.

I hereby request a hearing before the Westwood Board of Appeals with reference to the subject property.

I am aware that the cost of legal advertising will be billed to me directly as the Applicant, by the newspaper at a later date. I am also aware of the provisions in the Zoning Bylaw with regard to Reimbursement for Consultants, and I agree to reimburse the Board of Appeals and the Town of Westwood for all costs incurred by the Town or its' Boards for all fees, expenses and costs in connection with the review and evaluation of the Application for Special Permit and/or Variance.

I have reviewed the Zoning Board of Appeals Instructions and Information and understand the time requirements.

Signed: Judy Kampanon Date: 7/18/2017
APPLICANT'S SIGNATURE (or Agent)

Signed: _____ Date: _____
PROPERTY OWNER (if different from applicant)

SCHEDULE OF FILING FEES FOR THE BOARD OF APPEALS	
Residential Properties	- \$165.00
Business Properties	- \$330.00
Comprehensive Permits	- \$2530.00

TOWN CLERK
TOWN OF WESTWOOD
2017 JUL 19 A 10 53

CHECKLIST:

- 6 copies of the Application
- 6 copies of the OPTIONAL Appendices (if completed)
- 6 copies of a Certified Plot Plan – size 11" x 17"
- 6 copies of the Building Plans (interior and/or exterior as applicable) – size 11" x 17"
- 6 copies of the Building Commissioner's denial of a building permit or equivalent

File the six (6) packets in the Town Clerk's office located at 580 High Street making sure to include a check for the filing fee in the correct amount.

Deliver one (1) electronic copy of the Application with attachments to the Office of the Board of Appeals at 50 Carby Street.

Plan on a minimum of three months to complete the process.

DATE ISSUED: _____ FEE PAID: _____ NO.: _____

APPLICATION FOR PERMIT TO BUILD

To the Building Commissioner:

Date: _____

The undersigned hereby applies for a permit to Build - Alter - Remodel, etc., according to information indicated in this application and plans and specifications submitted herewith.

PLEASE PRINT CLEARLY

IMPORTANT - Applicant to complete all items in sections I, II, III, IV, AND V

I. LOCATION OF BUILDING

STREET ADDRESS <u>26 PARKER</u>	R. SIDE YARD SETBACK <u>11.0</u> <small>PRE EXISTING</small>
(NO.) (STREET)	L. SIDE YARD SETBACK <u>25.4</u>
ZONING DISTRICT <u>SRA</u> LOT FRONTAGE <u>75'</u>	REAR YARD SETBACK <u>35.0</u>
ASSESSORS MAP # <u>16</u> LOT# <u>355</u> LOT SIZE <u>7456</u>	FRONT YARD SETBACK <u>48.9</u>

II. TYPE AND COST OF BUILDING - All applicants complete Parts A - D.

A. TYPE OF IMPROVEMENT 1 New Building 2 Addition 3 Alteration 4 Repair, replacement 5 Wrecking 6 Moving (relocation) 7 Foundation only 8 Pools, Fences, Towers Tennis Courts, etc.	D. PROPOSED USE - For "Wrecking" most recent use RESIDENTIAL 13 One Family 14 Two or more family - Enter number of units <u>TWO</u> 15 Transient hotel, motel, or dormitory - Enter number of units 16 Garage 17 Carport 18 Other - Specify	NONRESIDENTIAL 19 Amusement, recreational 20 Church, other religious 21 Industrial 22 Parking garage 23 Service station, repair garage 24 Hospital, Institutional 25 Office, bank, professional 26 Public Utility 27 School, library, other educational 28 Stores, mercantile 29 Tanks, towers 30 Other - Specify
B. OWNERSHIP 9 Private (Individual, Corporation, nonprofit Institution, ect.) 10 Public (Federal, State or Local Government)	RECEIVED JUN 21 2017 TOWN OF WESTWOOD COMMISSIONER OF BUILDING	

C. COST 11 Cost of Basic Construction <u>\$ 6,922</u> <small>To be installed but not included in the above cost</small> a. Electrical <u>\$ 7805</u> b. Plumbing <u>\$ 0</u> c. Heating, air conditioning <u>5000</u> d. Other (elevator, etc.) 12 TOTAL COST OF IMPROVEMENT <u>\$ 74,727</u>	E. TYPE OF OCCUPANCY OR USE; NEW HOME, ETC. Briefly outline scope and nature of work to be done. <u>RESIDENTIAL TWO FAMILY</u>
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III. SELECTED CHARACTERISTICS OF BUILDING For new buildings and additions, complete Parts E-L; for wrecking, complete only Part J, for all others skip to IV.

F. PRINCIPAL TYPE OF FRAME 31 Masonry 32 Wood frame 33 Structural steel 34 Reinforced concrete 35 Other - Specify	H. TYPE OF SEWAGE DISPOSAL 41 Public Sewer 42 Private (septic tank, etc.) I. TYPE OF WATER SUPPLY 43 Public or Private Company 44 Private (well)	K. DIMENSIONS 49 Number of stories <u>2</u> 50 Total sq.ft. of floor area, all floors, based on exterior dimensions 51 Total land area, sq.ft.
G. PRINCIPAL TYPE OF HEATING FUEL 36 Gas 37 Oil 38 Electricity 39 Coal 40 Other - Specify	J. TYPE OF MECHANICAL Will there be air conditioning? 45 Yes 46 No Will there be an elevator? 47 Yes 48 No	L. NUMBER OF OFF - STREET PARKING SPACES 52 Enclosed 53 Outdoors M. RESIDENTIAL BUILDINGS ONLY 54 No. of bedrooms <u>3</u> 55 No. of baths: Full <u>2</u> Partial

IV. TO BE COMPLETED BY ALL APPLICANTS

USE N/A

1. Will building be erected on solid or filled land _____ If filled land how long ago filled _____
2. Will foundation be laid on earth, rock, timber, piles NO
3. Foundation material CONCRETE
4. Roof (flat, pitched) PITCHED
5. Roof covering ASPHALT SHINGLES
6. Will all construction to be performed conform to State and Local Building Codes YES
7. Has the applicant complied with the Architectural Access Code YES
8. Does this Building or Structure conform to the Zoning Bylaw YES
9. Has the applicant complied with the Energy Code YES
10. Is this property in the FLOOD PLAIN AREA NO

THIS IS A TRUE STATEMENT SIGNED UNDER PENALTIES OF PERJURY

V. IDENTIFICATION - To be completed by all applicants - Complete street and mailing addresses

NAME	COMPLETE ADDRESS	HOME & BUS. PHONE
Owner or Lessee	ANDY KAMRANPOUR 26 PARKER STREET WEBSTWOOD	
Builder/ Contractor	BILL GALLAGHER 1 HOMESTEAD DRIVE MEDFIELD	617-276-4801 508-359-6004
Architect/ Engineer	RICHARD DEMPSEY 8 BEAUMONTS POND DR FOXBORO	508-543-5499

I hereby certify that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent.

Signature of Applicant	Address	Application Date
	1 HOMESTEAD DRIVE MEDFIELD	6/20/17

This permit is approved subject to the provisions of all Federal and State Laws, Rules & Regulations and Con. Com. approval.

Sewer Permit No.	
Sanitary Permit No. (Title V)	
Highway Dept. Permit	
Fire Dept. Permit	
Water District Permit	
CONTRACTOR LICENSING INFORMATION	
Construction Supervisor License No.	71500
Date of Expiration	1/7/18
Home Improvement Contractor No.	180575
Date of Expiration	12/3/18

COMMENTS - DEPARTMENT USE ONLY

BUILDING COMMISSIONER'S DENIAL
REQUIRES A SPECIAL PERMIT
UNDER SECTION 4.5.2.2
EXPANSION OF NON CONFORMING USE

I have reviewed the applicant's request for a Building Permit and determined that it be forwarded to the Zoning Board of Appeals

BUILDING COMMISSIONER

NOT ZONED FOR 2 FAMILY

A. I hereby certify under penalty of perjury that I carry Workers' Compensation Insurance Coverage.

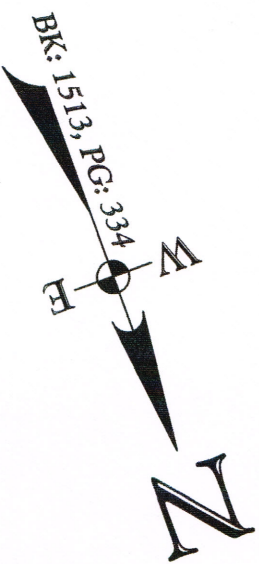
Signature: / MACRABOS CONST.

Name of Insurance Company: AIG MUTUAL

Policy Number: 33758 Expiration Date: 10/23/17

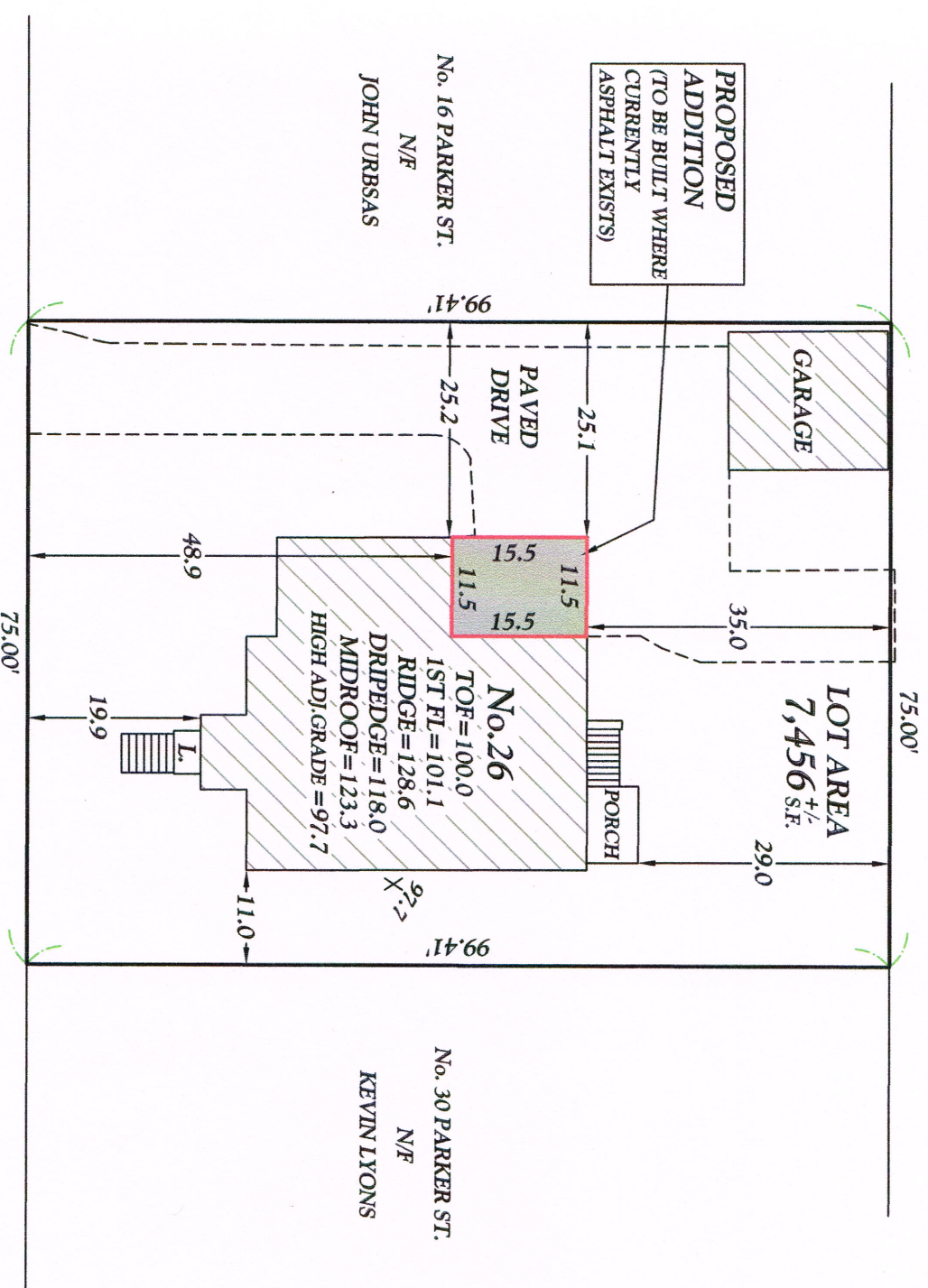
B. I do not carry Workers' Compensation Coverage as I am an unincorporated sole proprietorship with no employees, using other self-employed sub-contractors for all work.

Signature _____



ZONING DISTRICT: SRA			ADDITION SPECIFIC		
DIMENSIONAL REQUIREMENT	REQUIRED	PRE-EXISTING	CONFORMITY	ADDITION	CONFORMITY
MIN. LOT AREA (sqft)	12,000	7,456	NO	SAME	NO
MIN. LOT FRONTAGE (feet)	90	75.00	NO	SAME	NO
MIN. LOT WIDTH (feet)	90	75.00	NO	SAME	NO
MIN. FRONT SETBACK (feet)	25	19.9	NO	48.9	YES
MIN. SIDE SETBACK (feet)	15	11.0	NO	25.1	YES
MIN. REAR SETBACK (feet)	30	29.0	NO	35.0	YES
MAX. BUILDING COVERAGE (%)	25	22.9	YES	25.3	NO
MAX. IMPERVIOUS SURFACE (%)	50	47.1	YES	SAME	YES
MAX. BUILDING HEIGHT (feet)	25	25.6	NO	SAME	NO

No. 47 DEAN STREET
N/F
SEAN SUGRUE



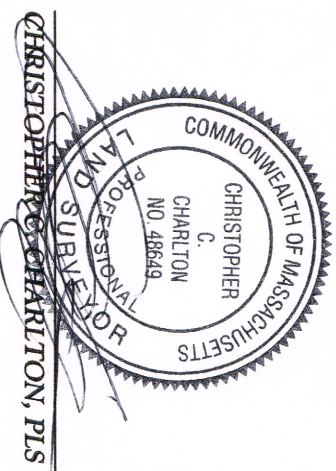
PREPARED FOR:
A. KAMRANPOUR
26 PARKER ST.
WESTWOOD, MA 02090
REFERENCES:
DEED: BK: 24841, PG:55
PLAN: BK: 1292, PG.: 361

CERTIFIED PLOT PLAN

LOCATED AT
26 PARKER STREET
ASSESSORS PARCEL # 0016-0355
WESTWOOD, MA
NORFOLK COUNTY
CONTINENTAL LAND SURVEY
105 BEAVER STREET, FRANKLIN, MA
(508) 528-2528
SCALE: 1"=20' OCTOBER 20, 2016



I CERTIFY THAT THIS PLAN WAS
CREATED BY AN INSTRUMENT
SURVEY ON THE GROUND AND
THAT ALL STRUCTURES ARE
LOCATED AS SHOWN HEREON.

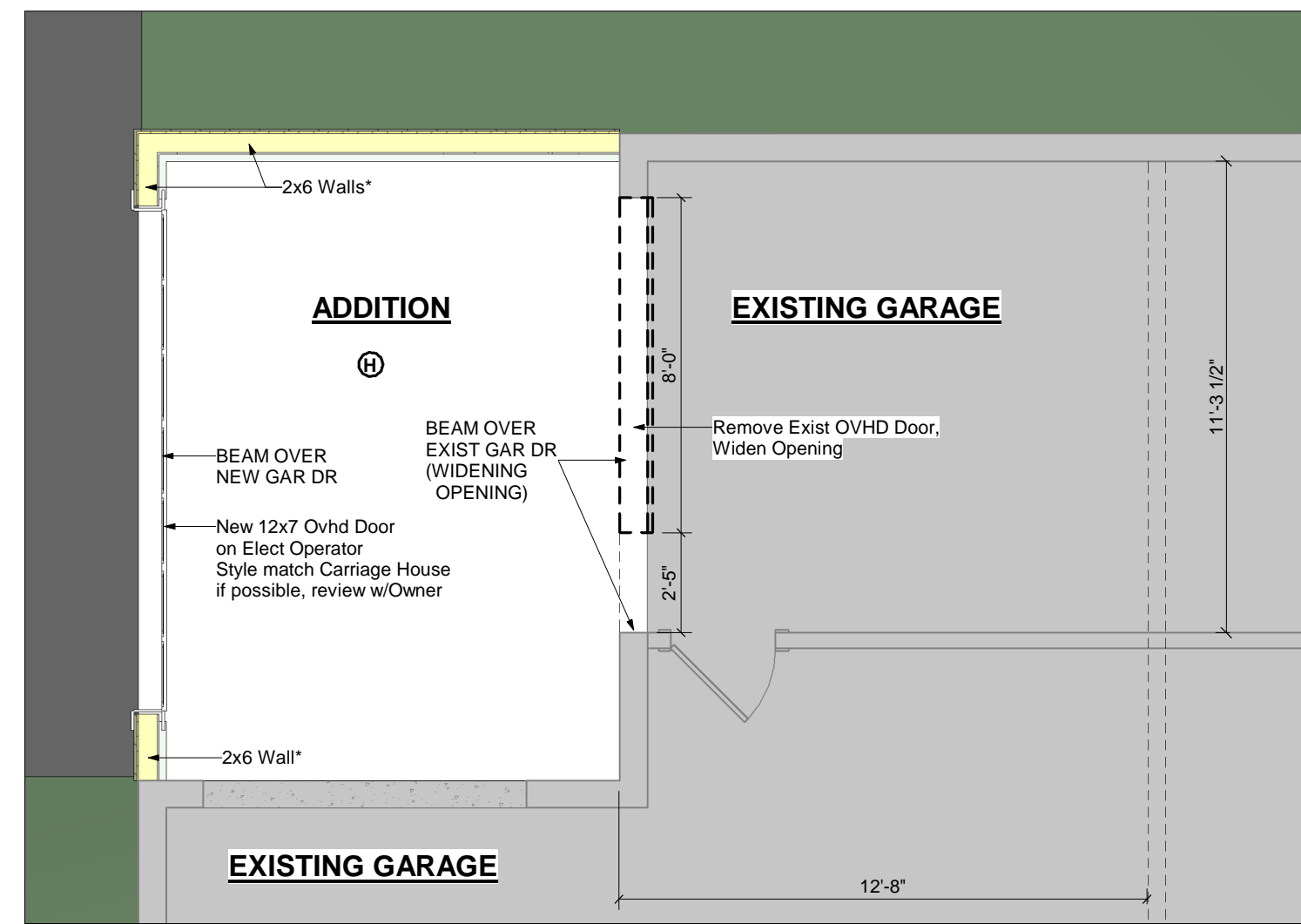


CHRISTOPHER C. CHARLTON, PLS

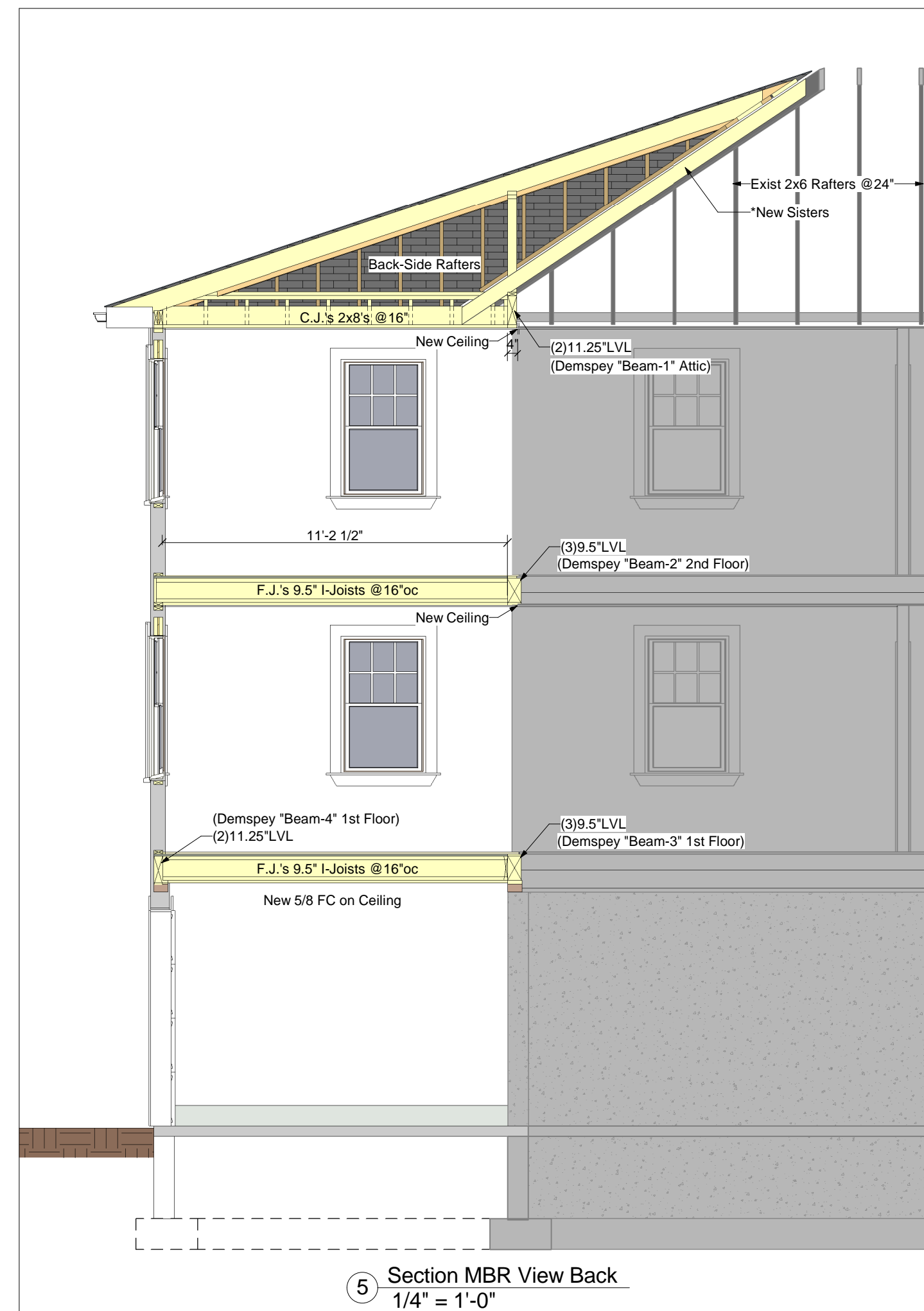
PARKER STREET
(PUBLIC - 40.00' WIDE)

No. 16 PARKER ST.
N/F
JOHN URBSAS

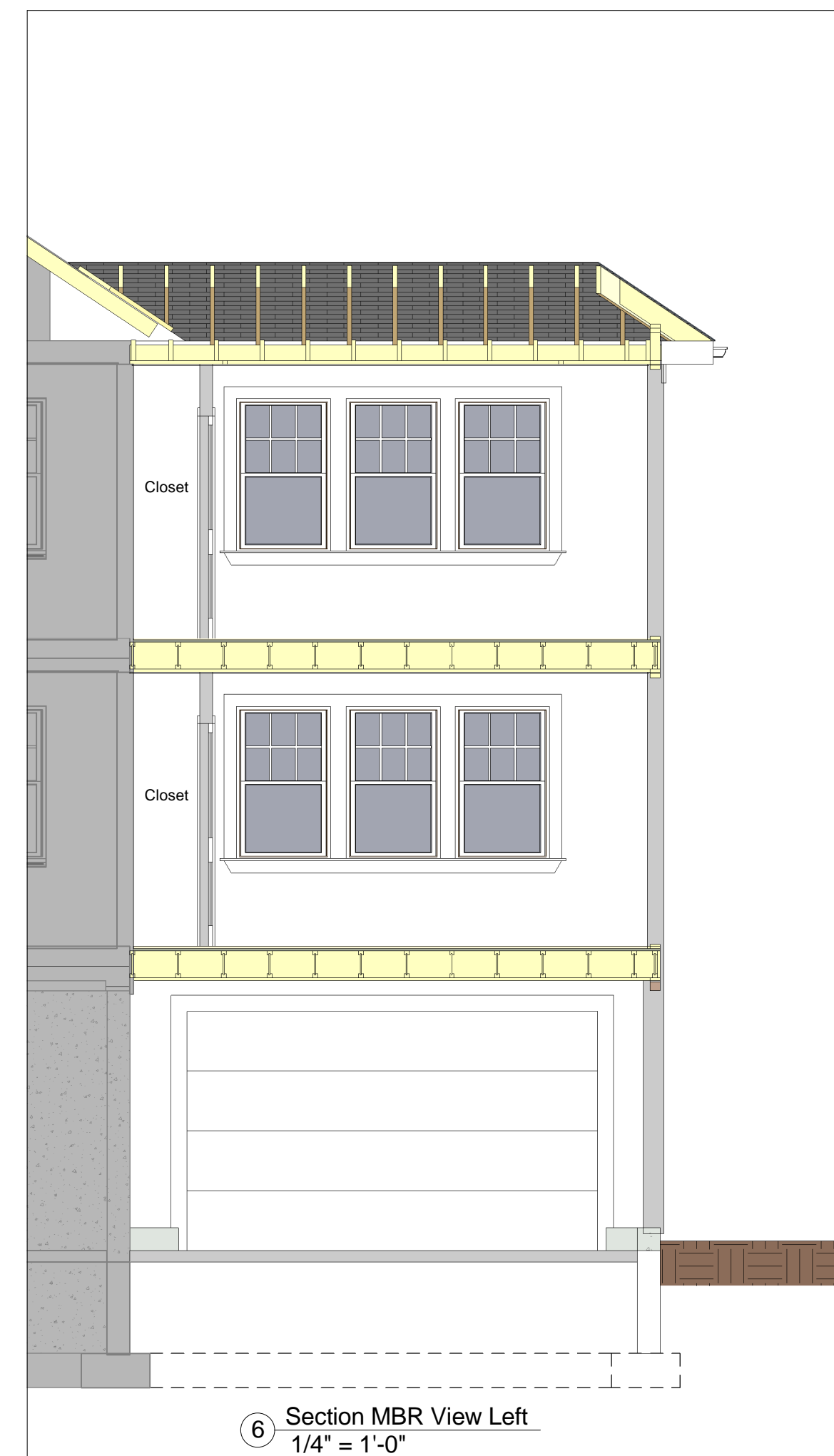
No. 30 PARKER ST.
N/F
KEVIN LYONS



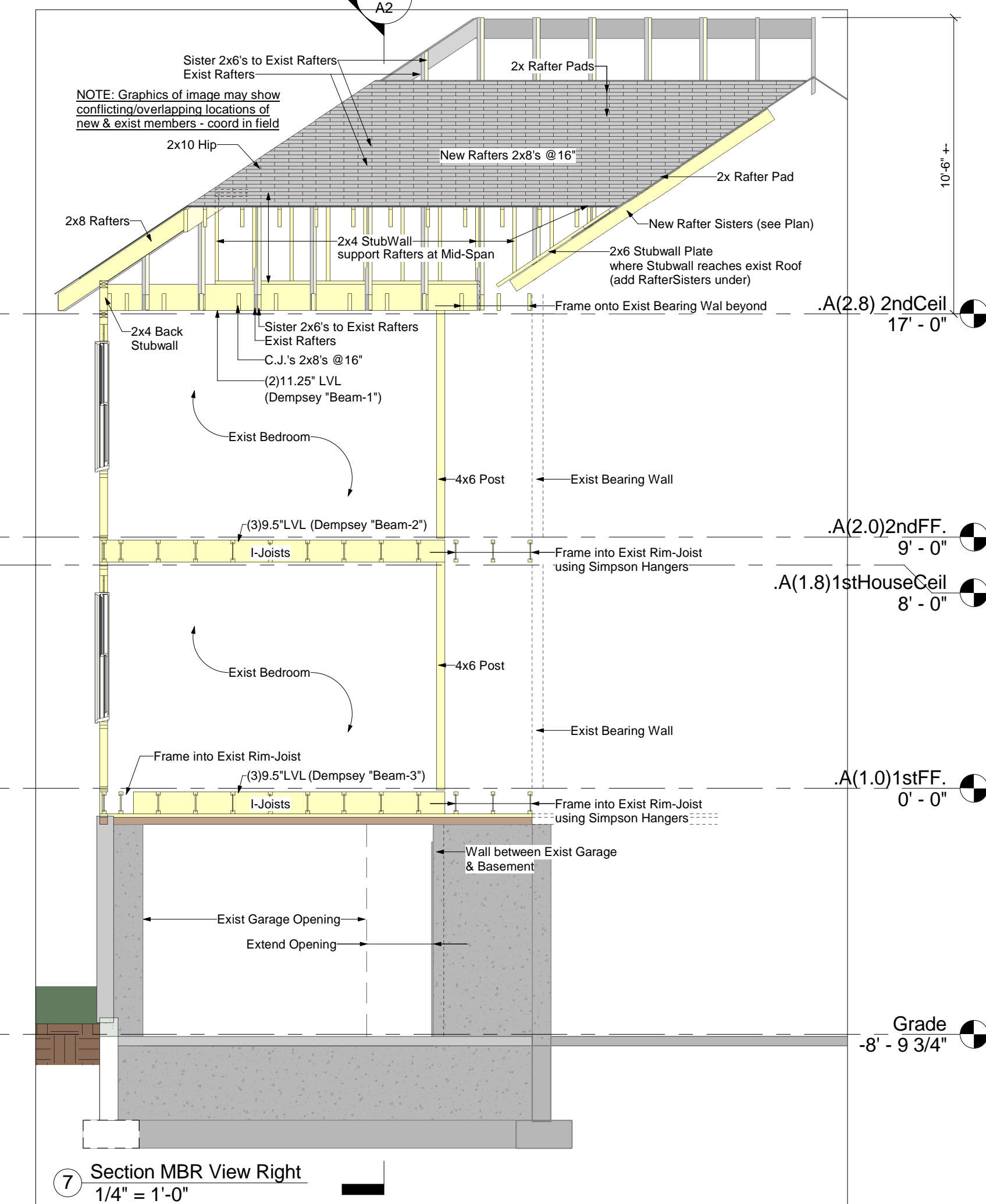
1 Basement
1/4" = 1'-0"



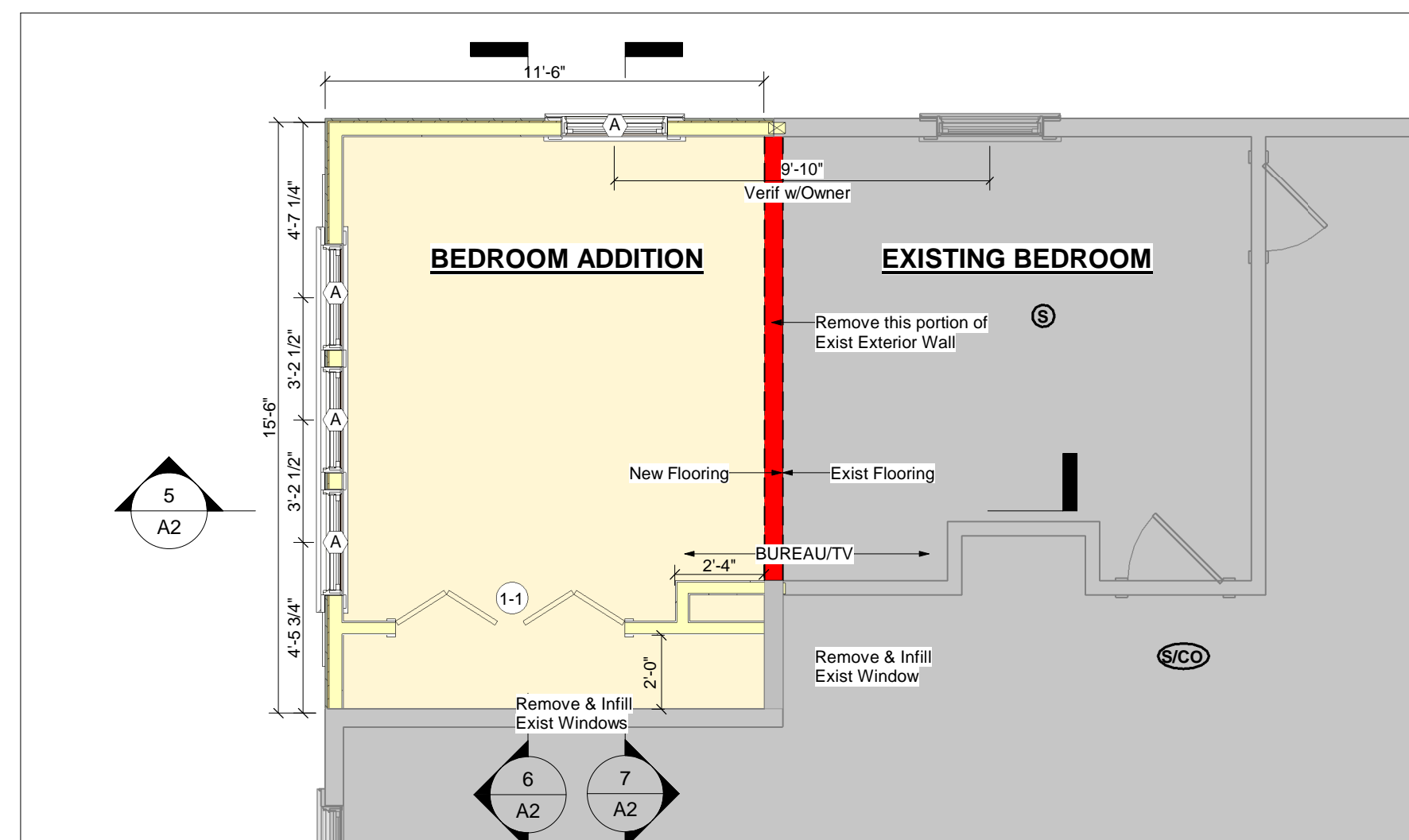
5 Section MBR View Back
1/4" = 1'-0"



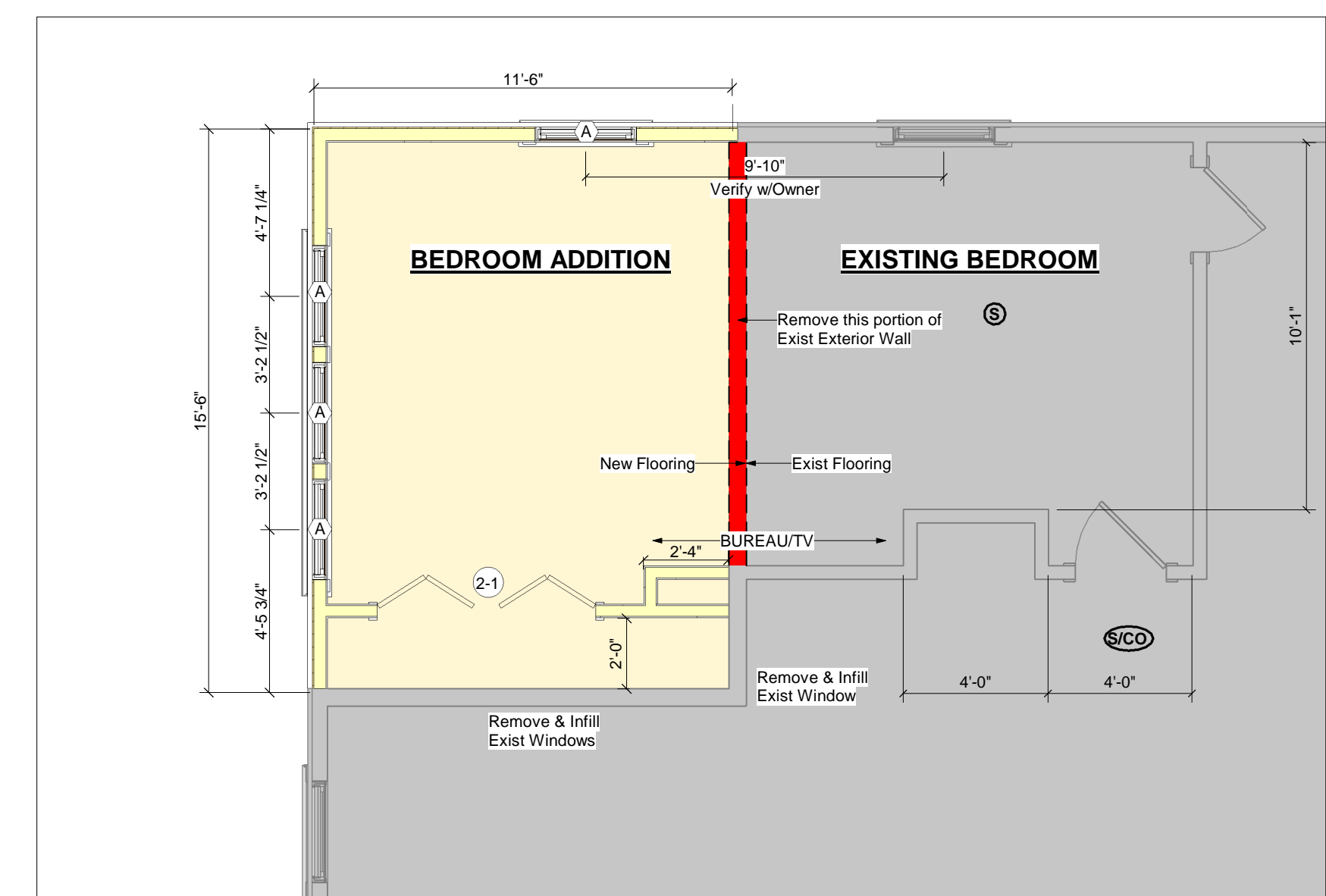
6 Section MBR View Left
1/4" = 1'-0"



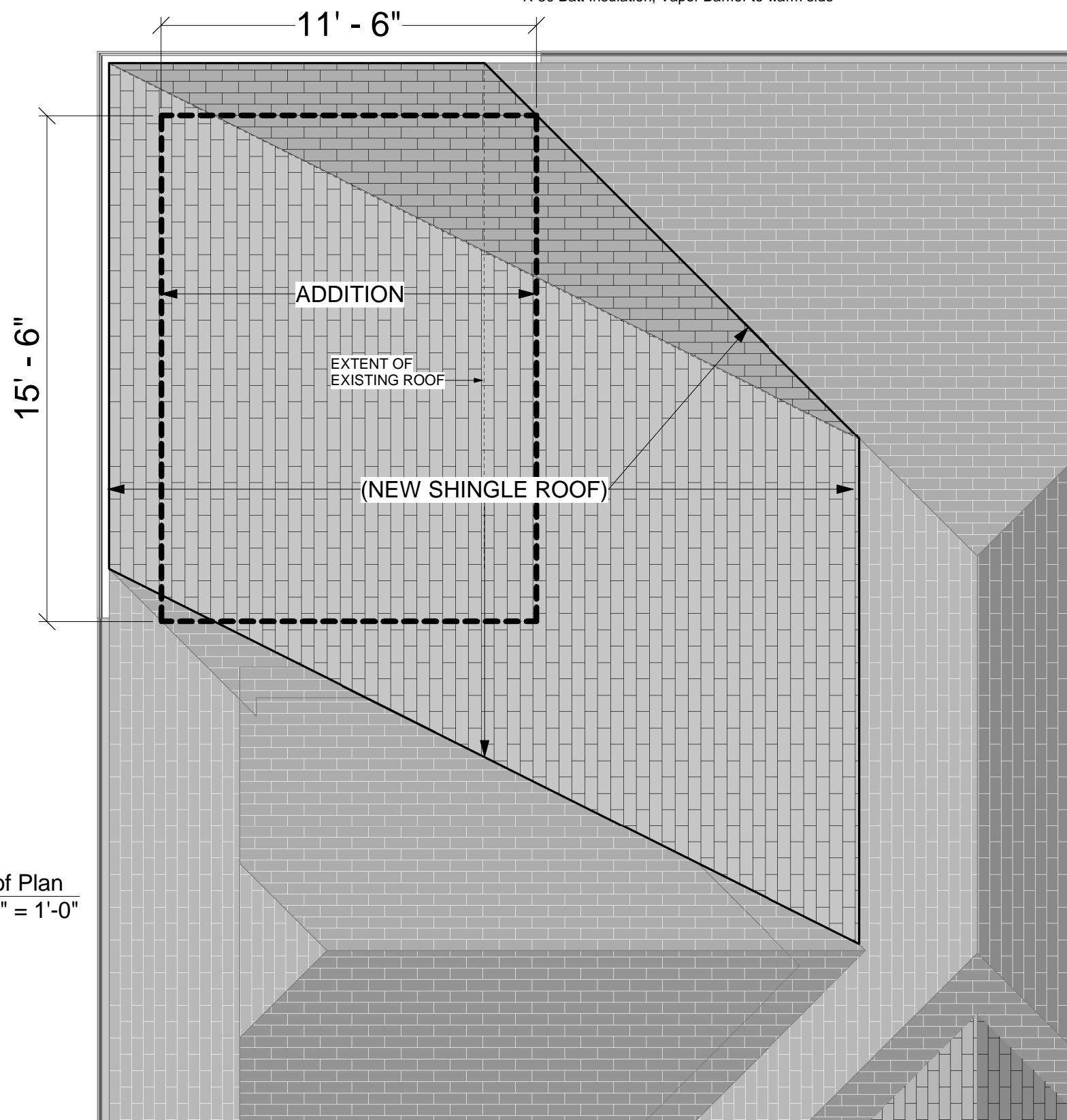
7 Section MBR View Right
1/4" = 1'-0"



2 1st Floor
1/4" = 1'-0"

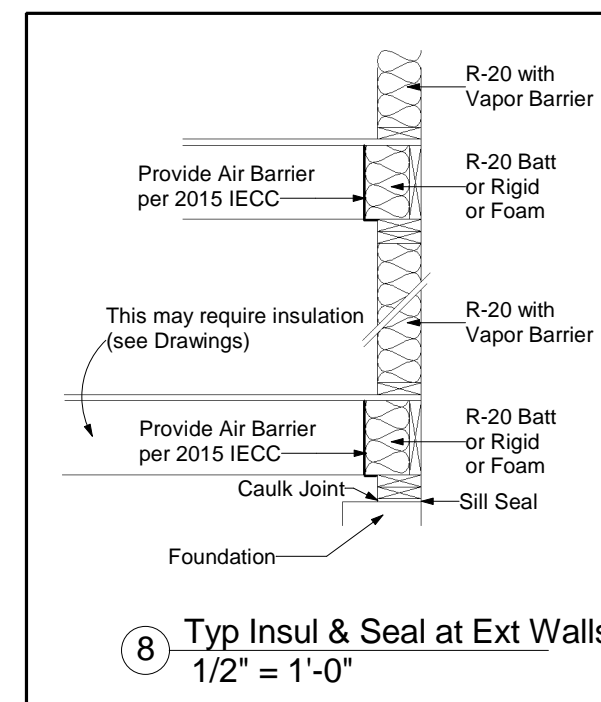


3 2nd Floor
1/4" = 1'-0"

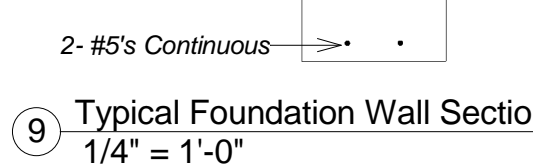


4 Roof Plan
1/4" = 1'-0"

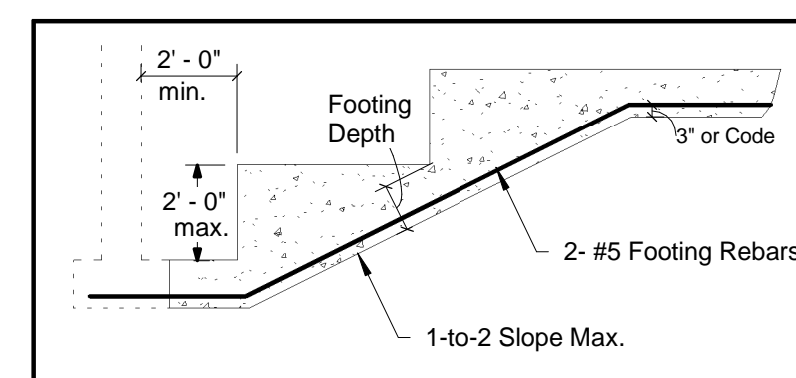
- GENERAL NOTES:**
- R-20 Closed-Cell Spray Foam Insul
 - R-30 Batt 1st Floor V.B to warm side
 - R-49 Ceiling/Roof Insulation
 - Windows & Glass Doors U=0.30
 - 1/2" Blueboard, Plastered, smooth finish,
 - on interior walls & ceilings
 - Hardwood Floors or as designated, Consult Owner
 - Coord Downspout locations with Owner
 - Match Siding & Trims Exterior & Interior
 - Contractors verify all conditions & dimensions before ordering materials or commencing work
- TYPICAL EXTERIOR WALL SECTION:**
- Siding: Match Exist
 - 1/2" Rated Plywood Sheathing
 - Building Wrap
 - 2x4 Studs (or larger ripped to match exist), SPF#2, per Structural
 - R20 Closed-Cell Spray Foam Insul
 - 1/2" Smooth-Plastered Blueboard
- TYPICAL INTERIOR WALL SECTION:**
- 1/2" Smooth-Plastered Blueboard
 - 2x4 @ 16" oc Wood Stud Framing, SPF#2 Kiln-Dried
 - Consult Owner re Sound Insulation
 - 1/2" Smooth-Plastered Blueboard
- TYPICAL FLOOR SECTION:**
- Hardwood Flooring
 - 3/4" T&G Ply
 - Joists per Structural
 - R-30 Batt Insulation, Vapor Barrier to warm side
- TYPICAL ROOF SECTION:**
- 30-Year Architectural Asphalt Shingles
 - Building Paper
 - 1/2" Rated Sheathing, 5-ply
 - Rafters per Structural
 - Rafter Vent baffles
 - R-49 Insulation
 - 1/2" Smooth-Plastered Blueboard
- GRADE ICE & WATER SHIELD:**
- Soffits: 2 Rows
 - Rakes: 1 Row
 - Valleys: 1 Row
 - Dormers: Cover
 - Roof-to-Wall: 1 Row as follows:
 - 1' along Roof, 2' up Wall



8 Typ Insul & Seal at Ext Walls
1/2" = 1'-0"



9 Typical Foundation Wall Section
1/4" = 1'-0"



10 Typical Step Footing
1/4" = 1'-0"

BEAM SIZES PER DEMPSEY 1-30-17 CALCS PACKAGE FOR 26 PARKER STREET, WESTWOOD MA

- STRUCTURAL NOTES:**
- CONFORM TO MASSACHUSETTS STATE BUILDING CODE, CURRENT EDITION
 - VERIFY EXISTING CONDITIONS AND PROPOSED DIMENSIONS PRIOR TO ORDERING MATERIAL OR CONSTRUCTING
- TEMPORARY SHORING & BRACING:**
- DESIGN AND INSTALLATION IS RESPONSIBILITY OF CONTRACTOR
- EXCAVATION & BACKFILL:**
- ALL WORK, INCLUDING FOOTING, SLAB AND TRENCH BEDS, AND ANY TRADES WORK ASSOCIATED WITH OR PLACED IN CONJUNCTION WITH EXCAVATION & BACKFILL, SHALL BE PROTECTED FROM SURFACE AND SUBSURFACE WATER
 - WATER-PREVENTION AND DE-WATERING SHALL NOT IMPINGE ON ADJACENT PROPERTIES AND SHALL BE IN A MANNER ACCEPTABLE TO LOCAL AND STATE JURISDICTIONS.
 - DO NOT CAST FTGS ON FROZEN WATER OR FROZEN GROUND
 - SAND-GRAVEL SHALL CONSIST OF HARD, DURABLE, NATURAL SOIL FREE OF CLAY, LOAM, ICE, SNOW, ROOTS, SOD, RUBBISH AND OTHER DELETERIOUS OR ORGANIC MATERIAL GRADED TO THE FOLLOWING LIMITS:

SIEVE SIZE	% FINER BY WEIGHT
3 INCH	100
1/2 INCH	50-85
NO. 4	40-75
NO. 50	8-28
NO. 200	0-8

5) GRANULAR FILL SHALL CONSIST OF INORGANIC SOIL FREE OF CLAY, LOAM, ICE, SNOW, ROOTS, SOD, RUBBISH AND OTHER DELETERIOUS OR ORGANIC MATERIAL, GRADED TO THE FOLLOWING LIMITS:

SIEVE SIZE	% FINER BY WEIGHT
2/3 LOOSE LIFT THICKNESS	100
NO. 10	30-80
NO. 40	10-70
NO. 200	0-15

- FOLLOWING EXCAVATION TO FOOTING BEARING ELEVATION, THE EXPOSED SOIL SHALL BE SURFACE COMPACTED WITH AT LEAST 6 PASSES OF A WALK BEHIND VIBRATORY ROLLER HAVING A DYNAMIC FORCE RATED NOT LESS THAN 10,000 LBS.
- BEFORE PLACEMENT OF CONCRETE FLOOR SLAB ON GRADE, THE SOIL SURFACE SHALL BE PROOF ROLLED WITH AT LEAST 6 PASSES OF A LARGE VIBRATORY ROLLER HAVING A DRUM WEIGHT OF AT LEAST 10,000 LBS. AND A DYNAMIC FORCE OF AT LEAST 20,000 LBS.
- OVER-EXCAVATED OR DISTURBED SOIL SHOULD BE REPLACED WITH GRANULAR FILL AND COMPACTED IN LIFTS TO 98% OF THE MAXIMUM DRY DENSITY PER ASTM D-1557. LOOSE LIFT THICKNESS SHALL BE 6 INCHES FOR HAND OPERATED EQUIPMENT AND 12 INCHES FOR LARGE VIBRATORY ROLLERS.
- SEE "CONCRETE" BELOW FOR OTHER REQ'TS.

- DESIGN LOADS:**
- ROOF - 40 PSF SNOW + 4 PSF SOLAR PANELS
 - AT TOP & BOT PLATES BY DEAN COLUMN COMPANY, FASTENED TO BEAMS/FLOOR
 - LIVING SPACE - 40 PSF
 - SLEEPING AREAS - 30 PSF

- CONCRETE:**
- CONCRETE 3000 PSI, 5% ENTRAINED IN FOOTINGS & WALLS, 0% IN ALL SLABS.
 - FOOTINGS 4 MIN. BELOW FINISH GRADE, KEVED TO RECEIVE WALLS
 - FOOTINGS TO BE ON INORGANIC, STABLE, NON-EXPANSIVE BEARING MATERIAL, VIRGIN MATERIAL OR COMPACTED STRUCTURAL GRAVEL FILL, 1.5 TSF OR BETTER.
 - MIN REINFORCING: FOUNDATION WALLS - (4) #5 CONTINUOUS - (1) IN TOP FT OF WALL, (1) IN BOT FT OF WALL, (1) EA @ 1/3 PTS. OVERLAPS AT OUTSIDE CORNERS AND STRAIGHTS 20" MIN.
 - 5/8" SILL-PLATE A-BOLTS, 8" EMBED @ 6" OC AND WITHIN 12" OF CORNERS.
 - TYPICAL REBAR CONNECTORS FROM FOUNDATION TO FOUNDATION: PROVIDE (2)#5 REBAR, 30" LONG, AT 3" FROM THE TOP & BOTTOM OF FOUNDATION, DRILL & EPOXY IN PLACE.
 - SLABS ON MIN 6" CLEAN, COMPACTED GRAVEL FILL, IF DEEPER, IN 12" MAX COMPACTED LIFTS, 95% PROCTER.
 - REBAR TO BE ASTM A615 GRADE 60
 - WIRE FOR SLABS TO BE WELDED WIRE FABRIC PER ASTM 185 - LAID IN FLAT SHTS.
 - FORM-TIE HOLES PLUG WITH HYDRAULIC CEMENT
 - CONSULT G.C. REGARDING SLEEVES & INSERTS AND COORDINATE THIS WORK.
 - FOLLOW A/CI RECOMMENDATIONS IF PLACING CONCRETE IN COLD-WEATHER CONDITIONS.
- WOOD:**
- DIMENSION LUMBER: SPRUCE-PINE-FIR #2, KILN-DRIED 19% MAX MOISTURE PLATE-LAPS 4 TO 8"
- PT WOOD: SOUTHERN YELLOW PINE #1
- ENGINEERED LUMBER: BOISE-CASCADE
- LVL'S ARE VL 2.0 3100 SP
- FOLLOW MANUF. DETAILS & RECOMMENDATIONS
- LAP PILES SO AS NOT TO CREATE BUTTED BEAMS
- GLUE & SCREW LAPS WITH
- PLY-TO-PLY FULL-DEPTH SDS'S @ 16" STAGGERED
- I-JOISTS PROTECTED BY GYPSUM OR EQUAL
- COATED-PROTECTION BY MANUF.
- FLOOR SHEATHING: 3/4" T&G APA RATED PANELS "STURDI-FLOOR" OR ADVANTECH, STAGGERED, GLUED & SCREWED.
- WALL SHEATHING: 1/2" EXPOSURE-1 APA RATED PLYWOOD, STAGGERED & EDGE-BLOCKED.
- ROOF SHEATHING: 1/2" 5-PLY APA RATED PLYWOOD SHEATHING, STAGGERED & EDGE-BLOCKED.
- OTHER:
- ADD JOIST WHERE UNDER PARALLEL-RUNNING BEARING WALL
 - SOLID BLOCK BETWEEN JOISTS UNDER BEARING WALL OR OVER BEAM
 - SOLID BLOCK UNDER POSTS, WITH LIKE MATERIAL
 - SOLID BLOCK BETWEEN RAFTER TIES & JOISTS THAT DO NOT PAIR UP EXACTLY, OR USE HOLD-DOWNS.
 - SIMPSON GALVI JOIST HANGERS ALL JOISTS
 - SIMPSON GALVI HURRICAN HOLD-DOWNS ALL RAFTERS
- STEEL COLUMNS:**
- LALLY COLUMNS ARE CONCRETE-FILLED BY DEAN COLUMN COMPANY OR EQUAL
 - AT TOP & BOT PLATES BY DEAN COLUMN COMPANY, FASTENED TO BEAMS/FLOOR
 - "STD. WGT." PIPE COLUMNS ARE SCHEDULE 40, 36SI
 - AT TOP & BOT PLATES 1/4" Steel, 3-1/2" x 5-1/2", FASTENED TO BEAMS/FLOOR
 - RECTANGULAR & SQ. COLUMNS: ASTM A500, GRADE B, 46 KSI
- STEEL BEAMS:**
- ASTM A992 - 50 KSI
 - ALL OTHER SHAPES & PLATES ASTM A36 - 36 KSI

- Heat Detector
- Smoke Detector
- Combo Smoke & CO Detector

Door Schedule (Consult Owner regarding styles & locks)

#	Location	Size	Type	Note
1-1	Closet	6'-0"x6'-6"	Bifold match panel style	
2-1	Closet	6'-0"x6'-6"	Bifold match panel style	

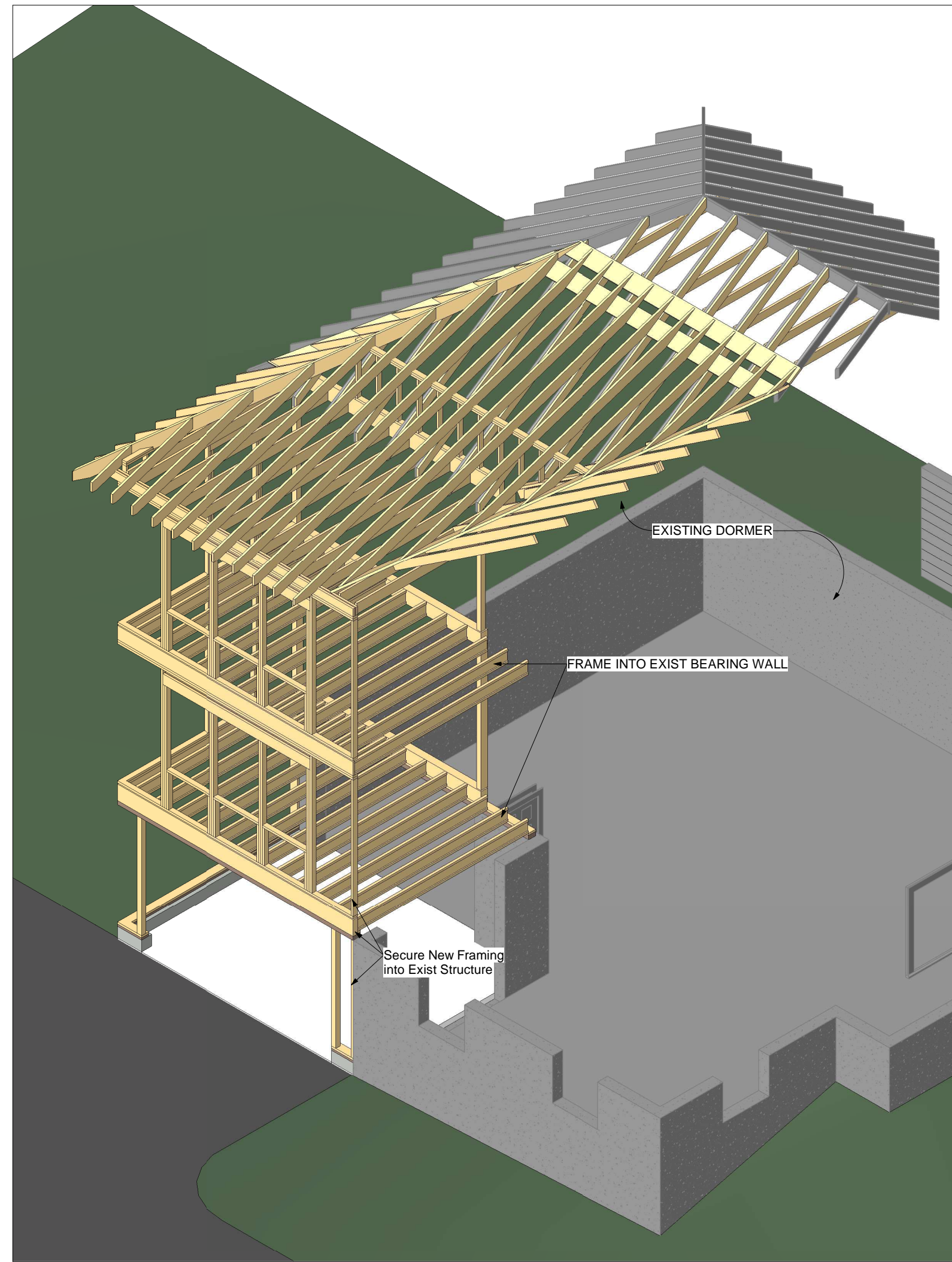
Window Schedule (U=0.30)

#	Size (nom.)	Type	Notes
A	2'-9" x 4'-8" Match Exist	Double-Hung	

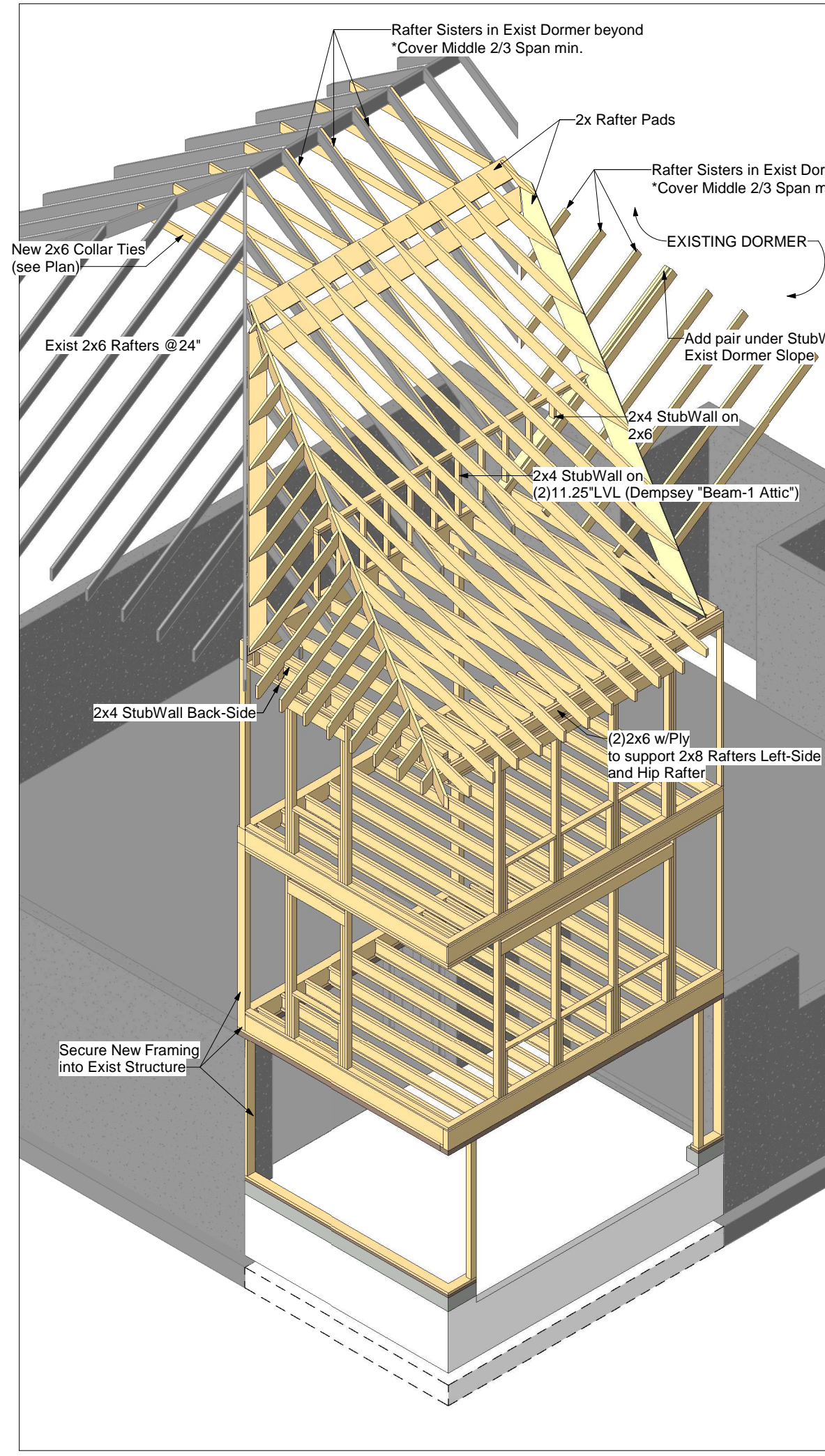
A2 -Plan, Sections, Notes
Date 4/24/17
Scale As indicated

Kamranpour Residence
26 Parker St., Westwood MA

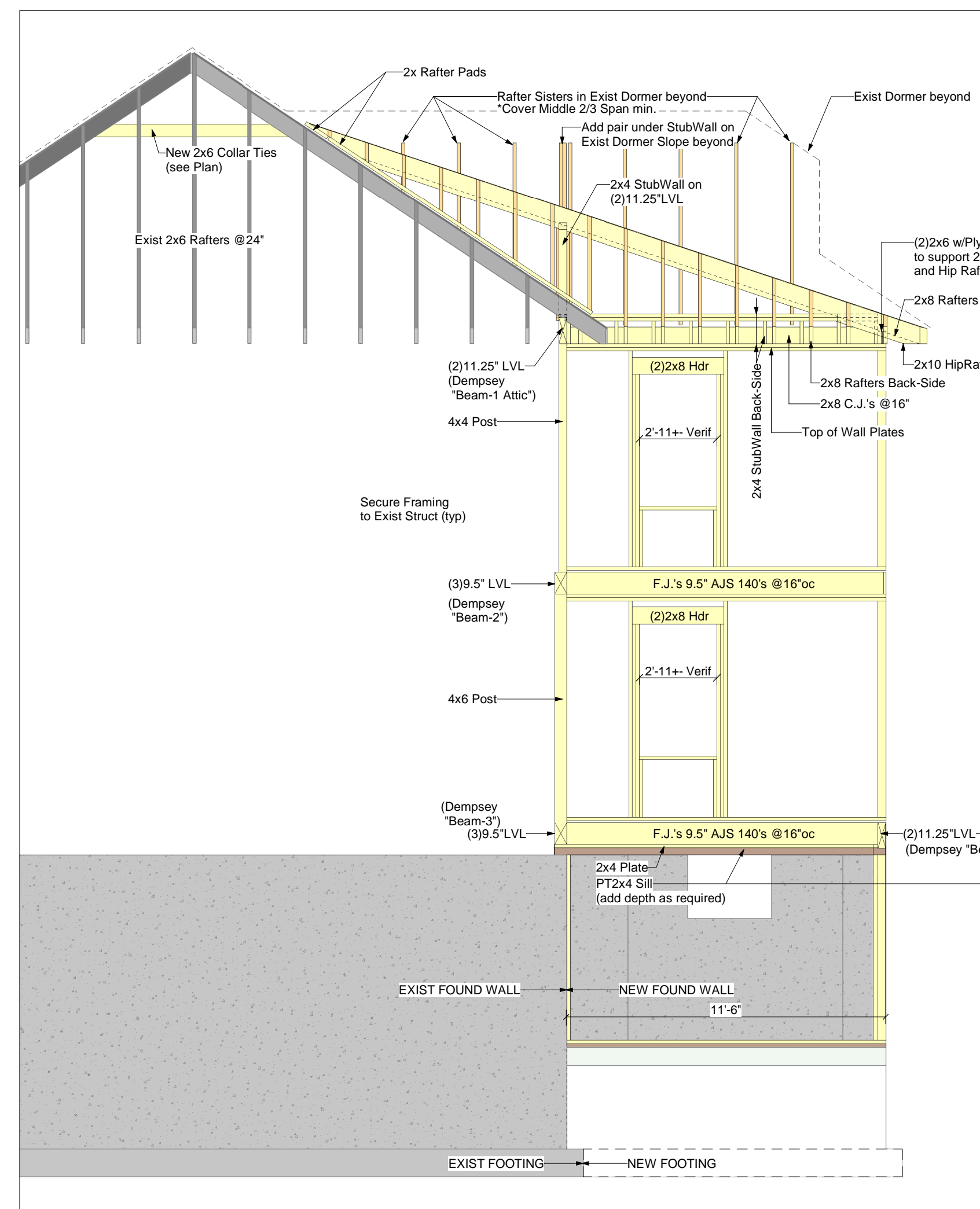
NARLEE DESIGN
19 Court, #2
East Walpole, MA 02032
508-660-1199
design@narlee.com



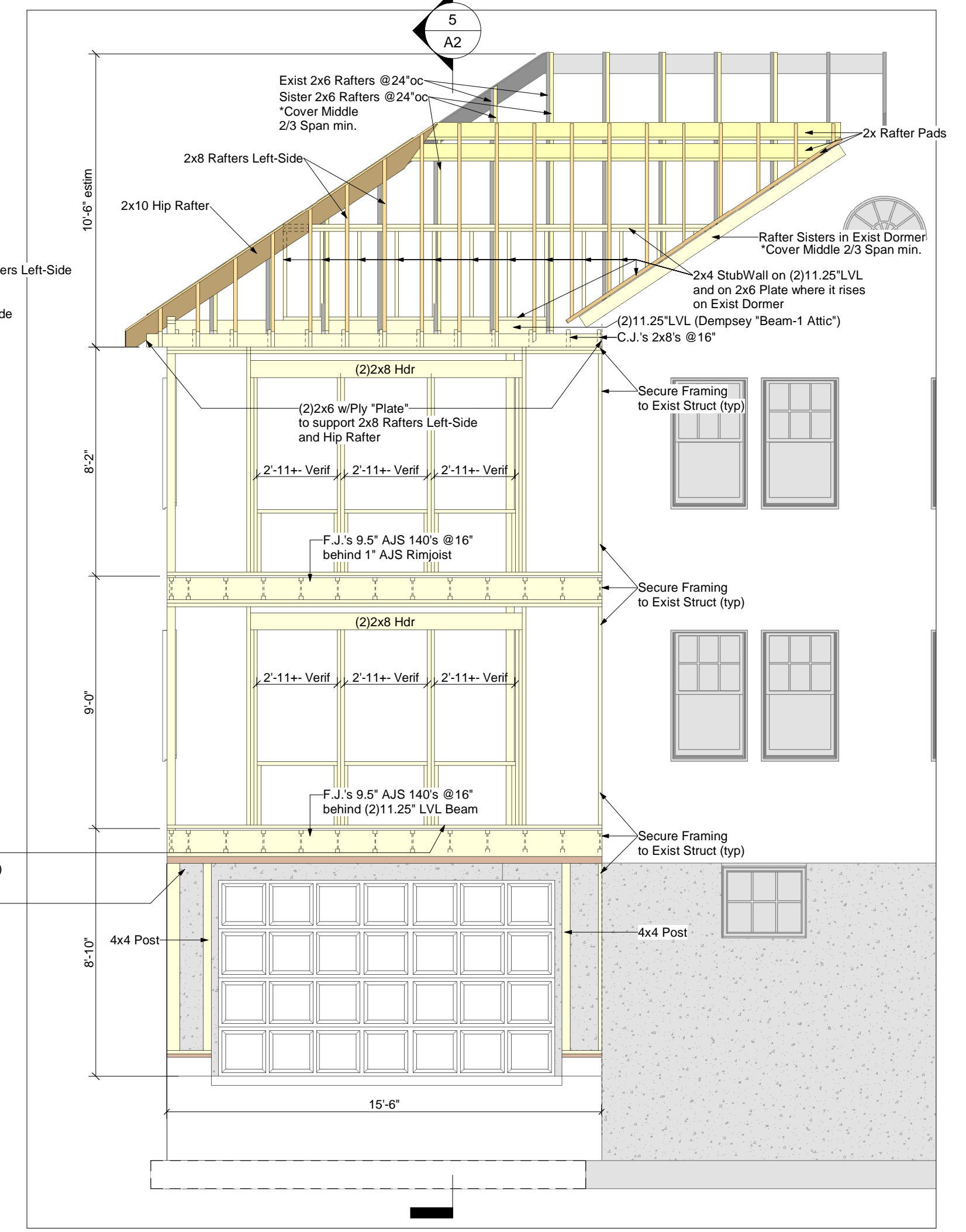
1 Aerial Front-Right
1/4" = 1'-0"



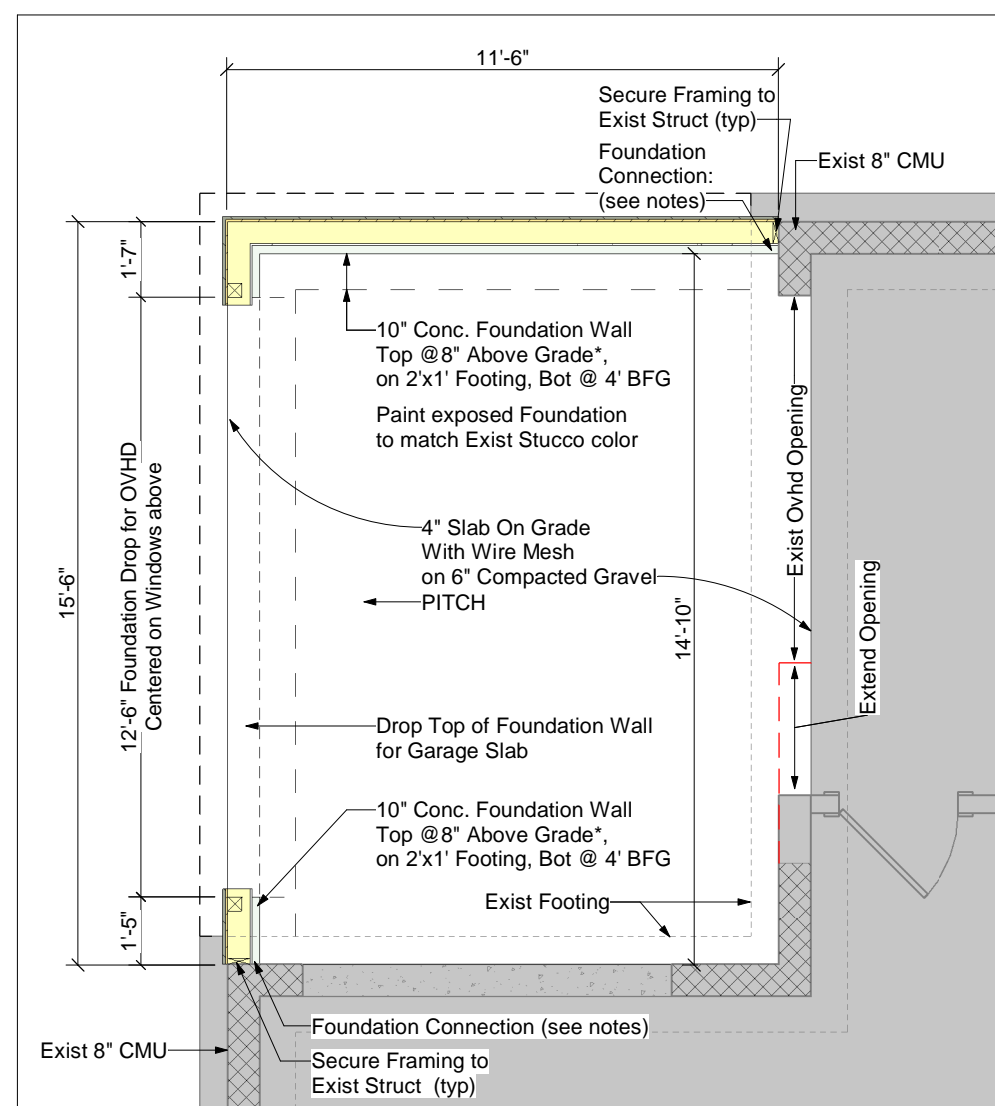
2 Aerial Back-Left
1/4" = 1'-0"



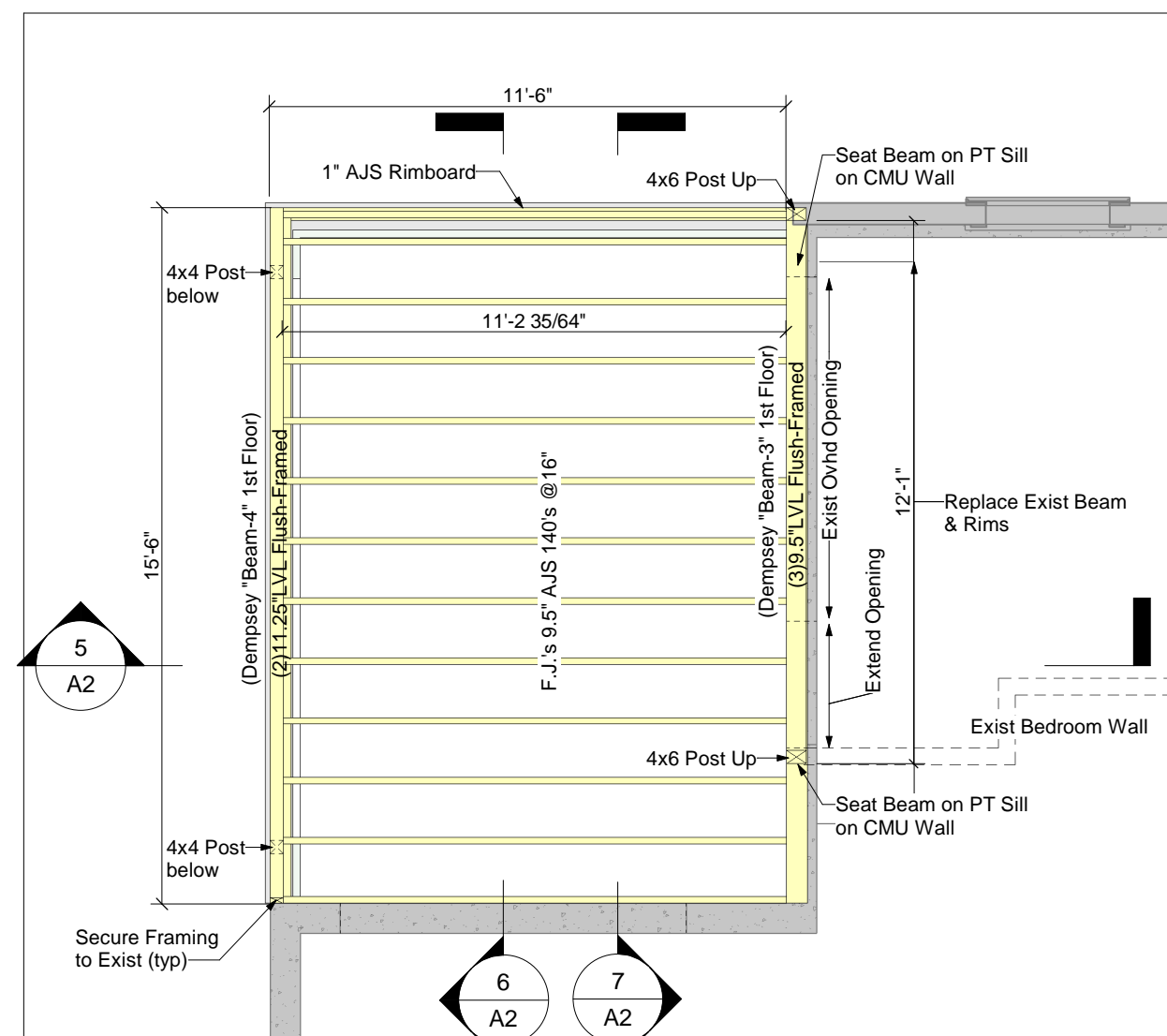
3 Back Elevation
1/4" = 1'-0"



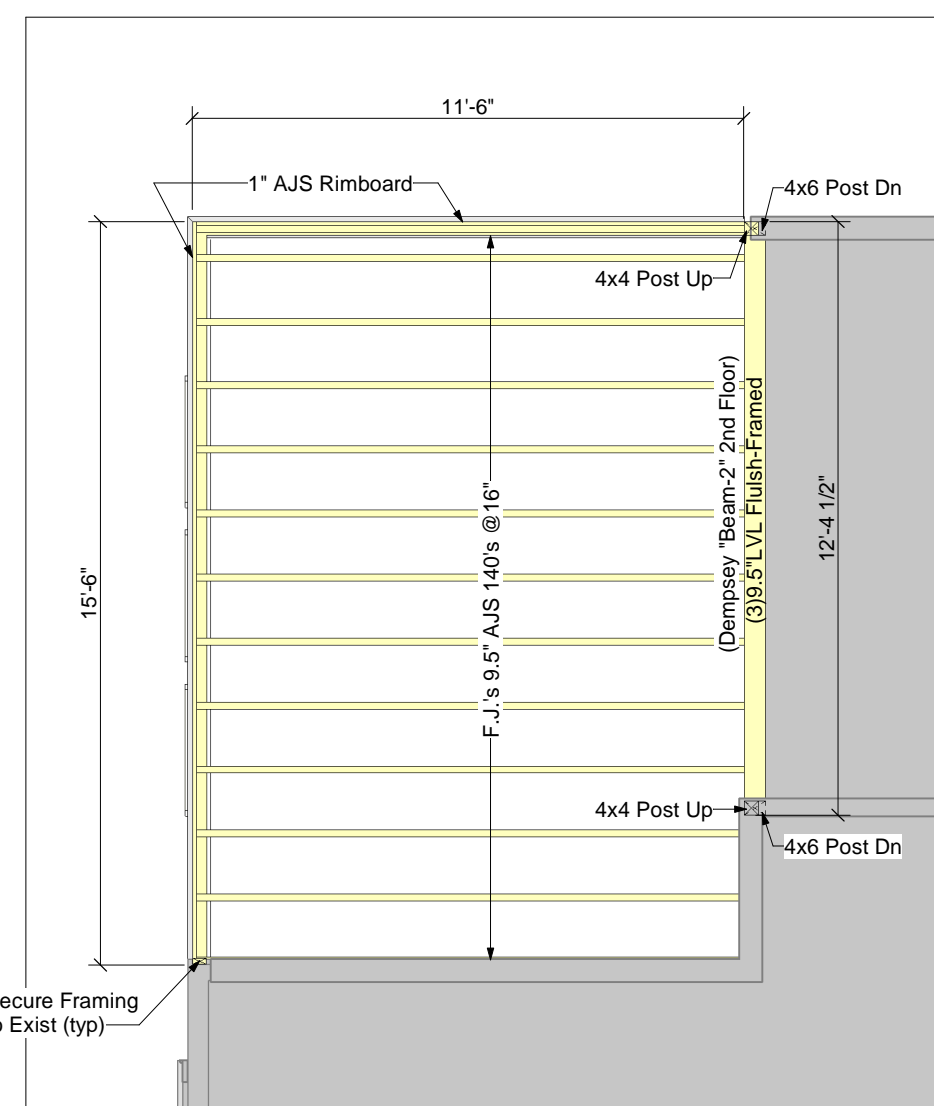
4 Left Elevation
1/4" = 1'-0"



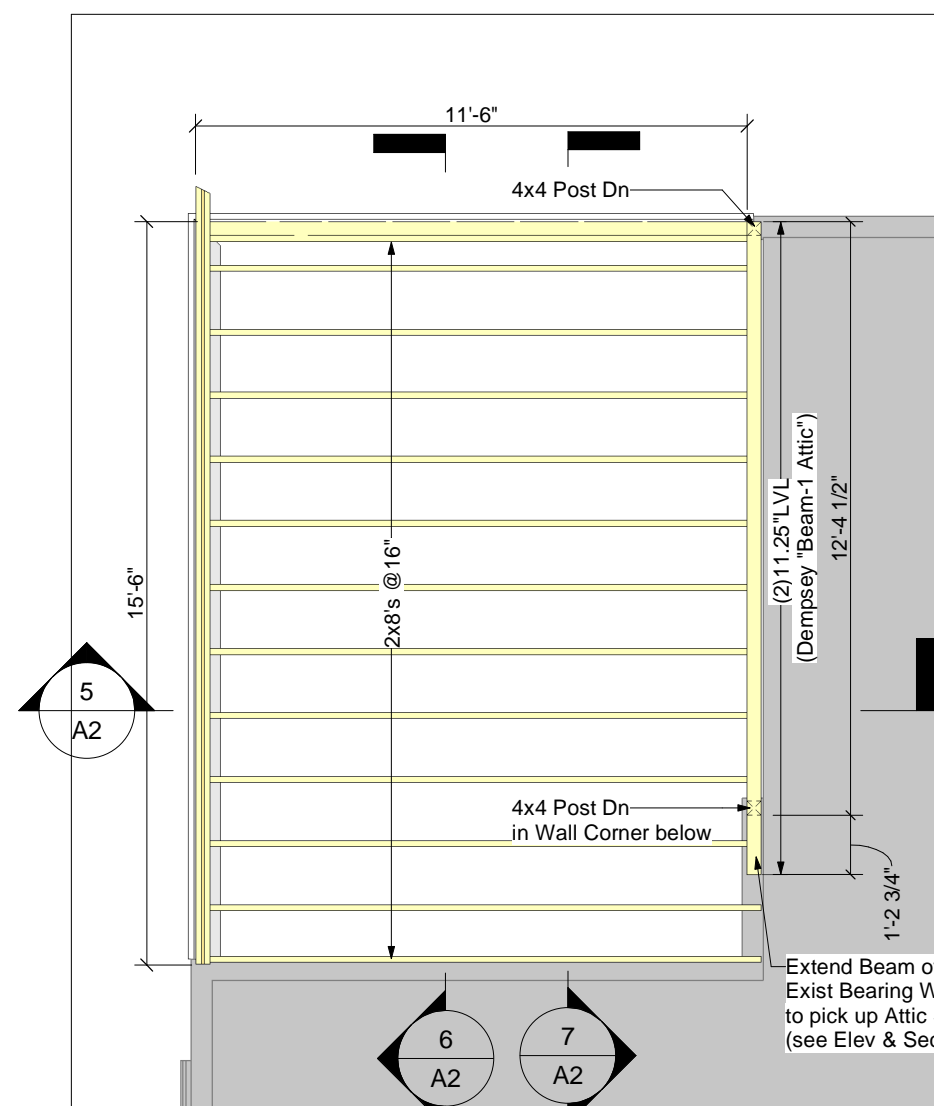
5 Foundations
1/4" = 1'-0"



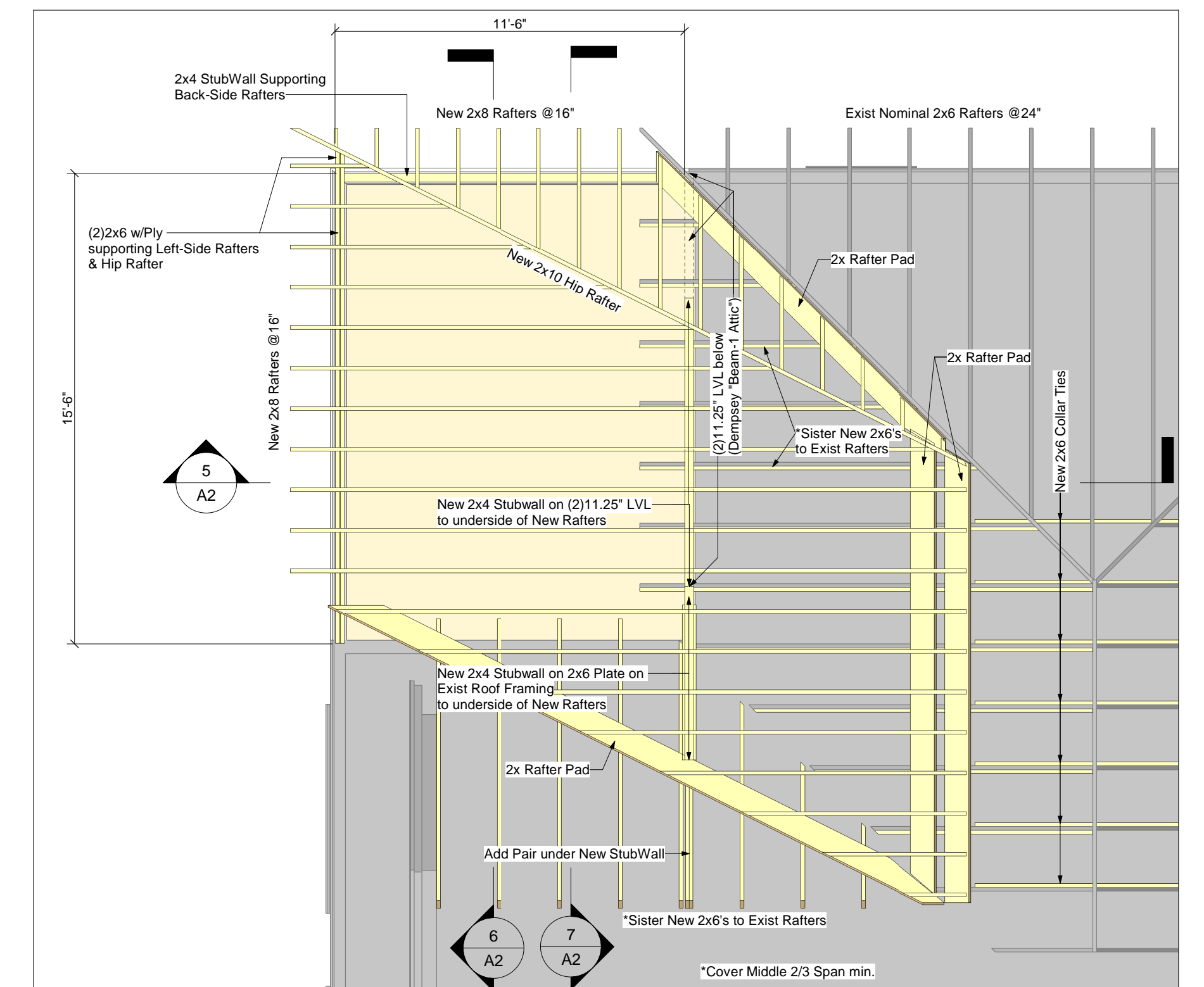
6 1st Floor
1/4" = 1'-0"



7 2nd Floor Framing
1/4" = 1'-0"



8 2nd Floor Ceiling
1/4" = 1'-0"



9 Roof Framing
1/4" = 1'-0"

*ALTERNATE: TOP OF FOUNDATION WALL MATCH TOP OF EXISTING AND COAT WITH STUCCO TO MATCH EXISTING

BEAM SIZES PER DEMPSEY 1-30-17 CALCS PACKAGE FOR 26 PARKER STREET, WESTWOOD MA

Verify Conditions for precise framing details

Grey = Exist
Color = New

S1 - Aerials, Plans, Elevs, Sects
Date 4/24/17

Kamranpour Residence
26 Parker St., Westwood MA

NARLEE DESIGN
19 Court, #2
East Walpole, MA 02032

508-660-1199
design@narlee.com

THE DEMPSEY GROUP, INC.

8 Beaumonts Pond Drive
 FOXBORO, MA 02035
 (508) 543-5499

tdgstructural@comcast.net

JOB 26 PARKER ST - WESTWOOD

SHEET NO. 1 OF 2

CALCULATED BY RJD DATE 1.13.17

CHECKED BY _____ DATE REV 1.30.17

SCALE _____

NEW 2 STORY ADDITION

RF DL = 10
 SL = 40

AT DL = 10
 LL = 20

SOLAR PANELS = 4

BM #1 @ ATTIC

SPAN = 12'-6"

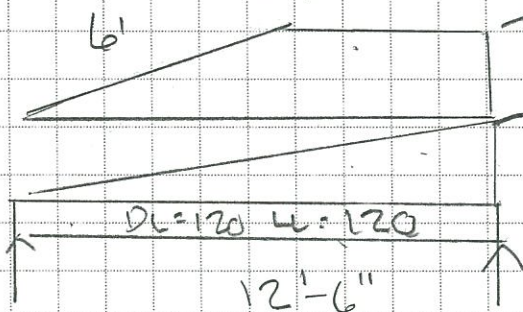
EX RF DL MAX = 10(12) = 120

NEW RF DL MAX = 10(21.5)(.81) = ~~174~~ 244

SL MAX = 40(21.5)(.81) = 697

UNIF AT FL DL = 10(12) = 120

LL = 20(6) = 120



DL = 174 244
 SL = 697

DL = 120

$\Delta L = .453$ (4/819)
 IDEAL $\Delta L = .417$ (4/360)
 DIFFERENCE = .036" (1/32")

CLOSE ENOUGH

USE (2) LVL 1 3/4 X 11/4
 ON 4 X 4 POST EA END

STILL OK

BM #2 & #3 @ 2ND & 1ST FLOORS

SPAN = 12'-6"

TRIB FLOOR = 12'

SLEEPING AREAS

DL = 10

LL = 30



OK - NO CHANGE

USE (3) LVL 1 3/4 X 9/4
 RIPPED TO NO LESS
 THAN 8 1/2" ON 4 X 6
 POSTS EA END

THE DEMPSEY GROUP, INC.

8 Beaumonts Pond Drive
 FOXBORO, MA 02035
 (508) 543-5499

tdgstructural@comcast.net

JOB 26 PARICED ST - WESTWOOD

SHEET NO. 2 OF 2

CALCULATED BY RJD DATE 1-13-17

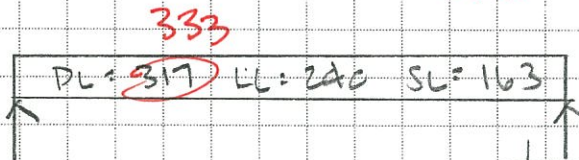
CHECKED BY _____ DATE REV 1-30-17

SCALE _____

BM # 4 - GAR DE HDR

SPAN = 13'

	DL	LL	SL
RF DL = 10 (21.5) (.19) = <u>41.57</u>			
SL = 40 (21.5) (.19) =			163
AT DL = 10 (6) = 60			
2 ND DL = 10 (6) = 60			
LL = 30 (6) = 60		60	
1 ST DL = 10 (6) = 60			
LL = 30 (6) = 60		180	
WALL DL = 6 (16) = 96			
	<u>317</u>	<u>240</u>	<u>163</u>
	333		



$\Delta L = \frac{4}{347} \approx \frac{4}{360}$
 OK

USE (2) LVL 1 3/4 X 11 1/4 W/ 4X4 POST EA END
--

OK



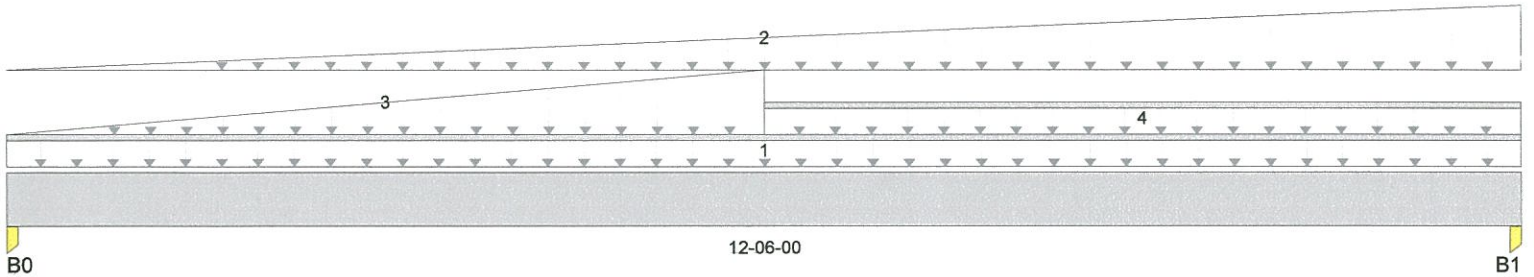
Dry | 1 span | No cantilevers | 0/12 slope

January 30, 2017 22:27:24

BC CALC® Design Report

Build 5684
 Job Name:
 Address: 26 Parker Street
 City, State, Zip: Westwood, MA
 Customer:
 Code reports: ESR-1040

File Name: 17001
 Description: BM#1 - Attic beam
 Specifier:
 Designer: RJD
 Company: TDG
 Misc: New 2 Story Addition



Total Horizontal Product Length = 12-06-00

Reaction Summary (Down / Uplift) (lbs)

Bearing	Live	Dead	Snow	Wind	Roof Live
B0, 3-1/2"	750 / 0	1,846 / 0	2,515 / 0		
B1, 3-1/2"	750 / 0	2,405 / 0	4,019 / 0		

Load Summary

Tag	Description	Load Type	Ref.	Start	End	100%	90%	115%	160%	125%	Trib.
1	Attic loads	Unf. Lin. (lb/ft)	L	00-00-00	12-06-00	120	120				n/a
2	Existing rf dl	Trapezoidal (lb/ft)	L	00-00-00	12-06-00		0				n/a
3	Var new rf loads	Trapezoidal (lb/ft)	L	00-00-00	06-03-00		0	0			n/a
4	Unif new rf loads	Unf. Lin. (lb/ft)	L	06-03-00	12-06-00		244	697			n/a
							174	697			n/a

Controls Summary

	Value	% Allowable	Duration	Case	Location
Pos. Moment	17,239 ft-lbs	70.5%	115%	2	06-06-12
End Shear	5,104 lbs	56.2%	115%	2	01-03-06
Total Load Defl.	L/319 (0.453")	75.2%	n/a	2	06-04-14
Live Load Defl.	L/518 (0.279")	69.6%	n/a	5	06-04-14
Max Defl.	0.453"	45.3%	n/a	2	06-04-14
Span / Depth	12.2	n/a	n/a	0	00-00-00

Bearing Supports

	Dim. (L x W)	Value	% Allow Support	% Allow Member	Material
B0 Post	3-1/2" x 3-1/2"	4,361 lbs	49.1%	47.5%	Spruce Pine Fir
B1 Post	3-1/2" x 3-1/2"	6,424 lbs	72.3%	69.9%	Spruce Pine Fir

Notes

Design meets Code minimum (L/240) Total load deflection criteria.
 Design meets Code minimum (L/360) Live load deflection criteria.
 Design meets arbitrary (1") Maximum total load deflection criteria.
 Calculations assume member is fully braced.
 Design based on Dry Service Condition.
 Fastener Manufacturer: Simpson Strong-Tie, Inc.



Dry | 1 span | No cantilevers | 0/12 slope

January 30, 2017 22:27:24

BC CALC® Design Report

Build 5684

Job Name:

Address: 26 Parker Street

City, State, Zip: Westwood, MA

Customer:

Code reports: ESR-1040

File Name: 17001

Description: BM#1 - Attic beam

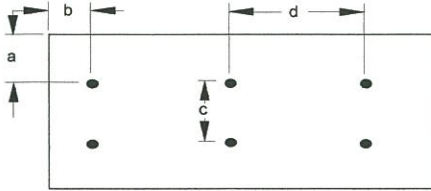
Specifier:

Designer: RJD

Company: TDG

Misc: New 2 Story Addition

Connection Diagram



a minimum = 1-1/2" c = 8-7/8"

b minimum = 6" d = 24"

e minimum = 1"

Install Screws with screw heads in the loaded ply.

Member has no side loads.

Connectors are: SDW22338

Disclosure

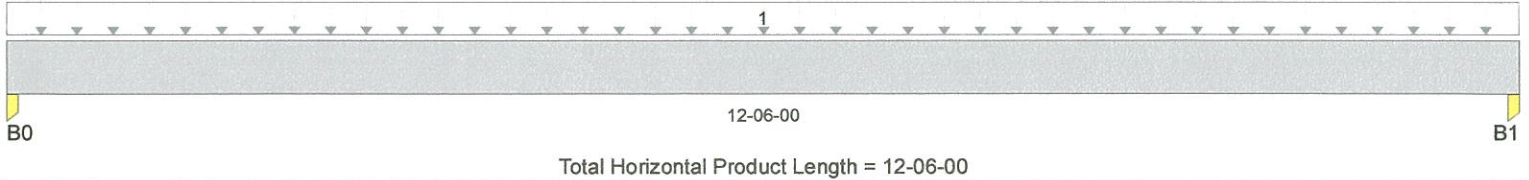
Completeness and accuracy of input must be verified by anyone who would rely on output as evidence of suitability for particular application. Output here based on building code-accepted design properties and analysis methods. Installation of Boise Cascade engineered wood products must be in accordance with current Installation Guide and applicable building codes. To obtain Installation Guide or ask questions, please call (800)232-0788 before installation.

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Build 5684
 Job Name:
 Address: 26 Parker Street
 City, State, Zip: Westwood, MA
 Customer:
 Code reports: ESR-1040

File Name: BC CALC Project
 Description: BM's #2 & 3 - 2nd and 1st flrs
 Specifier:
 Designer: RJD
 Company: TDG
 Misc: New 2 Story Addition


Reaction Summary (Down / Uplift) (lbs)

Bearing	Live	Dead	Snow	Wind	Roof Live
B0, 3-1/2"	2,250 / 0	831 / 0			
B1, 3-1/2"	2,250 / 0	831 / 0			

Load Summary

Tag	Description	Load Type	Ref.	Start	End	100%	90%	115%	160%	125%	Trib.
1	Trib fir loads	Unf. Area (lb/ft ²)	L	00-00-00	12-06-00	30	10				12-00-00

Controls Summary

	Value	% Allowable	Duration	Case	Location
Pos. Moment	8,934 ft-lbs	52.7%	100%	1	06-03-00
End Shear	2,588 lbs	30.5%	100%	1	01-00-00
Total Load Defl.	L/333 (0.434")	72.1%	n/a	1	06-03-00
Live Load Defl.	L/456 (0.317")	79%	n/a	2	06-03-00
Max Defl.	0.434"	43.4%	n/a	1	06-03-00
Span / Depth	17	n/a	n/a	0	00-00-00

Bearing Supports

	Dim. (L x W)	Value	% Allow Support	% Allow Member	Material
B0 Post	3-1/2" x 5-1/4"	3,081 lbs	23.1%	22.4%	Spruce Pine Fir
B1 Post	3-1/2" x 5-1/4"	3,081 lbs	23.1%	22.4%	Spruce Pine Fir

Notes

Design meets Code minimum (L/240) Total load deflection criteria.
 Design meets Code minimum (L/360) Live load deflection criteria.
 Design meets arbitrary (1") Maximum total load deflection criteria.
 Calculations assume member is fully braced.

*** Cut from: 1-3/4" x 9-1/4" VERSA-LAM® 2.0 3100 SP**

Design based on Dry Service Condition.

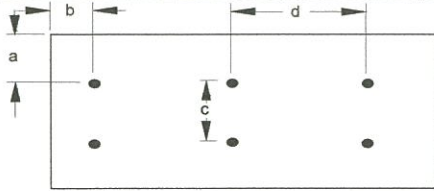
Fastener Manufacturer: Simpson Strong-Tie, Inc.



Build 5684
 Job Name:
 Address: 26 Parker Street
 City, State, Zip: Westwood, MA
 Customer:
 Code reports: ESR-1040

File Name: BC CALC Project
 Description: BM's #2 & 3 - 2nd and 1st flrs
 Specifier:
 Designer: RJD
 Company: TDG
 Misc: New 2 Story Addition

Connection Diagram



a minimum = 1-1/2" c = 5-1/2"
 b minimum = 6" d = 24"
 e minimum = 1"

Install Screws with screw heads in the loaded ply.
 Member has no side loads.
 Connectors are: SDW22500

Disclosure

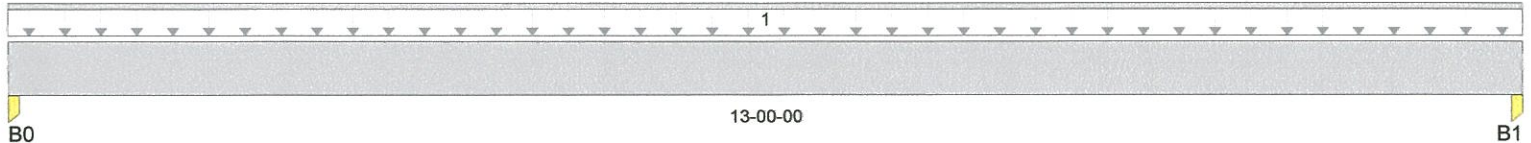
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Build 5684
 Job Name:
 Address: 26 Parker Street
 City, State, Zip: Westwood, MA
 Customer:
 Code reports: ESR-1040

File Name: 17001
 Description: BM#4 - Gar dr hdr
 Specifier:
 Designer: RJD
 Company: TDG
 Misc: New 2 Story Addition



Total Horizontal Product Length = 13-00-00

Reaction Summary (Down / Uplift) (lbs)

Bearing	Live	Dead	Snow	Wind	Roof Live
B0, 3-1/2"	1,560 / 0	2,239 / 0	1,060 / 0		
B1, 3-1/2"	1,560 / 0	2,239 / 0	1,060 / 0		

Tag	Description	Load Type	Ref.	Start	End	100%	90%	Snow	Wind	Roof Live	Trib.
1	Rf+At+2nd+1st+Wall	Unf. Lin. (lb/ft)	L	00-00-00	13-00-00	240	333	115%	160%	125%	n/a

Controls Summary

	Value	% Allowable	Duration	Case	Location
Pos. Moment	11,490 ft-lbs	59.8%	100%	1	06-06-00
End Shear	3,080 lbs	41.2%	100%	1	01-02-12
Total Load Defl.	L/347 (0.433")	69.1%	n/a	3	06-06-00
Live Load Defl.	L/743 (0.203")	48.5%	n/a	6	06-06-00
Max Defl.	0.433"	43.3%	n/a	3	06-06-00
Span / Depth	13.4	n/a	n/a	0	00-00-00

Bearing Supports

	Dim. (L x W)	Value	% Allow Support	% Allow Member	Material
B0 Post	3-1/2" x 3-1/2"	4,203 lbs	47.3%	45.7%	Spruce Pine Fir
B1 Post	3-1/2" x 3-1/2"	4,203 lbs	47.3%	45.7%	Spruce Pine Fir

Notes

Design meets Code minimum (L/240) Total load deflection criteria.
 Design meets Code minimum (L/360) Live load deflection criteria.
 Design meets arbitrary (1") Maximum total load deflection criteria.
 Calculations assume member is fully braced.
 Design based on Dry Service Condition.
 Fastener Manufacturer: Simpson Strong-Tie, Inc.



Dry | 1 span | No cantilevers | 0/12 slope

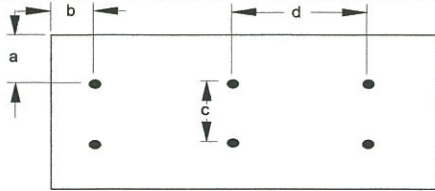
January 30, 2017 23:00:51

BC CALC® Design Report

Build 5684
 Job Name:
 Address: 26 Parker Street
 City, State, Zip: Westwood, MA
 Customer:
 Code reports: ESR-1040

File Name: 17001
 Description: BM#4 - Gar dr hdr
 Specifier:
 Designer: RJD
 Company: TDG
 Misc: New 2 Story Addition

Connection Diagram



a minimum = 1-1/2" c = 8-1/4"
 b minimum = 6" d = 24"
 e minimum = 1"

Install Screws with screw heads in the loaded ply.
 Member has no side loads.
 Connectors are: SDW22338

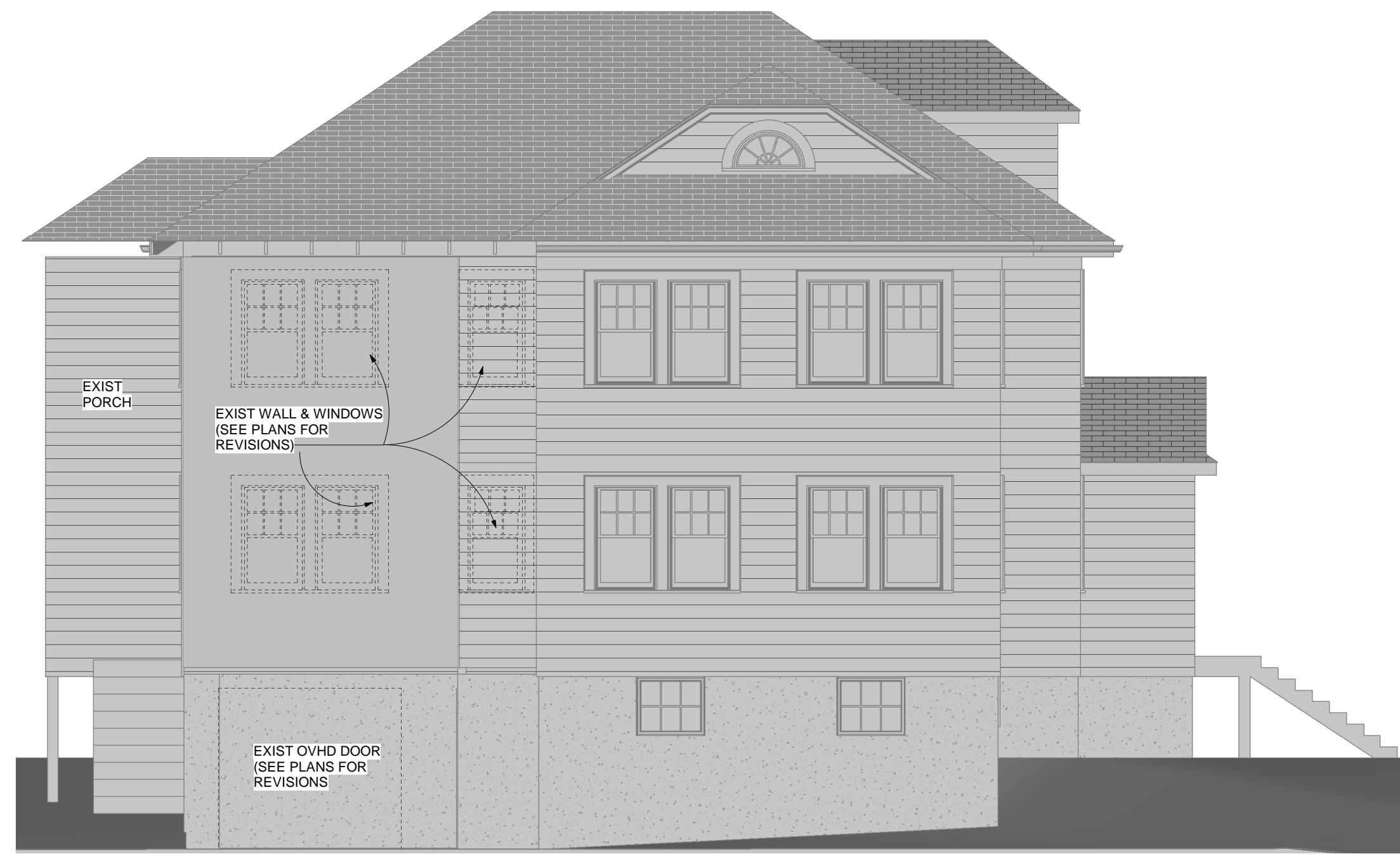
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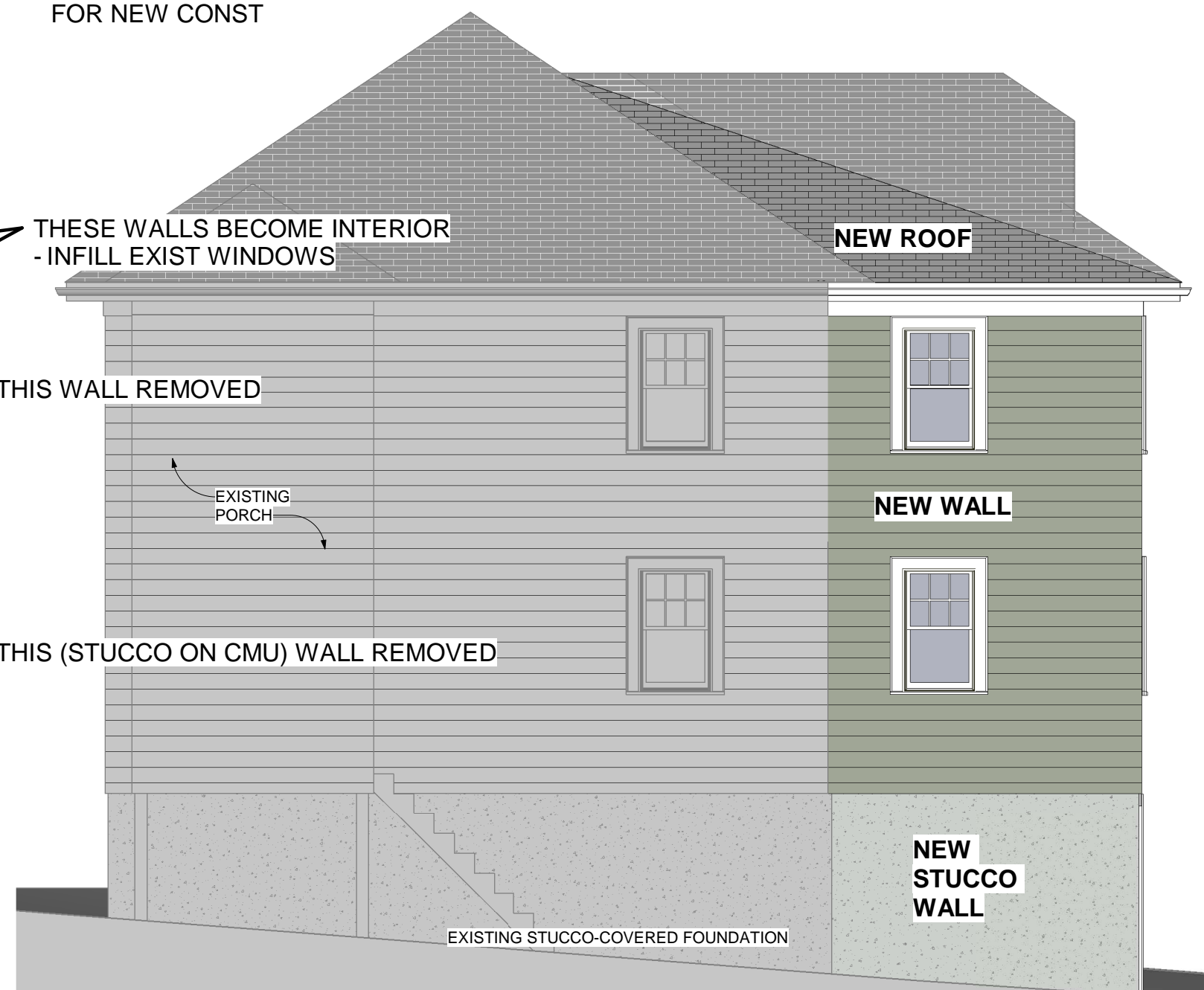
1 EXIST BACK ELEV
3/16" = 1'-0"



2 EXIST LEFT ELEV
3/16" = 1'-0"



3 EXIST FRONT ELEV
3/16" = 1'-0"



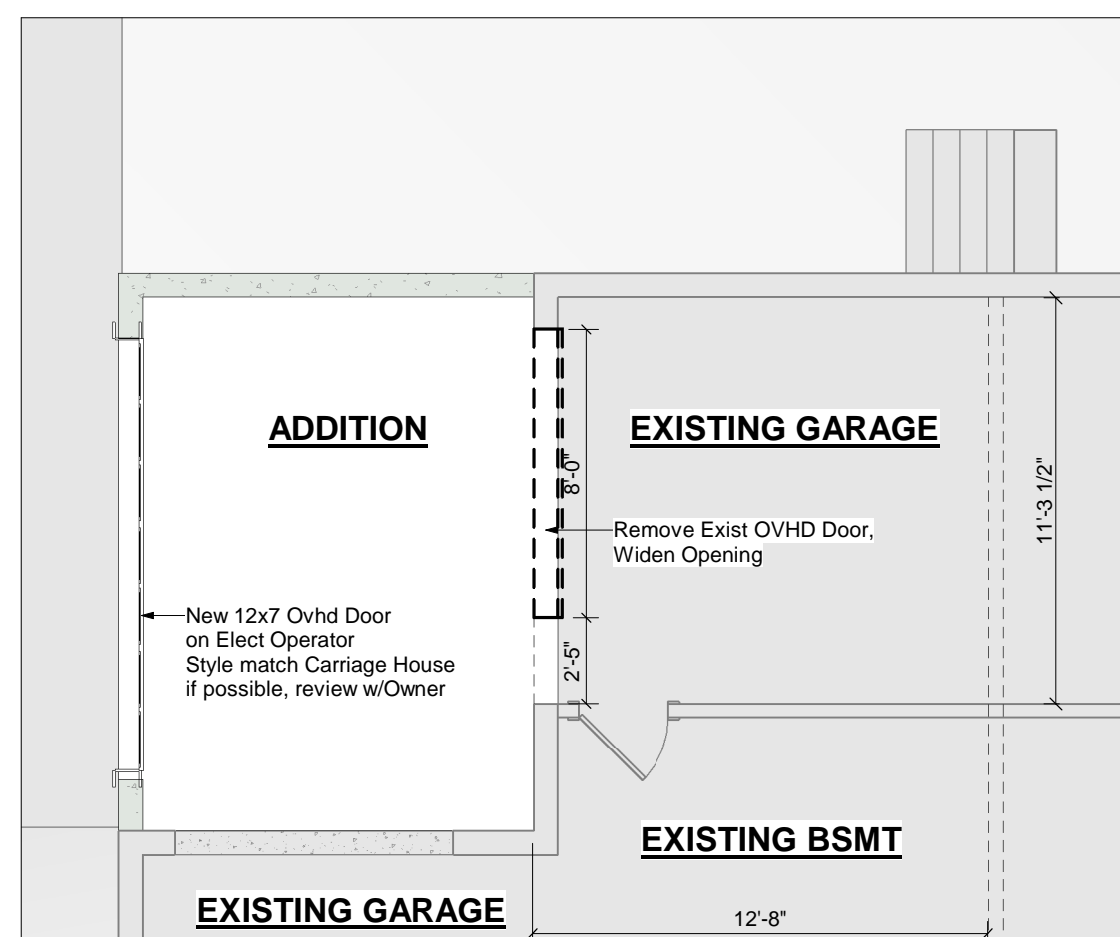
4 PROPOSED BACK ELEV
3/16" = 1'-0"



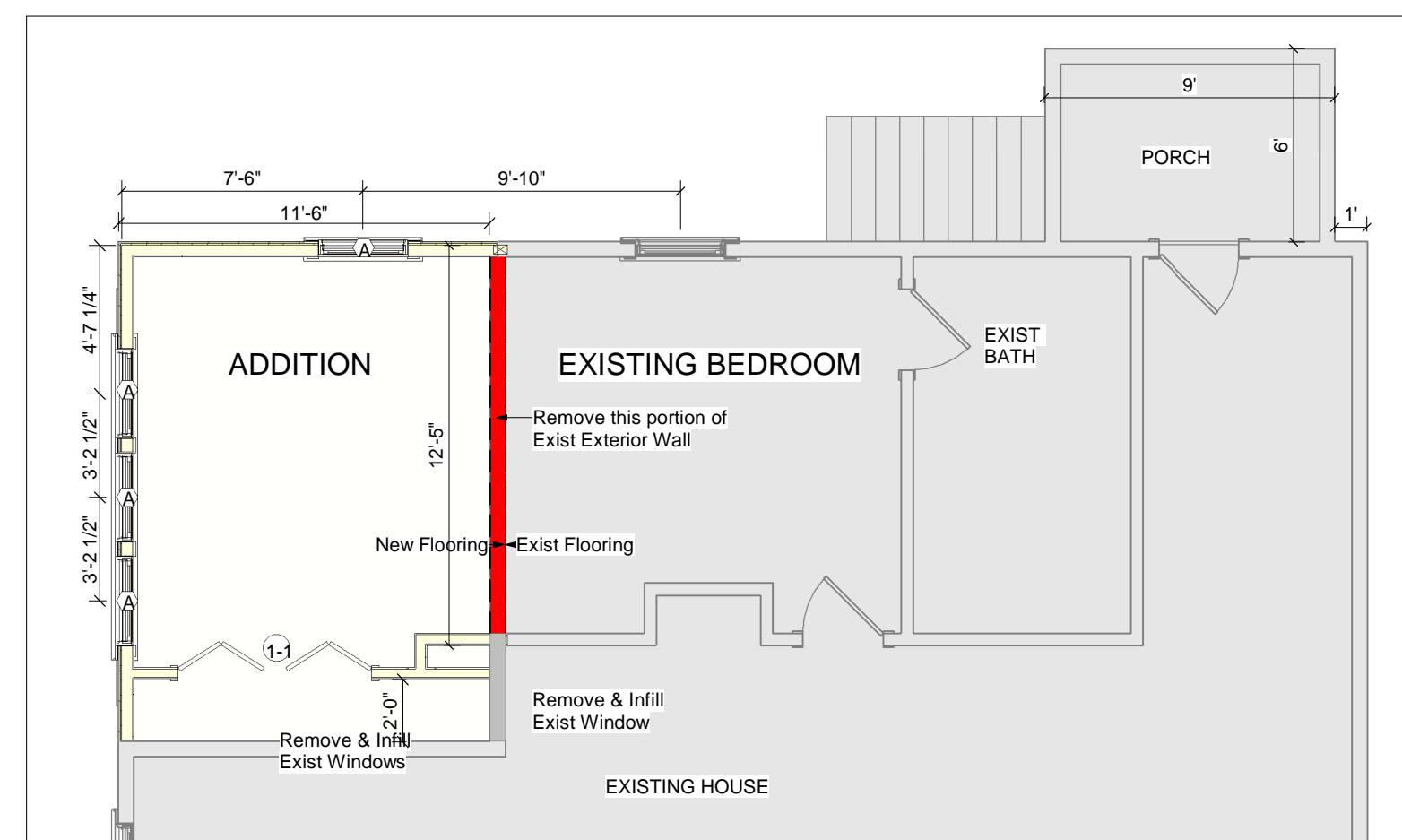
5 PROPOSED LEFT ELEV
3/16" = 1'-0"

FROM SURVEY:
ROOF RIDGE @ 128.6'
MIDROOF @ 123.3'
DRIPEDGE @ 118.0'
1ST FL @ 100.0'
HIGH ADJ. GRADE TO BUILDING @ 97.7

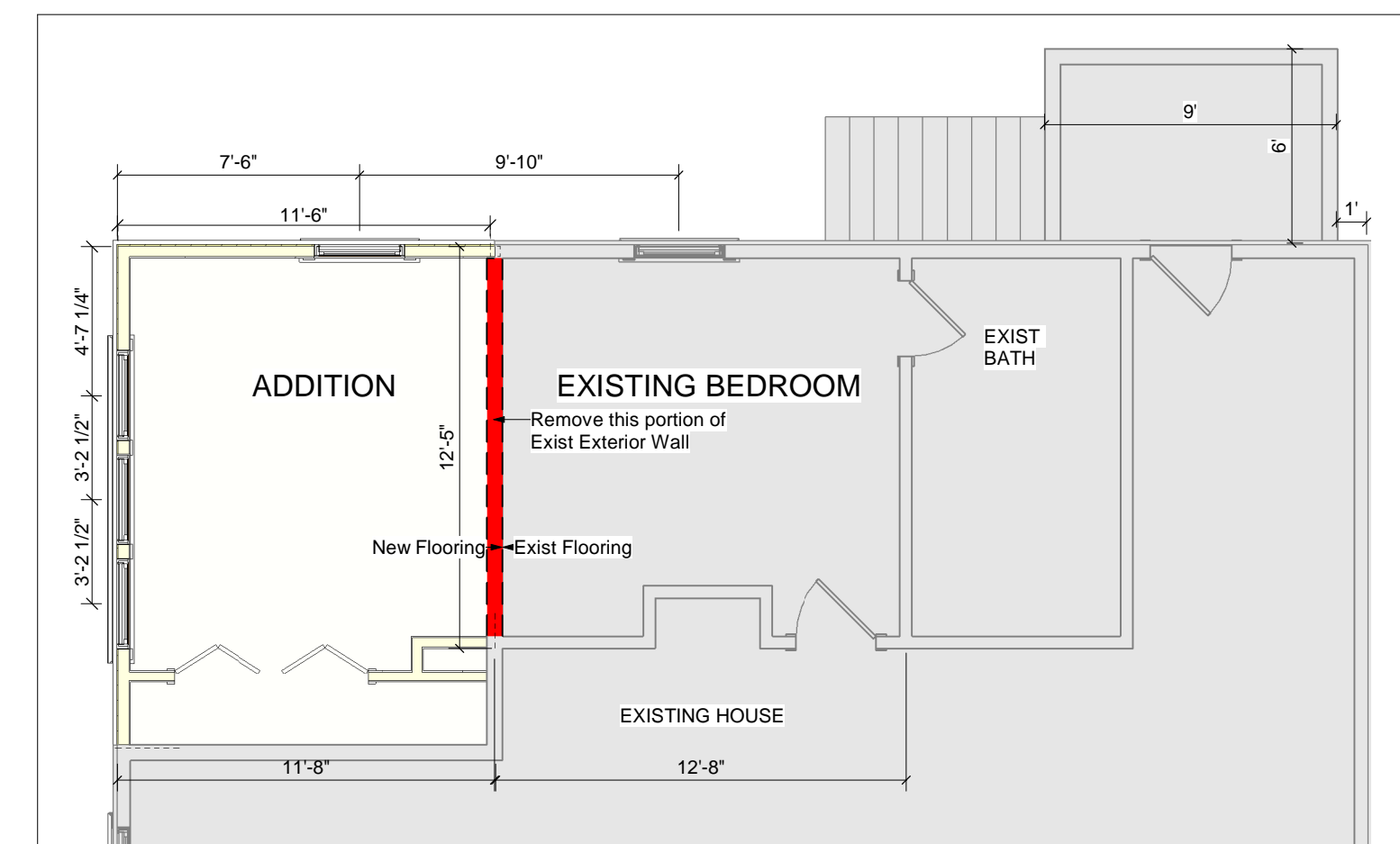
NO CHANGE FRONT ELEVATION



6 Basement
3/16" = 1'-0"



7 1st Floor
3/16" = 1'-0"



8 2nd Floor Plan
3/16" = 1'-0"