

Definitive Site Plan for 390 Washington Street Westwood, Massachusetts

ZONING REQUIREMENTS

Zoning District: Local Business B (LBB)
Assessors' Map: 23
Lot: 221

Owner, Of Record:
Walsh, Walter J. Jr. (TR)
Norfolk County: Dd. Bk. 33405, Pg. 361

Applicant:
Saeed Rahman



DRAWING INDEX

COVER SHEET	1 OF 12
EXISTING CONDITIONS PLAN	2 OF 12
DEMOLITION PLAN	3 OF 12
SITE LAYOUT PLAN	4 OF 12
SITE GRADING PLAN	5 OF 12
SITE UTILITY PLAN	6 OF 12
SOIL EROSION AND SOIL CONTROL PLAN	7 OF 12
LANDSCAPE PLAN	8 OF 12
VEHICLE MANEUVERING PLAN	9 OF 12
PHOTOMETRIC PLAN	10 OF 12
CONSTRUCTION DETAILS PLAN	11 OF 12
CONSTRUCTION DETAILS PLAN	12 OF 12

REV. NO.	DATE	DESCRIPTION	BY
2	8-11-16	NO CHANGES	JDD/VLN
1	7-6-16	ADDED R.O.W. EASEMENT FOR ROCHE BROS.	JDD/VLN

REVISIONS

SEA-COAST CONSULTING, LLC.
LAND PLANNING AND BUILDING LAYOUT PLANNING SERVICES

4 COURT STREET, SUITE 101, TAUNTON, MA. 02780
TEL. (800) 946-1575, FAX (800) 946-1575

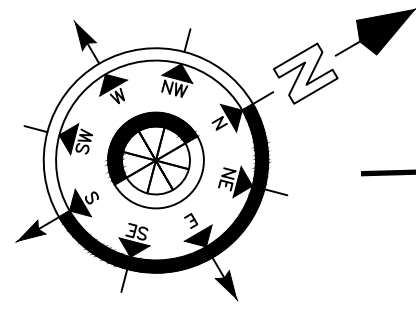
"SPECIALIZED CUSTOM SERVICE TO MEET OUR CLIENTS' NEEDS!"

Project:
**SITE PLAN COVER SHEET
390 WASHINGTON STREET
WESTWOOD, MASSACHUSETTS**

CLIENT:
Saeed Rahman

SCALE: NONE
DATE: 06-10-2016
DRAWN BY: JDD/VLN
JOB NO. 1116-02
SHEET NO.

1 OF **12**

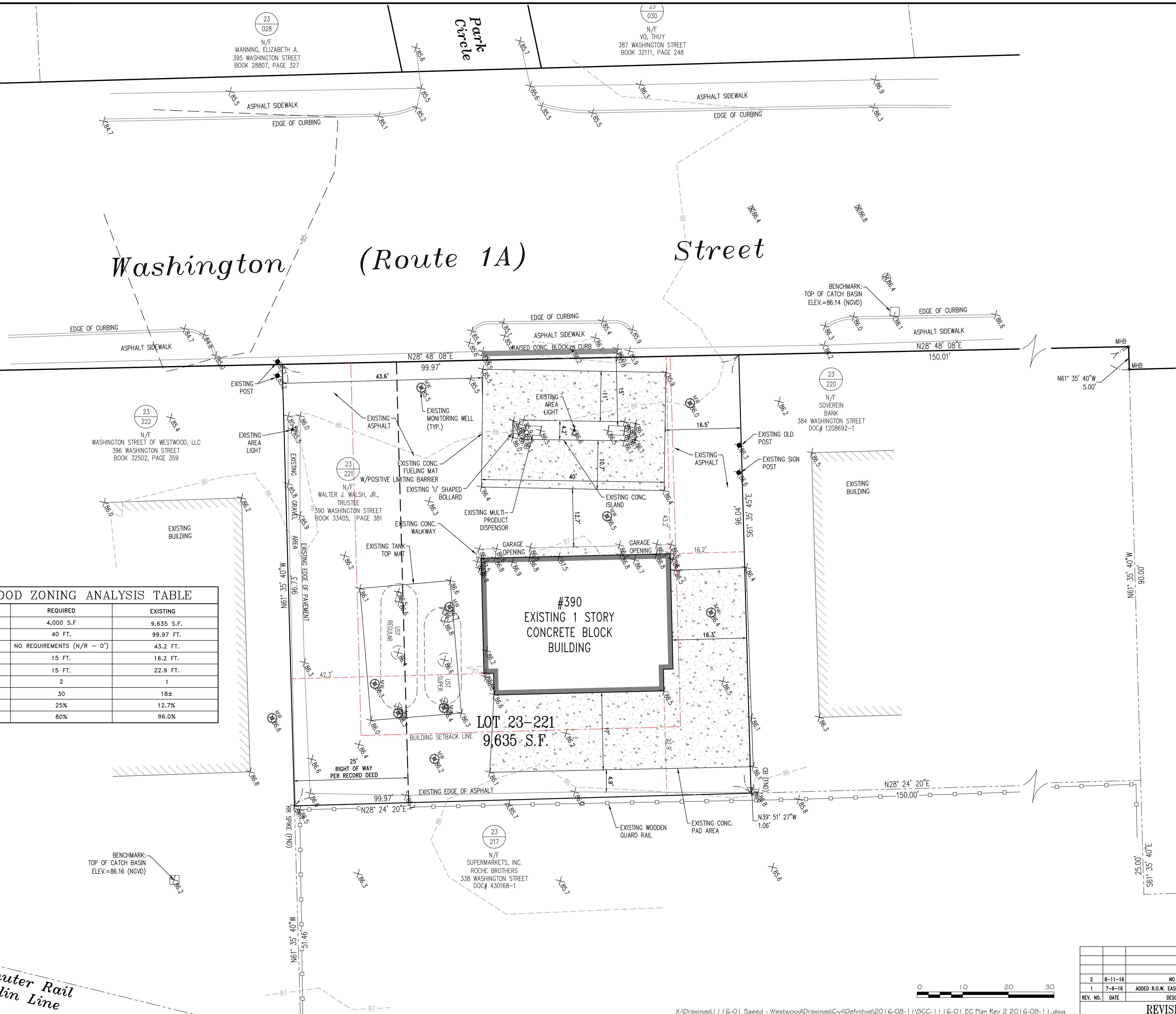


ZONING REQUIREMENTS

Zoning District: Local Business B (LBB)
 Assessors' Map: 23
 Lot: 221

Owner Of Record:
 Walsh, Walter J. Jr. (TR)
 Norfolk County: Dd. Bk. 33405, Pg. 381

Applicant:
 Saeed Rahman



WESTWOOD ZONING ANALYSIS TABLE		
ZONE REQUIREMENTS - LOCAL BUSINESS B (LBB)	REQUIRED	EXISTING
MINIMUM LOT AREA	4,000 S.F.	9,635 S.F.
MINIMUM CONTIGUOUS FRONTAGE	40 FT.	99.97 FT.
MINIMUM FRONT YARD SETBACK	NO REQUIREMENTS (N/R - 0')	43.2 FT.
MINIMUM SIDE YARD SETBACK	15 FT.	16.2 FT.
MINIMUM REAR YARD SETBACK	15 FT.	22.9 FT.
MAXIMUM BUILDING HEIGHT IN STORIES	2	1
MAXIMUM BUILDING HEIGHT IN FEET	30	18±
MAXIMUM BUILDING COVERAGE (%)	25%	12.7%
MAXIMUM IMPERVIOUS SURFACE (%)	80%	96.0%

*Commuter Rail
 Franklin Line*



REV. NO.	DATE	DESCRIPTION	BY
2	8-11-16	NO CHANGES	JDD/VLN
1	7-6-16	ADDED R.O.W. EASEMENT FOR ROCHE BROS.	JDD/VLN

REVISIONS

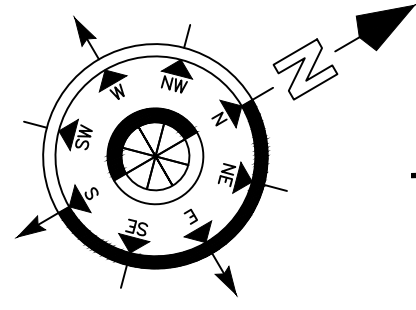
SEA-COAST CONSULTING, LLC.
 LAND PLANNING AND BUILDING LAYOUT PLANNING SERVICES
 4 COURT STREET, SUITE 101, TAUNTON, MA. 02780
 TEL. (800) 946-1575, FAX (800) 946-1575
 "SPECIALIZED CUSTOM SERVICE TO MEET OUR CLIENTS' NEEDS!"



**EXISTING SITE CONDITIONS
 PLAN**
**390 WASHINGTON STREET
 WESTWOOD, MASSACHUSETTS**
 CLIENT: Saeed Rahman

Project: 1116-01
 SCALE: 1" = 10'
 DATE: 06-10-2016
 DRAWN BY: JDD/VLN
 JOB NO. 1116-02
 SHEET NO.

212
 OF

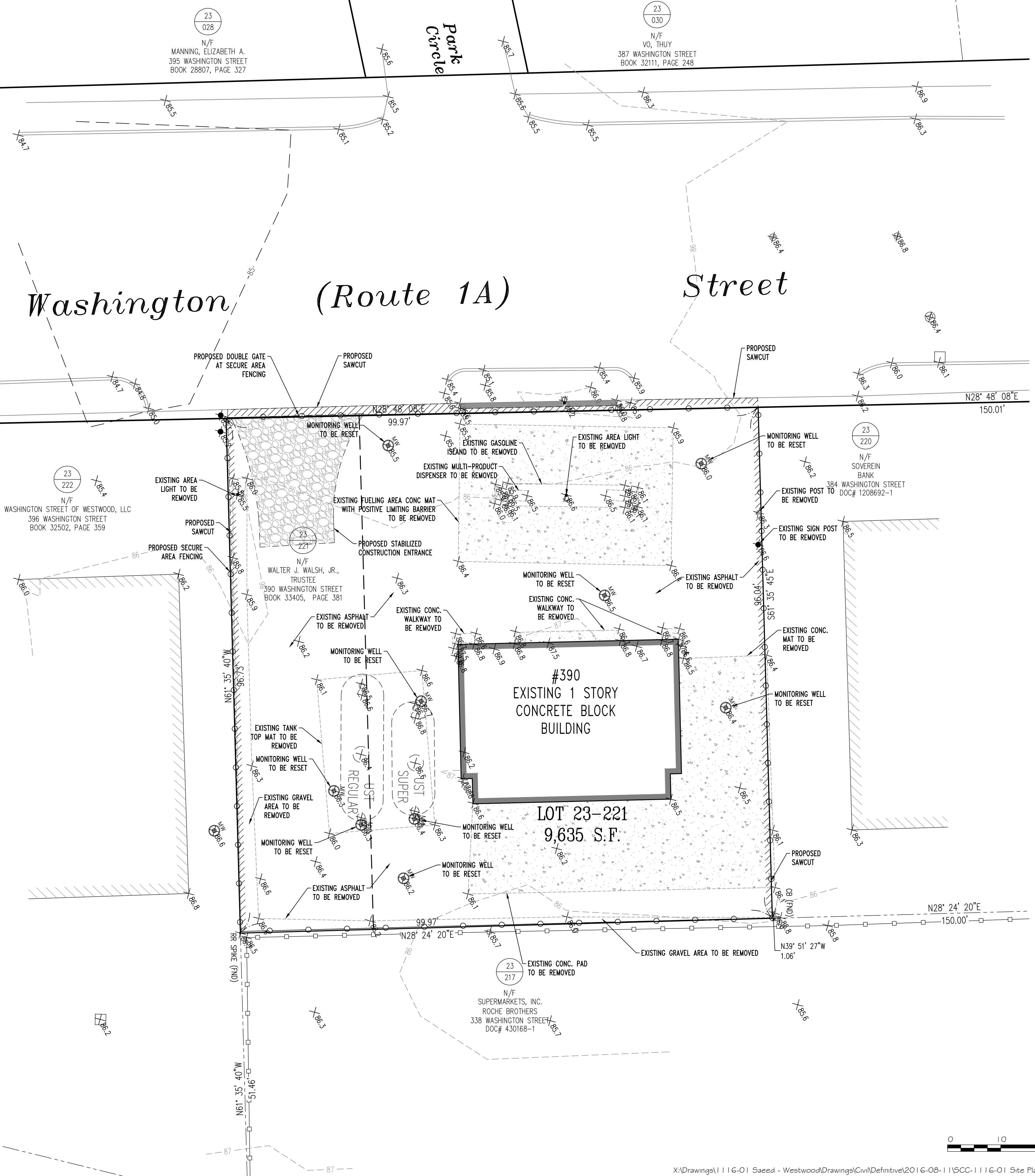


ZONING REQUIREMENTS

Zoning District: Local Business B (LBB)
 Assessors' Map: 23
 Lot: 221

Owner Of Record:
 Walsh, Walter J. Jr. (TR)
 Norfolk County: Dd. Bk. 33405, Pg. 361

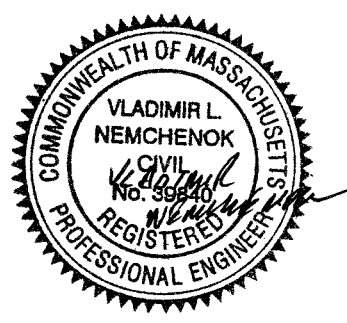
Applicant:
 Saeed Rahman



DEMOLITION NOTES:

1. All demolition activities are to be performed in strict adherence to all federal, state and local regulations.
2. Proceed with demolition in a systematic manner, from the top of the structure(s) to the ground.
3. Complete demolition work above each floor or tier before disturbing any of the supporting members of the lower levels.
4. Demolish concrete and masonry in all sections.
5. Remove structural framing members and lower them to the ground by means of hoists, derricks or other suitable methods.
6. Break up concrete slabs-on-grade, unless otherwise directed by the Owner or Owner's representative.
7. Locate demolition equipment throughout the structure and remove materials so as not to impose excessive loads on supporting walls, floors, or framing.
8. Provide interior and exterior shoring, bracing and supports to prevent movement, settlement or collapse of structures to be demolished (and adjacent facilities, if applicable).
9. Demolish and remove all materials within the area of replacement.
10. Erect and maintain covered passageways in order to provide safe passage for persons around the area of demolition. Conduct all demolition operations in a manner that will prevent damage and personnel injury to structures, adjacent buildings and all persons.
11. Refrain from using explosives without prior approval from applicable governmental authorities.
12. Conduct demolition services in such a manner to insure minimum interference with roads, streets, walks and other adjacent facilities. Do not close or obstruct streets, walks, or other occupied facilities without prior approval from any applicable governmental authorities. Provide alternative routes around closed or obstructed traffic ways. If required by applicable governmental regulations.
13. Use watering, temporary enclosures and other suitable methods, as necessary to limit the amount of dust and dirt rising and scattering in the air. Clean adjacent structure and improvements of all dust and debris caused by the demolition operations. Return all adjacent areas to the conditions existing prior to the start of work.
14. Accomplish and perform the demolition in such a manner as to prevent the unauthorized entry of persons at any time.
15. Completely fill below grade areas and voids resulting from the demolition of structures and foundations with soil materials consisting of stone, gravel and sand, free from debris, trash, frozen materials, roots and other organic matter. Stones used will not be larger than 6 inches in dimension. Material from demolition may not be used as fill. Prior to placement of fill materials, undertake all necessary action in order to insure that areas to be filled are free of standing water, frozen material, trash, debris. Place fill materials in horizontal layers not exceeding 6 inches in loose depth and compact each layer at placement to 95% optimum density. Grade the surface to meet adjacent contours and to provide surface drainage.
16. Remove from the designated site, at the earliest possible time, all debris, rubbish, salvageable items, hazardous and combustible services. Removed materials may not be stored, sold or burned on the site. Removal of hazardous and combustible materials shall be accomplished in accordance with the procedures as authorized by the fire department or other appropriate regulatory agencies and departments.
17. Disconnect, shut off and seal in concrete utilities serving the structure(s) to be demolished before the commencement of the designated demolition. Mark for position all utility drainage and sanitary lines and protect all active lines. Clearly identify before the commencement of demolition services the required interruption of active systems that may affect other parties, and notify all applicable utility companies to insure the continuation of service.
18. Secure Area Note:
 The contractor shall be responsible for providing and maintaining a secured perimeter around the area of construction. The secured perimeter shall be constructed in accordance with OSHA standards and guidelines and also all applicable regulations from the Commonwealth of Massachusetts.
19. All existing disturbed frames and grates of manholes and catch basins which are not being completely removed shall be reset to accommodate the proposed grading.

SEA-COAST CONSULTING, LLC.
 LAND PLANNING AND BUILDING LAYOUT PLANNING SERVICES
 4 COURT STREET, SUITE 101, TAUNTON, MA. 02780
 TEL. (800) 946-1575, FAX (800) 946-1575
 "SPECIALIZED CUSTOM SERVICE TO MEET OUR CLIENTS' NEEDS!"



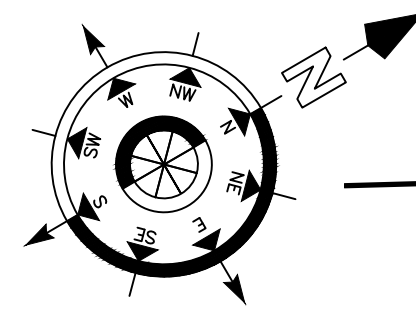
PROPOSED DEMOLITION PLAN
390 WASHINGTON STREET
WESTWOOD, MASSACHUSETTS

Project: **390 WASHINGTON STREET**
 SCALE: 1" = 10'
 DATE: 06-10-2016
 DRAWN BY: JDD/VLN
 JOB NO. 1116-02
 SHEET NO.

312
 OF

REV. NO.	DATE	DESCRIPTION	BY
2	8-11-16	PER PLANNING BOARD COMMENTS	JDD/VLN
1	7-6-16	ADDED R.O.W. EASEMENT FOR ROCHE BROS.	JDD/VLN

REVISIONS



23
028
N/F
MANNING, ELIZABETH A.
395 WASHINGTON STREET
BOOK 28807, PAGE 327

23
030
N/F
VO, THUY
387 WASHINGTON STREET
BOOK 32111, PAGE 248

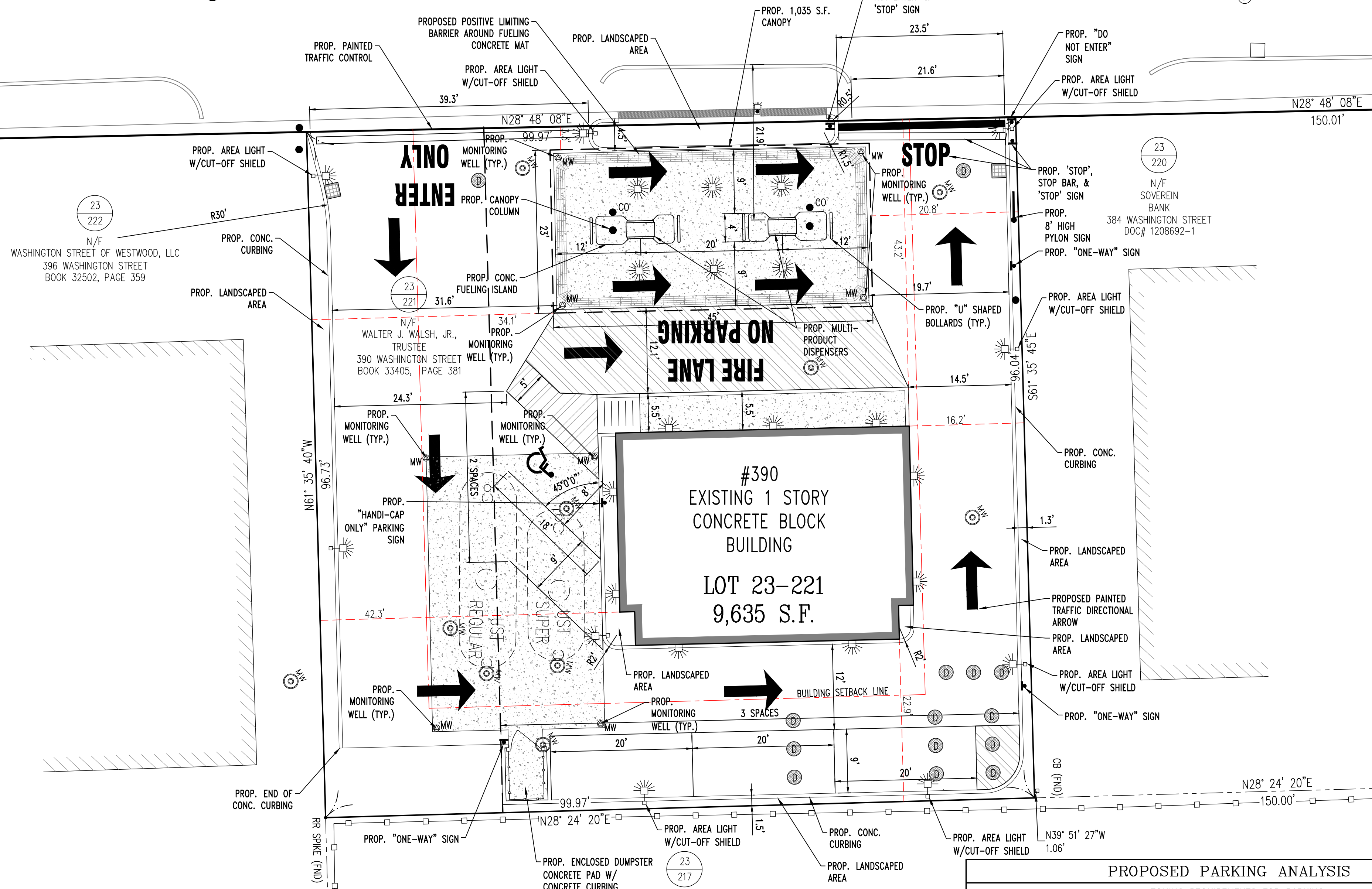
ZONING REQUIREMENTS

Zoning District: Local Business B (LBB)
Assessors' Map: 23
Lot: 221

Owner Of Record:
Walsh, Walter J. Jr. (TR)
Norfolk County: Dd. Bk. 33405, Pg. 361

Applicant:
Saeed Rahman

Washington (Route 1A) Street



GENERAL SITE NOTES:

- It is the responsibility of the contractor to review all of the drawings and specifications associated with this project workscope prior to the initiation of construction. Should the contractor find a conflict with the documents, relative to the specifications or applicable codes, it is the contractor's responsibility to notify the engineer of record in writing prior to the start of construction. Failure by the contractor to notify the engineer shall constitute acceptance of full responsibility by the contractor to complete the scope of work as defined by the drawings and in full conformance with local regulations and codes.
- All work shall conform to the Massachusetts Highway Department and OSHA Standards and Guidelines along with all other applicable local, state, and federal requirements.
- All underground piping installation shall conform to the requirements of the dispenser and piping manufacturers and the Town of Westwood Fire Department.
- Underground piping, and system components shall be installed in accordance with all applicable codes and regulations by a licensed contractor certified for such installation by the piping manufacturer. All installation details shall be in accordance with manufacturing details for all system components.
- Location of all existing and proposed services are approximate and must be confirmed independently with local utility companies prior to commencement of any construction or excavation. All utility service connection points shall be confirmed independently by the contractor in the field prior to the commencement of construction.
- All utility locations are approximate. It is the responsibility of the contractor to locate conduits, product piping, etc. Prior to commencement of excavation of any type.
- Existing piping and all other equipment are to be removed and disposed of in accordance with all federal, state and local codes and regulations.
- All excavated unsuitable material must be transported to an approved disposal location.
- It shall be the contractor's responsibility to notify "DIG-SAFE" (811) 72 hours prior to any excavation on this site. Contractor shall also notify the Westwood Water and Sewer Departments to mark out their utilities.
- Contractor shall notify the Westwood Fire Department and obtain proper trade permits. It is the responsibility of the contractor to notify the Westwood Fire Dept. 48 hours prior to commencement of construction.
- The limits of work shall be clearly marked in the field prior to the start of construction or site cleaning. Contractor is responsible for providing all necessary traffic safety measures at all times in accordance with all applicable regulations including M.H.D. Approval and police details as required.
- All concrete and bituminous patch areas to match existing grades.
- Solid waste to be disposed of by contractor in accordance with all local, state and federal regulations.
- Contractor is responsible for all excavation to be performed in accordance with current OSHA standards, as well as additional provisions to assure stability of contiguous structures.
- Any reproduction of these Engineered Documents without the prior consent of the "Engineer of Record" is strictly prohibited.
- In case of discrepancies between plans, the site plan will supersede in all cases. Notify Engineer of Record of any conflicts.
- All features not labeled as "new", "proposed", or "to be removed" shall be considered to be "existing to remain".
- Existing monitoring wells to be removed/replaced/reset in accordance with environmental plans by others. These plans are not intended to represent any environmental work/improvements.

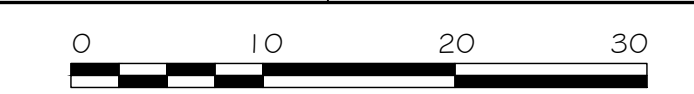
SEA-COAST CONSULTING, LLC.
LAND PLANNING AND BUILDING LAYOUT PLANNING SERVICES
4 COURT STREET, SUITE 101, TAUNTON, MA. 02780
TEL. (800) 946-1575, FAX (800) 946-1575
"SPECIALIZED CUSTOM SERVICE TO MEET OUR CLIENTS' NEEDS!"



PROPOSED SITE PLAN
390 WASHINGTON STREET
WESTWOOD, MASSACHUSETTS
Project: Saeed Rahman

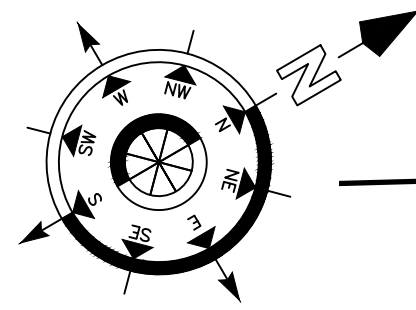
WESTWOOD ZONING ANALYSIS TABLE			
ZONE REQUIREMENTS - LOCAL BUSINESS B (LBB)	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	4,000 S.F.	9,635 S.F.	NO CHANGE
MINIMUM CONTIGUOUS FRONTAGE	40 FT.	99.97 FT.	NO CHANGE
MINIMUM FRONT YARD SETBACK	NO REQUIREMENTS (N/R - 0')	43.2 FT.	3.3 FT. (CANOPY)
MINIMUM SIDE YARD SETBACK	15 FT.	16.2 FT.	16.2 FT. (BLDG)
MINIMUM REAR YARD SETBACK	15 FT.	22.9 FT.	22.9 FT. (BLDG)
MAXIMUM BUILDING HEIGHT IN STORIES	2	1	1
MAXIMUM BUILDING HEIGHT IN FEET	30	18±	26±
MAXIMUM BUILDING COVERAGE (%)	25%	12.7%	23.4% (w/CANOPY)
MAXIMUM IMPERVIOUS SURFACE (%)	80%	96.0%	90.8%

PROPOSED PARKING ANALYSIS	
ZONING REQUIREMENTS FOR PARKING	
RETAIL:	ONE (1) SPACE FOR EACH TWO HUNDRED FIFTY (250) SQUARE FEET OF FLOOR AREA OR FRACTION THEREOF DEVOTED TO SELLING, STORAGE, SERVICE, OR ALL OTHER ACTIVITIES RELATED TO SUCH USE.
Motor Vehicle Light Service	ONE (1) SPACE FOR EACH FIVE HUNDRED (500) SQUARE FEET OF FLOOR AREA IN OTHER USES.
PROPOSED PARKING CALCULATIONS	
CONVENIENCE STORE - 512 S.F.	
512 SF / 250 SF = 2.05 SPACES;	512 SF / 500 SF = 1.02 SPACES
2.05 + 1.02 + 1 = 4.07, OR 5 SPACES	
TOTAL PARKING PACES	
REQUIRED:	4.07 SPACES
PROVIDED:	5 SPACES



REV. NO.	DATE	DESCRIPTION	BY
2	8-11-16	PER PLANNING BOARD COMMENTS	JDD/VLN
1	7-6-16	ADDED R.O.W. EASEMENT FOR ROCHE BROS.	JDD/VLN

4 12
OF

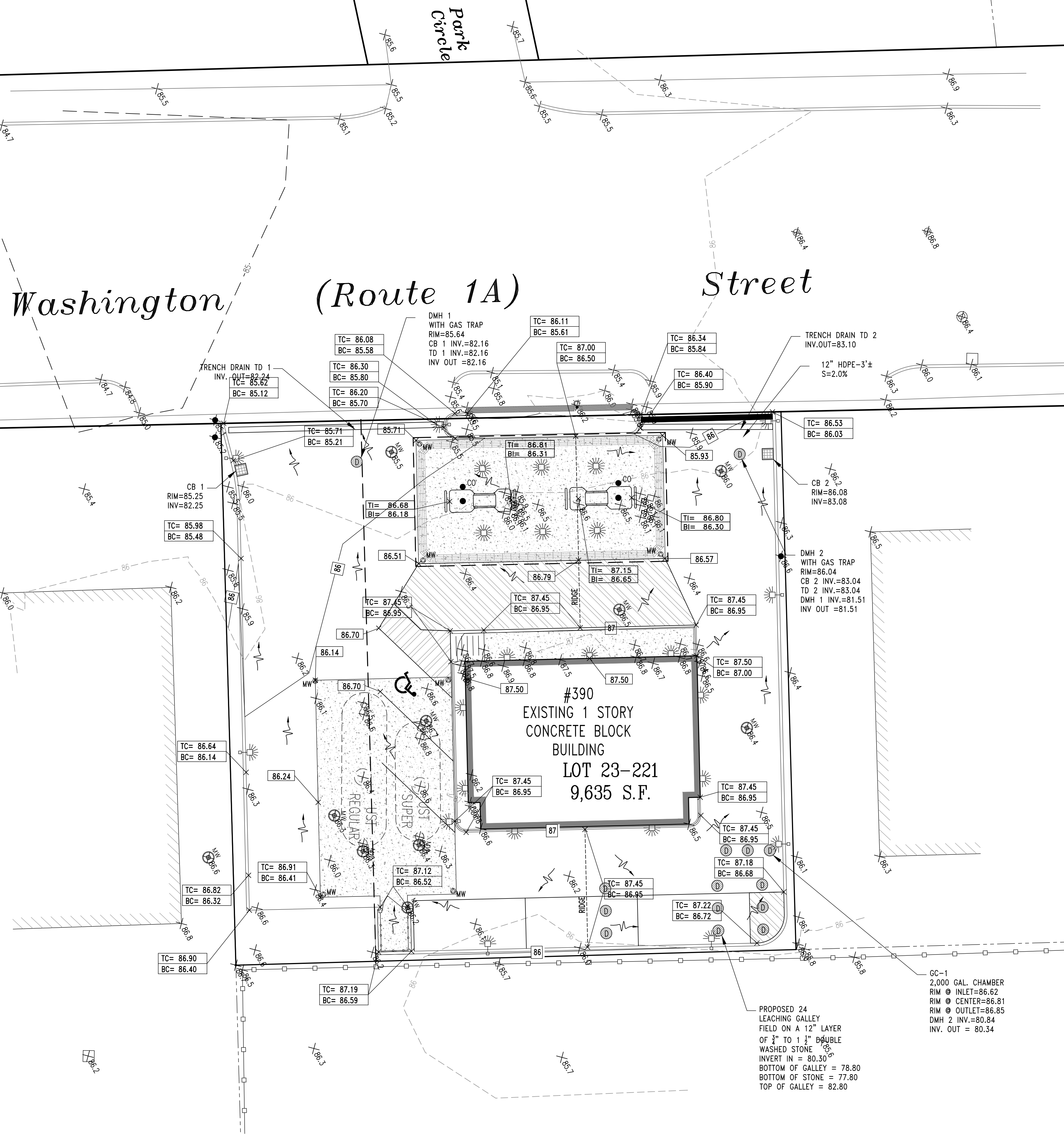


ZONING REQUIREMENTS

Zoning District: Local Business B (LBB)
Assessor's Map: 23
Lot: 221

Owner Of Record:
Walsh, Walter J. Jr. (TR)
Norfolk County: Dd. Bk. 33405, Pg. 381

Applicant:
Saeed Rahman



GENERAL GRADING NOTES:

1. It is the responsibility of the contractor to review all of the drawings and specifications associated with this project workscope prior to the initiation of construction. Should the contractor find a conflict with the documents, relative to the specifications or applicable codes, it is the contractor's responsibility to notify the engineer of record in writing prior to the start of construction. Failure by the contractor to notify the engineer shall constitute acceptance of full responsibility by the contractor to complete the scope of work as defined by the drawings and in full conformance with local regulations and codes.
2. Contractor is responsible for verification of existing topography information and utility invert elevations prior to the commencement of any construction. Contractor to ensure 1.0% minimum grade across all paved surfaces and slope along all gutters to prevent ponding. The contractor is responsible for identifying all discrepancies and other conditions that may effect public safety as well as the project cost to the engineer immediately in writing.
3. Location of all existing and proposed services are approximate and must be confirmed independently with local utility companies prior to commencement of any construction or excavation. All utility service connection points shall be confirmed independently by the contractor in the field prior to the commencement of construction.
4. All utility locations are approximate. It is the responsibility of the contractor to locate conduits, product piping, etc. Prior to commencement of excavation of any type.
5. Proposed top of curb elevations to be generally 6" above existing local asphalt grade. Field adjust to create a minimum of 1.0% gutter grade along curb face. Engineer to approve final curbing cut sheets prior to installation.
6. Refer to construction details plan for grading and yard details.
7. In case of discrepancies between plans, the Site Plan will supercede in all cases. Contractor is to notify the engineer of record of any conflicts.
8. All site work including concrete mats and paving shall be constructed in accordance with all applicable codes, rules, and regulations from any state, federal, and local codes, rules, and regulations applicable.
9. It shall be the contractor's responsibility to notify "DIG-SAFE" (811) 72 hours prior to any excavation on this site. Contractor shall also notify the Westwood Water and Sewer Departments to mark out their utilities.
10. The limits of work shall be clearly marked in the field prior to the start of construction or site cleaning. Contractor is responsible for providing all necessary traffic safety measures at all times in accordance with all applicable regulations including M.H.D. Approval and police details as required.
11. All concrete and bituminous patch areas to match existing grades.
12. Any reproduction of these Engineered Documents without the prior consent of the "Engineer of Record" is strictly prohibited.
13. Existing monitoring wells to be removed/replaced/reset in accordance with environmental plans by others. These plans are not intended to represent any environmental work/improvements.

GRADING LEGEND

- EXISTING CONTOUR LINE
- - - PROPOSED CONTOUR LINE
- ▲ PROPOSED SPOT ELEVATION
- PROPOSED TOP OF CURB SPOT ELEVATION
- PROPOSED BOTTOM OF CURB SPOT ELEVATION
- PROPOSED TOP OF PUMP ISLAND SPOT ELEVATION
- PROPOSED BOTTOM OF PUMP ISLAND SPOT ELEVATION



REV. NO.	DATE	DESCRIPTION	BY
2	8-11-16	PER PLANNING BOARD COMMENTS	JDD/VLN
1	7-6-16	ADDED R.O.W. EASEMENT FOR ROCHE BROS.	JDD/VLN

REVISIONS

SEA-COAST CONSULTING, LLC.
 LAND PLANNING AND BUILDING LAYOUT PLANNING SERVICES
 4 COURT STREET, SUITE 101, TAUNTON, MA. 02780
 TEL. (800) 946-1575, FAX (800) 946-1575
 "SPECIALIZED CUSTOM SERVICE TO MEET OUR CLIENTS' NEEDS!"

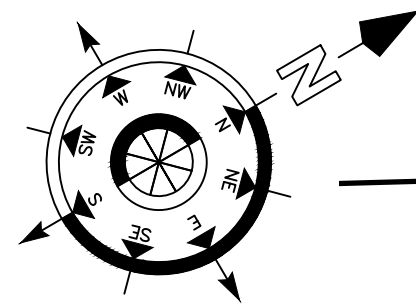


PROPOSED GRADING PLAN
390 WASHINGTON STREET
WESTWOOD, MASSACHUSETTS

Project: **390 WASHINGTON STREET**
 CLIENT: **Saeed Rahman**

SCALE: 1"=10'
 DATE: 06-10-2016
 DRAWN BY: JDD/VLN
 JOB NO. 1116-02
 SHEET NO.

5 12
 OF

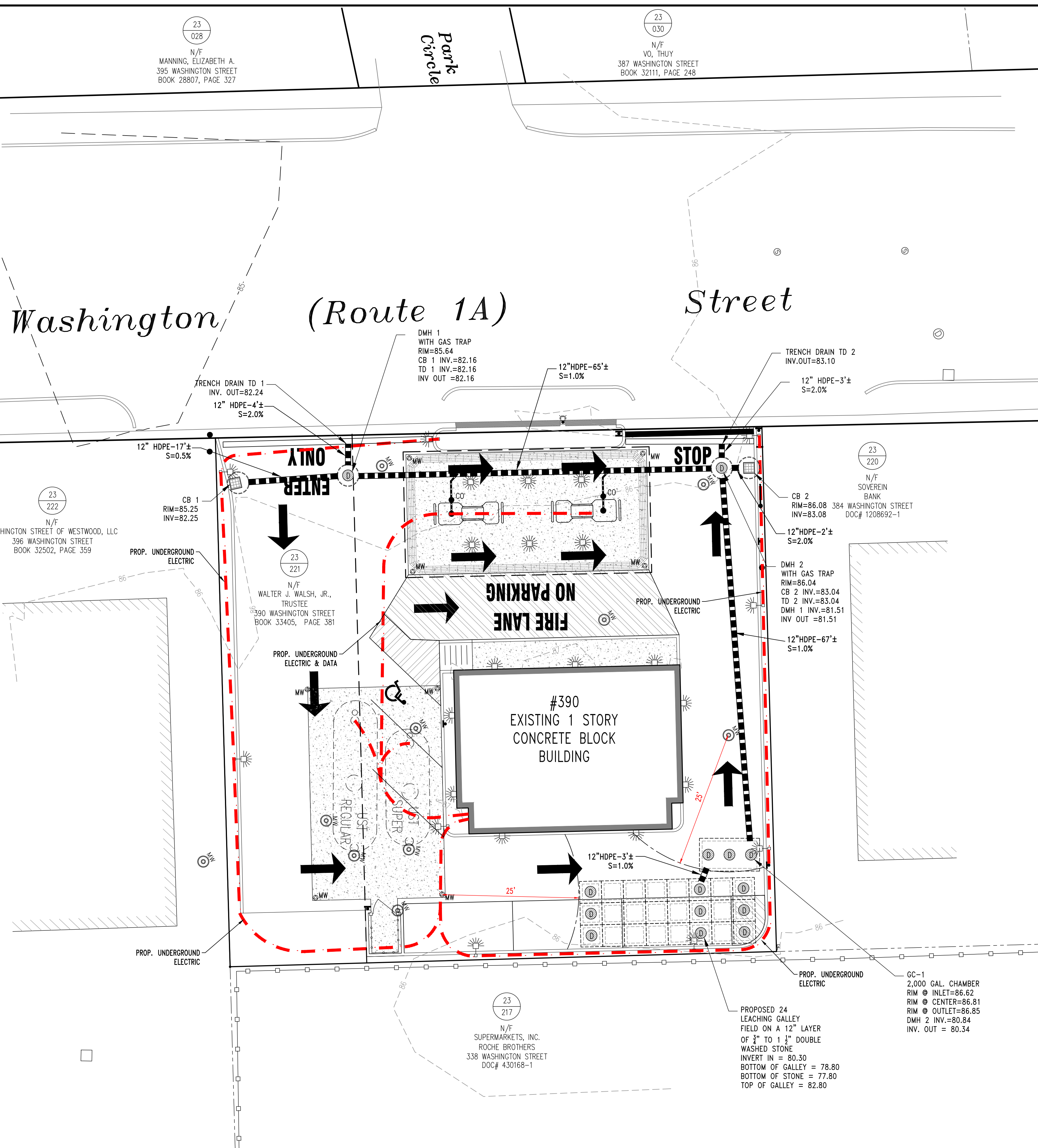


ZONING REQUIREMENTS

Zoning District: Local Business B (LBB)
Assessors' Map: 23
Lot: 221

Owner Of Record:
Walsh, Walter J. Jr. (TR)
Norfolk County: Dd. Bk. 33405, Pg. 381

Applicant:
Saeed Rahman



GENERAL UTILITY NOTES:

1. It is the responsibility of the contractor to review all of the drawings and specifications associated with this project workscope prior to the initiation of construction. Should the contractor find a conflict with the documents, relative to the specifications or applicable codes, it is the contractor's responsibility to notify the engineer of record in writing prior to the start of construction. Failure by the contractor to notify the engineer shall constitute acceptance of full responsibility by the contractor to complete the scope of work as defined by the drawings and in full conformance with local regulations and codes.
2. Contractor is responsible for verification of existing topography information and utility invert elevations prior to the commencement of any construction. Contractor to ensure 1.0% minimum grade across all paved surfaces and slope along all gutters to prevent ponding. The contractor is responsible for identifying all discrepancies and other conditions that may effect public safety as well as the project cost to the engineer immediately in writing.
3. Location of all existing and proposed services are approximate and must be confirmed independently with local utility companies prior to commencement of any construction or excavation. All utility service connection points shall be confirmed independently by the contractor in the field prior to the commencement of construction.
4. All utility locations are approximate. It is the responsibility of the contractor to locate conduits, product piping, etc. Prior to commencement of excavation of any type.
5. Refer to construction details plan for grading and yard details.
6. In case of discrepancies between plans, the Site Plan will supercede in all cases. Contractor is to notify the engineer of record of any conflicts.
7. All site work including concrete mats and paving shall be constructed in accordance with all applicable codes, rules, and regulations from any state, federal, and local codes, rules, and regulations applicable.
8. It shall be the contractor's responsibility to notify "DIG-SAFE" (811) 72 hours prior to any excavation on this site. Contractor shall also notify the Westwood Water and Sewer Departments to mark out their utilities.
9. The limits of work shall be clearly marked in the field prior to the start of construction or site cleaning. Contractor is responsible for providing all necessary traffic safety measures at all times in accordance with all applicable regulations including M.H.D. Approval and police details as required.
10. All concrete and bituminous patch areas to match existing grades.
11. Any reproduction of these Engineered Documents without the prior consent of the "Engineer of Record" is strictly prohibited.
12. Existing monitoring wells to be removed/replaced/reset in accordance with environmental plans by others. These plans are not intended to represent any environmental work/improvements.

UTILITY LEGEND

--- PROPOSED UNDERGROUND ELECTRIC/TELEPHONE



REV. NO.	DATE	DESCRIPTION	BY
2	8-11-16	PER PLANNING BOARD COMMENTS	JDD/VLN
1	7-6-16	ADDED R.O.W. EASEMENT FOR ROCHE BROS.	JDD/VLN

REVISIONS

SEA-COAST CONSULTING, LLC.
 LAND PLANNING AND BUILDING LAYOUT PLANNING SERVICES
 4 COURT STREET, SUITE 101, TAUNTON, MA. 02780
 TEL. (800) 946-1575, FAX (800) 946-1575
 "SPECIALIZED CUSTOM SERVICE TO MEET OUR CLIENTS' NEEDS!"

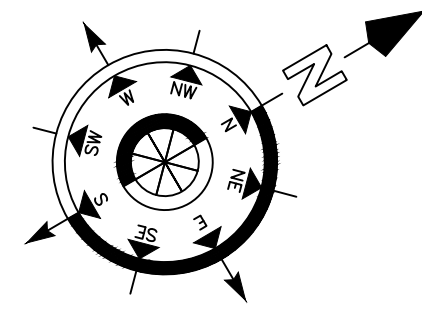


PROPOSED UTILITY PLAN
390 WASHINGTON STREET
WESTWOOD, MASSACHUSETTS

Project: **390 WASHINGTON STREET**
 CLIENT: **Saeed Rahman**

SCALE: 1" = 10'
 DATE: 06-10-2016
 DRAWN BY: JDD/VLN
 JOB NO. 1116-02
 SHEET NO.

6 12 OF



Washington (Route 1A) Street

ZONING REQUIREMENTS

Zoning District: Local Business B (LBB)
Assessors' Map: 23
Lot: 221

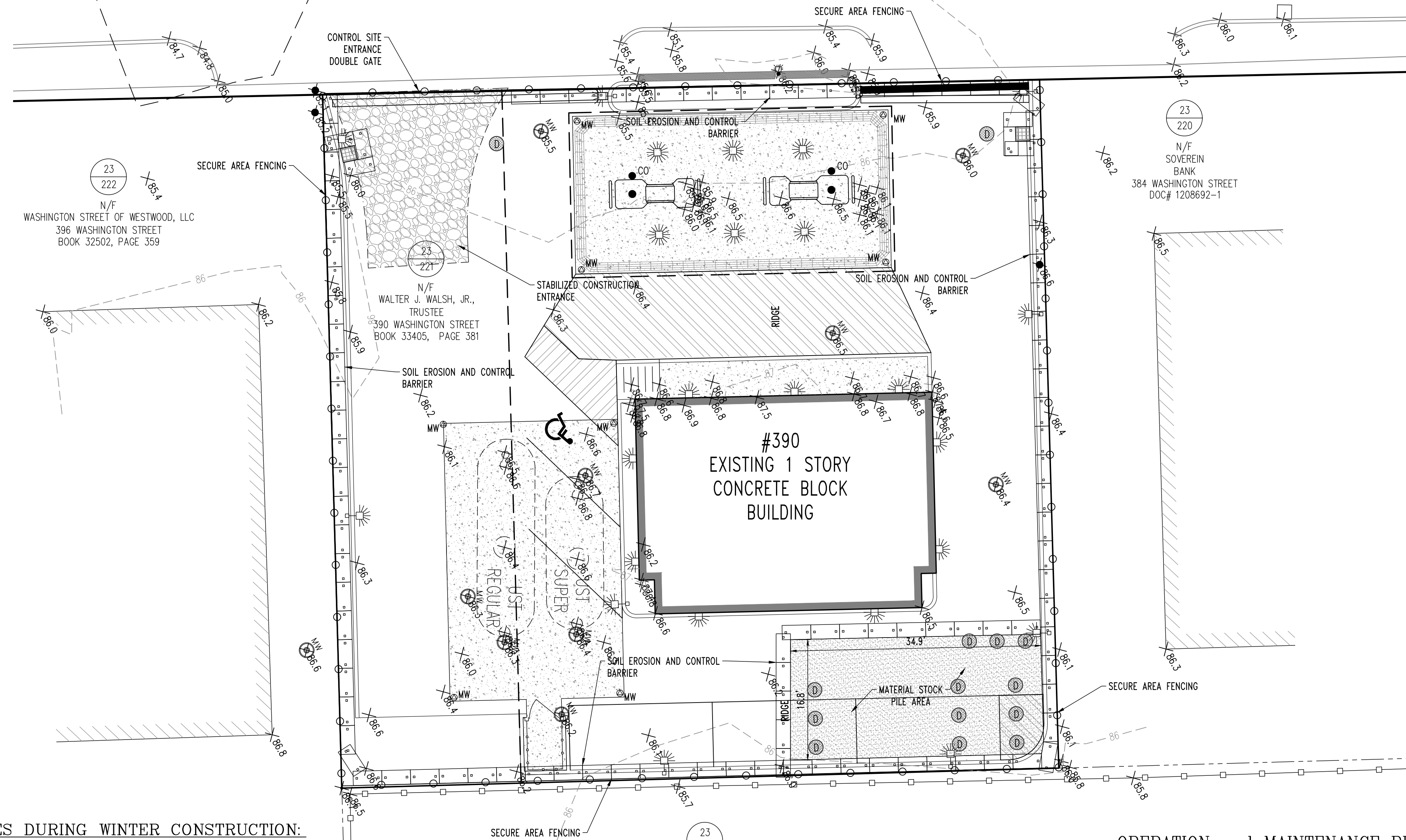
Owner of Record:
Walsh, Walter J. Jr. (TR)
Norfolk County: Dd. Bk. 33405, Pg. 381

Applicant:
Saeed Rahman

WASHINGTON STREET OF WESTWOOD, LLC
396 WASHINGTON STREET
BOOK 32502, PAGE 359

WALTER J. WALSH, JR., TRUSTEE
390 WASHINGTON STREET
BOOK 33405, PAGE 381

SUPERMARKETS, INC.
ROCHE BROTHERS
338 WASHINGTON STREET
DOC# 430168-1



EROSION CONTROL NOTES DURING WINTER CONSTRUCTION:

1. Winter construction period: November 1 through April 15.
2. Winter excavation and earthwork shall be done such that no more than 1 acre of the site is without stabilization at any one time.
3. Exposed area should be limited to that can be mulched in one day prior to any snow event.
4. Continuation of earthwork operation on additional areas shall not begin until the exposed soil surface on the area being worked has been stabilized such that no larger area of the site is without erosion control protection as listed in item 2 above.
5. An area shall be considered to have been stabilized when exposed surfaces have been either mulched with straw or hay at a rate of 100 lb. Per 1,000 square feet (with or without seeding) or dormant seeded, mulched and adequately anchored by an approved anchoring technique.
6. Between the dates of October 15 and April 1st, loam or seed will not be required. During periods of above freezing temperatures the slopes shall be fine graded and either protected with mulch or temporarily seeded and mulched until such time as the final treatment can be applied. If the date is after November 1st and if the exposed area has been loamed, final graded and is smooth, then the area may be dormant seeded at a rate of 200 - 300 % higher than specified for permanent seed and then mulched. If construction continues during freezing weather, all exposed areas shall be continuously graded before freezing and the surface temporarily protected from erosion by the application of mulch. Slopes shall not be left unexposed over the winter or any other extended time of work suspension unless treated in the above manner. Until such time as weather conditions allow ditches to be finished with the permanent surface treatment, erosion shall be controlled by the installation of bales of hay or stone check dams in accordance with the standard details.
7.
 - A) Between the dates of November 1st and April 15th all mulch shall be anchored by either peg line, mulch netting, asphalt emulsion chemical, track or wood cellulose fiber.
 - B) Mulch netting shall be used to anchor mulch in all drainage ways with a slope greater than 3% for slope exposed to direct winds and for all other slopes greater than 8%.
 - C) Mulch netting shall be used to anchor mulch in all areas with slopes greater than 15% after October 1st the same applies for all slopes greater than 8%.
8. After November 1st the contractor shall apply dormant seeding or mulch and anchoring on all bare earth at the end of each working day.
9. During the winter construction period all snow shall be removed from areas of seeding and mulching prior to placement.

EROSION & SEDIMENT CONTROL NOTES:

1. All sediment and erosion control measures shall be done in accordance with all federal, state and local regulations.
2. Those areas undergoing actual construction will be left in an untreated or unvegetated condition for a minimum time. Areas shall be permanently stabilized within 15 days of final grading and temporarily stabilized within 30 days of initial disturbance of the soil.
3. Sediment barriers (silt fence, hay barriers, etc.) should be installed prior to any soil disturbance of the contributing drainage area above them. Mulch netting shall be used to anchor mulch in all areas with slopes greater than 15%. After October 1st, the same applies for all slopes greater than 8%.
4. Install sediment barriers at toe of slope to filter silt from runoff. See details for proper installation. Sediment barriers will remain in place per note #5.
5. All erosion control structures will be inspected, replaced and/or repaired every 7 days and immediately following any significant rainfall of snow melt or when no longer serviceable due to sediment accumulation or decomposition. Sediment deposits should be removed after each storm event. They must be removed when deposits reach approximately one half the height of the barrier. Sediment control devices shall remain in place and be maintained by the contractor until areas upslope are stabilized by turf.
6. No slopes, either permanent or temporary, shall be steeper than two to one (2 to 1).
7. If final seeding of the disturbed areas is not completed 45 days prior to the first killing frost use temporary mulch (dormant seeding may be attempted as well) to protect the site and delay seeding until the next recommended seeding period.
8. Temporary seeding of disturbed areas that have not been final graded shall be completed 45 days prior to the first killing frost to protect from spring runoff problems.
9. During the construction phase, intercepted sediment will be returned to the site and regraded onto open areas.
10. Revegetation measures will commence upon completion of construction except as noted above. All disturbed areas not otherwise stabilized will be graded, smoothed, and prepared for final seeding as follows:
 - A) Four inches of loam will be spread over disturbed areas and smoothed to a uniform surface.
 - B) Apply limestone and fertilizer according to soil test. If soil testing is not feasible on small or variable sites, or where timing is critical, fertilizer may be applied at the rate of 800 lb per acre or 18.4 lb per 1,000 sf using 10-20-20 or equivalent. Apply ground limestone (equivalent to 50% calcium plus magnesium oxide) at a rate of 3 tons per acre (138 lb per 1,000 sf).
 - C) Following seed bed preparation, ditches and back slopes will be seeded to a mixture of 47% creeping red fescue, 5% redtop, and 48% tall fescue. The lawn areas will be seeded to a premium turf mixture of 44% kentucky blue-grass, 44% creeping red fescue, and 12% perennial ryegrass; seeding rate is 1.03 lbs per 1,000 sf lawn quality sod may be substituted for seed.
 - D) Hay mulch at the rate of 70-90 lbs per 1,000 sf. A hydro-application of wood or paper fiber shall be applied following seeding. A suitable binder such as curasol or rmb plus will be used on hay mulch for wind control.

11. All temporary erosion control measures shall be removed once the site is stabilized.

12. All paved areas on the site are to be swept semi-annually. Additionally, bottoms of all catch basins and manholes are to be cleaned semi-annually.

Mulch and Mulch Anchoring

Mulch Location	Mulch	Rate (1,000 sf)
Protect Area	Straw or Hay	100 pounds
Windy Area	Shredded or Chopped Cornstalks	185-275 pounds
	Straw or Hay (anchored)*	100 pounds
Moderate to High Velocity Areas or Steep Slopes greater than 3:1	Jute Mesh or Excelsior Mat	As Required

Greater than 3:1

* A hydro-application of wood, or paper fiber may be applied following seeding. A suitable binder such as curasol or rmb plus shall be used on hay mulch for wind control.

Mulch Anchoring

Anchor mulch with peg and twine (1 sq. Yd/block); mulch netting (as per manufacturer); wood cellulose fiber (750 lbs/acre); chemical tack (as per manufacturer specifications); use of a serrated straight disk. Wetting for small areas and road ditches may be permitted.

OPERATION and MAINTENANCE PLAN:

Deep Sump Catch Basins, Grit Chambers, and Vortechs Unit:

The structures shall be inspected on a monthly basis while construction activity is occurring. Once the construction activity has completed, then the structures shall be inspected on a bi-annual basis.

The Catch Basins, Manholes and Grit Chambers shall be cleaned when sediment buildup is 18" above the bottom of the basin.

Site:

During the construction activity, the entire site shall be inspected and cleaned on a monthly basis. The site shall be swept at least once per month during the construction activity. Once the slopes have stabilized, then the site shall be swept bi-annually or as required until the construction activity is complete.

The slopes shall be inspected after rain storm events for signs of erosion. If erosion occurs after a rainfall event, the slopes shall be re-stabilized. The erosion shall be cleaned up immediately and disposed in accordance with all federal, state, and local regulations.

Once the construction activity has ended, litter and debris shall be removed from the entire site and drainage systems on a quarterly basis.

Infiltration Basins Maintenance:

During construction, the rims of the catch basins shall have double staked haybales around the penimeters. The haybales shall be inspected after each rainfall event. If breaks occur, then the haybales shall be replaced immediately. The perimeter of haybales shall be inspected at least twice per month during the construction activity. The buildup of sediment shall be removed once a height of 6 inches is reached.

Any areas of erosion or other conditions of slope instability shall be corrected at the time they occur. Any washouts that occur shall be re-stabilized immediately. The spoils from the washout(s) shall be removed and disposed of in accordance with all applicable federal, state, and local regulations.

Once per quarter, as required by the growing season, those portions of the slopes that are planted with grass shall be mowed and otherwise maintained in such a manner as to maintain a dense cover of grass. Any erosion or other conditions of instability shall be corrected at the time they occur.

In April of each year, remove any accumulated dead plant material and debris from the entire site.

Grit Chamber Unit Maintenance:

The chamber shall be inspected no less than once per quarter during the construction activity. When the sediment reaches a height of 8 inches or bi-annually, whichever occurs first, the sediment shall be removed and the chamber cleaned.

Once the construction activity has completed, the chamber shall be inspected on a bi-annual basis. The chamber shall be cleaned when the sediment reaches a height of 8 inches or annually, whichever occurs first. The chamber shall be cleaned per manufacturer specifications and the sediment shall be disposed of in accordance with all applicable federal, state, and local regulations.



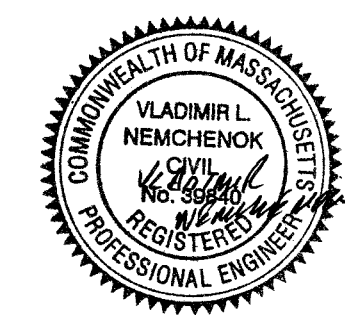
REV. NO.	DATE	DESCRIPTION	BY
2	8-11-16	PER PLANNING BOARD COMMENTS	JDD/VLN
1	7-6-16	ADDED R.O.W. EASEMENT FOR ROCHE BROS.	JDD/VLN

REVISIONS

SEA-COAST CONSULTING, LLC.
LAND PLANNING AND BUILDING LAYOUT PLANNING SERVICES

4 COURT STREET, SUITE 101, TAUNTON, MA. 02780
TEL: (800) 946-1575, FAX (800) 946-1575

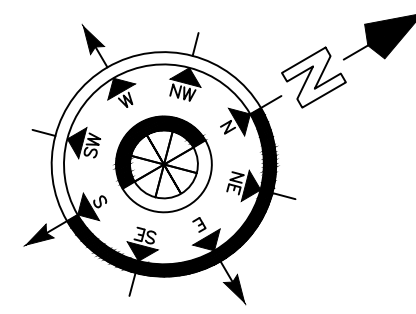
"SPECIALIZED CUSTOM SERVICE TO MEET OUR CLIENTS' NEEDS!"



Project: **PROPOSED SOIL EROSION AND CONTROL PLAN**
390 WASHINGTON STREET
WESTWOOD, MASSACHUSETTS
CLIENT: **Saeed Rahman**

SCALE: 1"=10'
DATE: 06-10-2016
DRAWN BY: JDD/VLN
JOB NO. 1116-02
SHEET NO.

7 12
OF



Washington (Route 1A) Street

ZONING REQUIREMENTS

Zoning District: Local Business B (LBB)
Assessors' Map: 23
Lot: 221

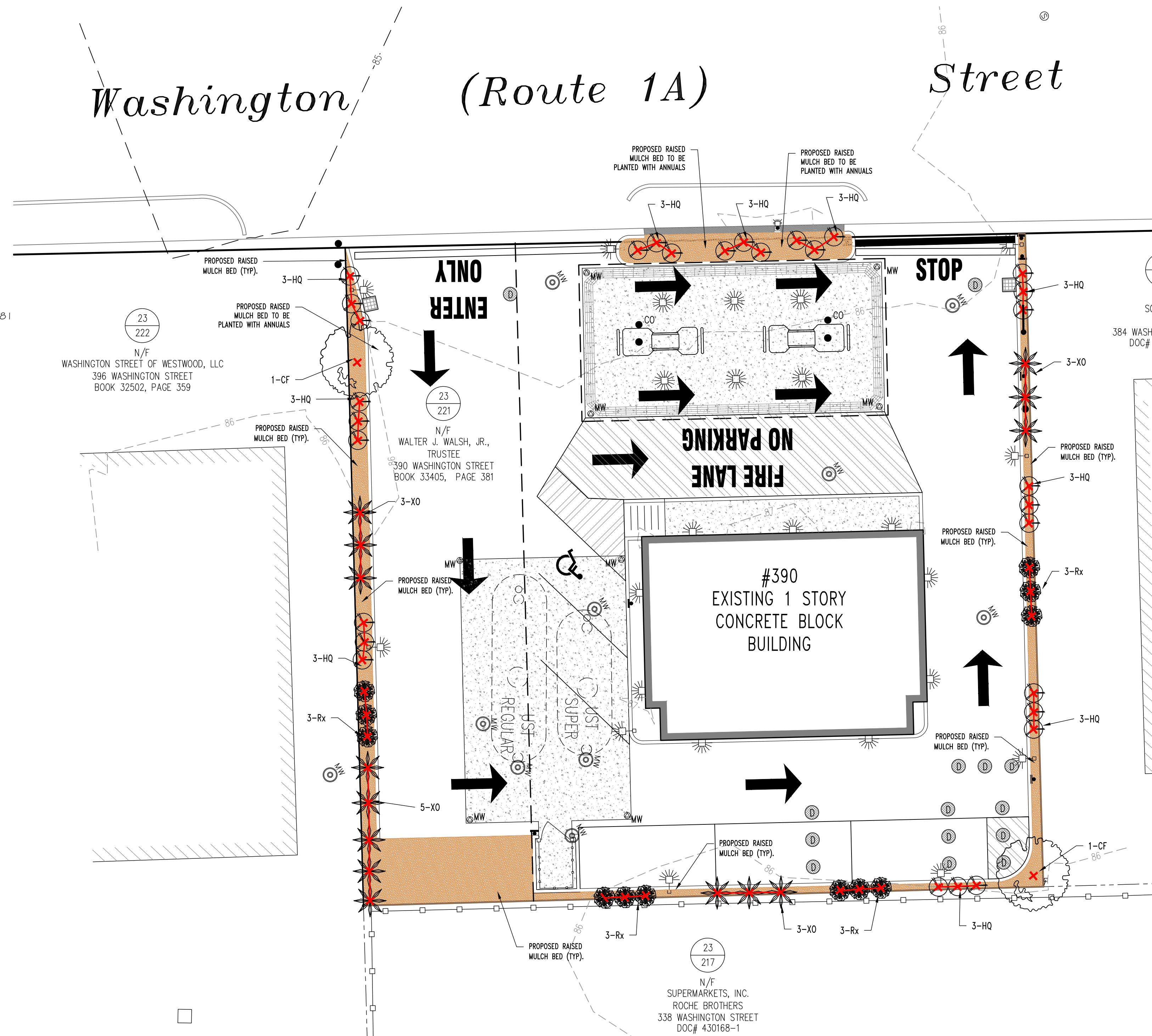
Owner Of Record:
Walsh, Walter J. Jr. (TR)
Norfolk County: Dd. Bk. 33405, Pg. 361

Applicant:
Saeed Rahman

23
222
N/F
WASHINGTON STREET OF WESTWOOD, LLC
396 WASHINGTON STREET
BOOK 32502, PAGE 359

23
221
N/F
WALTER J. WALSH, JR.,
TRUSTEE
390 WASHINGTON STREET
BOOK 33405, PAGE 381

23
217
N/F
SUPERMARKETS, INC.
ROCHE BROTHERS
338 WASHINGTON STREET
DOC# 430168-1



PLANTING NOTES:

- Plant material shall be furnished and installed as indicated; including all labor, materials, plants, equipment, incidentals, and clean-up.
- The contractor shall be responsible for planting at correct grades and alignment. Layout to be approved by Owner or Owners representative prior to installation.
- Plants shall be typical of their species and variety; have normal growth habits; well developed branches, densely foliated, vigorous root systems and be free from defects and injuries.
- Contractor shall report any soil or drainage conditions considered detrimental to the growth of plant material.
- All plant material shall be guaranteed by the contractor to be in vigorous growing condition. Provisions shall be made for a growth guarantee of at least one year from the date of acceptance for trees and shrubs. Replacements shall be made at the beginning of the first succeeding planting season. All replacements shall have a guarantee equal to that stated above.
- Insofar as it is practicable, plant material shall be planted on the day of delivery. In the event this is not possible, the contractor shall protect stock not planted. Plants shall not remain unplanted for longer than a three day period after delivery. Any plants not installed during this period will be rejected.
- Quality and size of plants, spread of roots, and size of balls shall be in accordance with ANSI 260 (rev. 1980) "American Standard for Nursery Stock" as published by the American Association of Nurserymen, Inc.
- All plants shall be planted in amended top soil that is thoroughly watered and tamped as back filling progresses. Planting mix to be as shown on planting details. Large planting areas to incorporate fertilizer and soil conditioners as stated in planting specifications.
- Plants shall not be bound with wire or rope at any time so as to damage the bark or break branches. Plants shall be handled from the bottom of the ball only.
- Planting operations shall be performed during periods within the planting season when weather and soil conditions are suitable and in accordance with accepted local practice. Plants shall not be installed in topsoil that is in a muddy or frozen condition. All plant material shall be sprayed with "Wilt-Pruf" or equal as per manufacturer's instructions.
- No plant, except ground covers, shall be planted less than two feet from existing or proposed structures and sidewalks.
- Set all plants plumb and straight. Set at such level that a normal or natural relationship to the crown of the plant with the ground surface will be established. Locate plant in the center of the pit.
- All injured roots shall be pruned utilizing clean, sharp tools to make clean ends before planting. It is advisable to prune approximately 1/3 of the growth of large trees (2" caliper and over) by the removal of superfluous branches, those which cross, those which run parallel, etc. Main leader of trees will not be cut back. Long side branches, however, must be shortened.
- Each tree and shrub shall be pruned in accordance with standard horticultural practice to preserve natural character of plant. Pruning shall be done with clean, sharp tools.
- Trees shall be supported immediately after planting. All trees six (6) inches and over in caliper shall be guyed. Smaller trees shall be staked. Guying wires and stakes shall be installed as indicated. The landscape contractor shall remove staking, guying & tree wrap at the end of the one year maintenance & guarantee period.
- The trunks of all trees shall be wrapped as soon as possible after planting according to standard procedures and as indicated.
- All planting beds shall be mulched with 3" layer of double shredded hardwood bark mulch.
- New planting areas and sod shall be adequately irrigated or watered to establish the proposed plants and lawn.
- Prior to the issuance of any certificate of occupancy, the proposed landscape as shown on the approved landscape plan must be installed, inspected and approved by the Town of Westwood. The Town of Westwood shall take into account seasonal considerations in this regard as follows:

TYPE	DATES
PLANTS	3/15 TO 12/15
LAWN	3/15 TO 6/15
	9/15 TO 12/1

Furthermore, the following tree varieties shall not be planted during the fall planting season due to the hazards associated with planting these trees in this season.

ACER RUBRUM	POPULUS VARIETIES
BETULA VARIETIES	PRUNUS VARIETIES
CARPINUS VARIETIES	PYRUS VARIETIES
CRATEGUS VARIETIES	QUERCUS VARIETIES
KOELREUTERIA	SALIX WEEPING VARIETIES
LIQUID AMBER STYRACIFLUA	TILIA TOMENTOSA
LIRODENDRON TULIPIFERA	ZELKOVA VARIETIES PLATANUS ACERFOLIA

Any plantings installed in conflict with this requirement must receive the written approval of the engineer prior to planting. Failure to comply with these requirements will require the removal of the planting in question. This requirement does not apply to seeding or sodding or plantings specifically for soil stabilization purposes. The planting associated with any lot given a certificate of occupancy outside these periods shall be provided during the previous or next appropriate season.

20. All disturbed areas to be treated with 4" top soil & seeded in accordance with permanent stabilization methods indicated on soil erosion sediment control sheet.



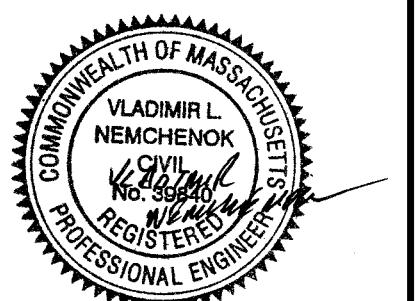
REV. NO.	DATE	DESCRIPTION	BY
2	8-11-16	PER PLANNING BOARD COMMENTS	JDD/VLN
1	7-6-16	ADDED R.O.W. EASEMENT FOR ROCHE BROS.	JDD/VLN

REVISIONS

SEA-COAST CONSULTING, LLC.
LAND PLANNING AND BUILDING LAYOUT PLANNING SERVICES

4 COURT STREET, SUITE 101, TAUNTON, MA. 02780
TEL. (800) 946-1575, FAX (800) 946-1575

"SPECIALIZED CUSTOM SERVICE TO MEET OUR CLIENTS' NEEDS!"



PROPOSED LANDSCAPING PLAN
390 WASHINGTON STREET
WESTWOOD, MASSACHUSETTS

CLIENT: Saeed Rahman

Project:

SCALE: 1" = 10'

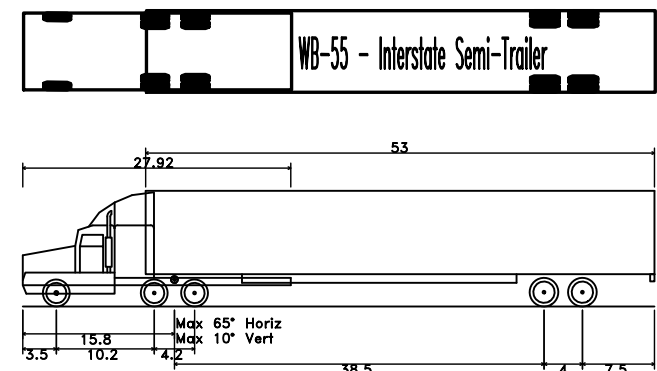
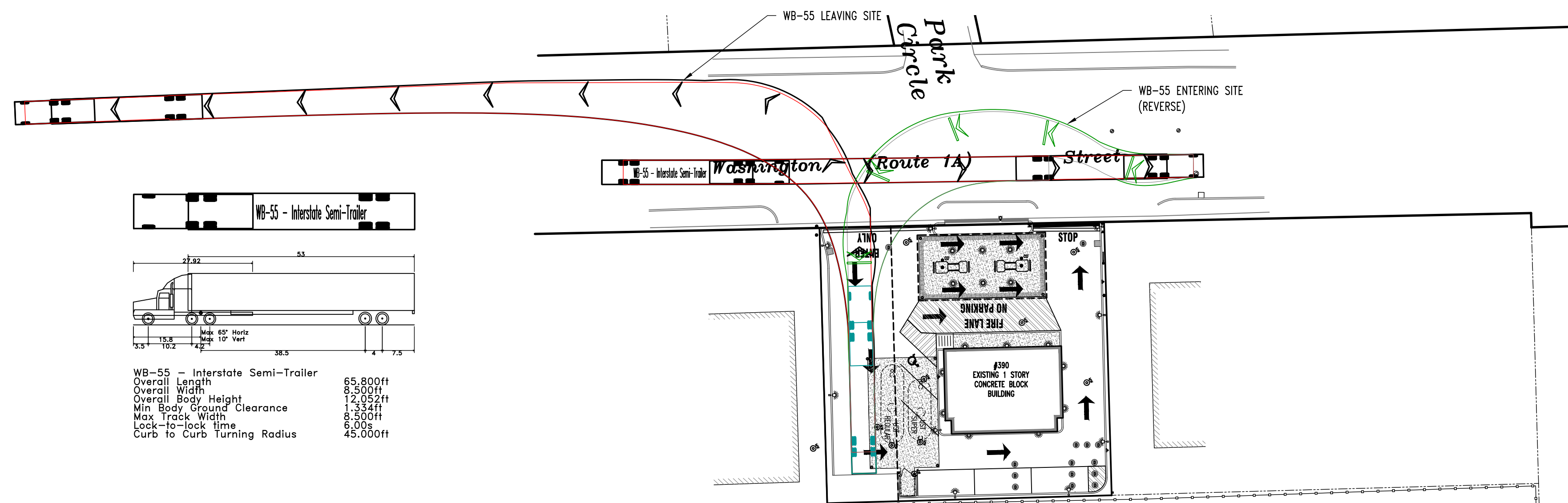
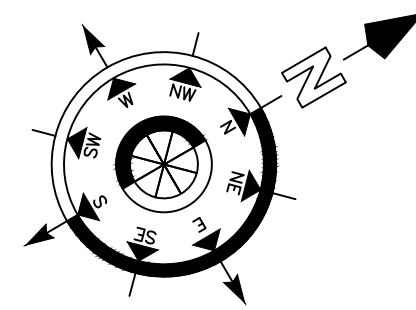
DATE: 06-10-2016

DRAWN BY: JDD/VLN

JOB NO. 1116-02

SHEET NO.

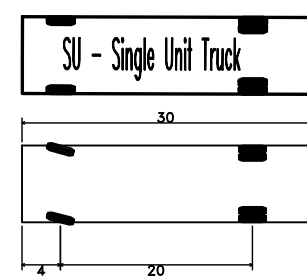
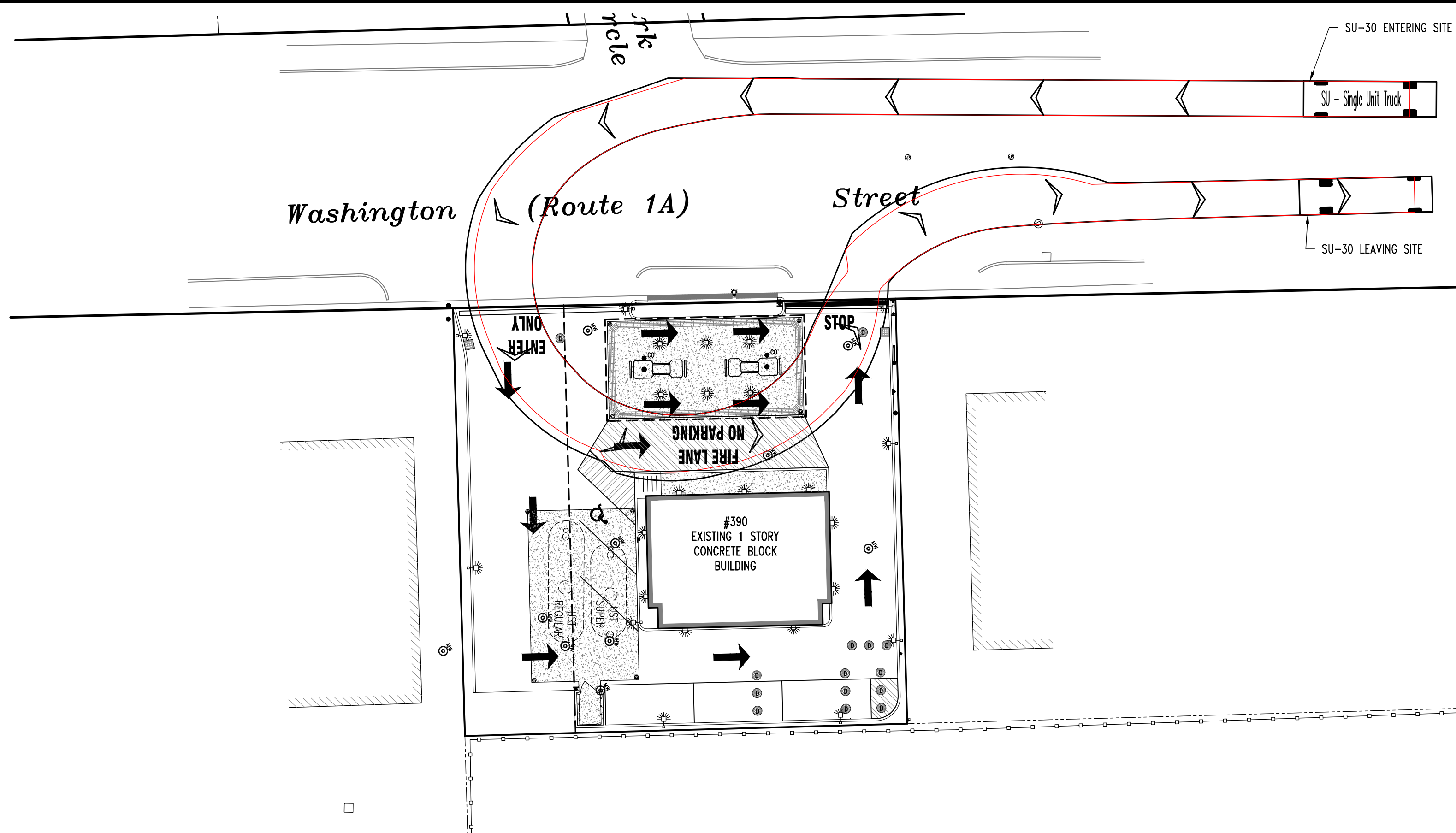
8 12
OF



WB-55 - Interstate Semi-Trailer
 Overall Length 65.800ft
 Overall Width 8.500ft
 Overall Body Height 12.952ft
 Min Body Ground Clearance 1.354ft
 Max Track Width 8.500ft
 Lock-to-lock time 6.00s
 Curb to Curb turning Radius 45.000ft

WB-55 VEHICLE MANEUVERING DETAIL

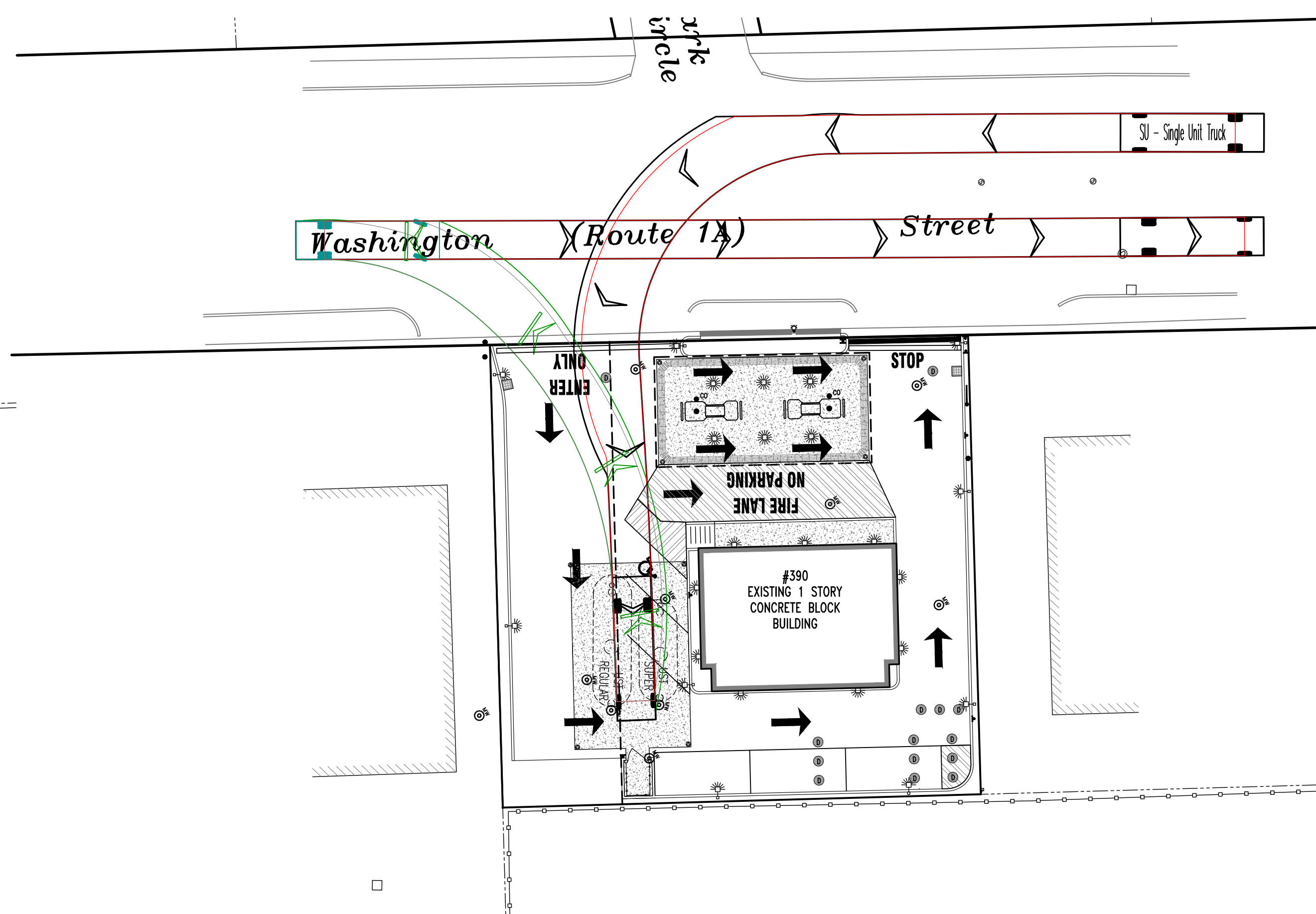
SCALE: 1"=30'



SU - Single Unit Truck
 Overall Length 30.000ft
 Overall Width 8.000ft
 Overall Body Height 11.581ft
 Min Body Ground Clearance 1.367ft
 Track Width 8.000ft
 Lock-to-lock time 5.00s
 Curb to Curb turning Radius 42.000ft

SU-30 VEHICLE MANEUVERING DETAIL

SCALE: 1"=20'



REV. NO.	DATE	DESCRIPTION	BY
2	8-11-16	NO CHANGES	JDD/VLN
1	7-6-16	ADDED R.O.W. EASEMENT FOR ROCHE BROS.	JDD/VLN

REVISIONS

SEA-COAST CONSULTING, LLC.

LAND PLANNING AND BUILDING LAYOUT PLANNING SERVICES

4 COURT STREET, SUITE 101, TAUNTON, MA. 02780

TEL. (800) 946-1575, FAX (800) 946-1575

"SPECIALIZED CUSTOM SERVICE TO MEET OUR CLIENTS' NEEDS!"



Project: **VEHICLE MANEUVERING PLAN**
390 WASHINGTON STREET
WESTWOOD, MASSACHUSETTS

CLIENT: **Saeed Rahman**

SCALE: AS NOTED

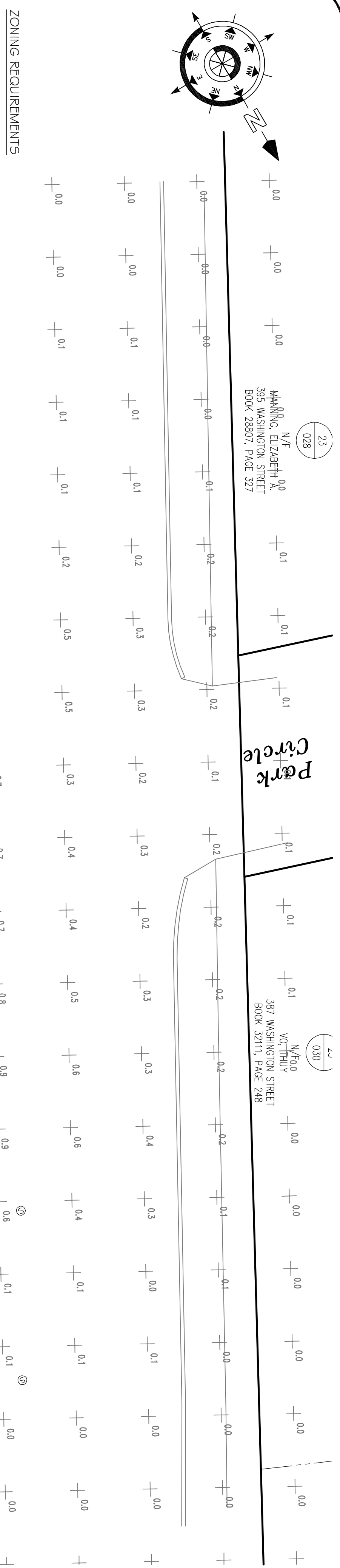
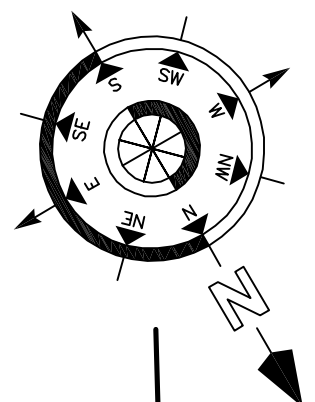
DATE: 06-10-2016

DRAWN BY: JDD/VLN

JOB NO. 1116-02

SHEET NO.

9 12
OF



ZONING REQUIREMENTS
 Zoning District: Local Business B (LDB), UO
 Assessors' Map: 23
 Lot: 221
 Owner: OJ Pasquelli, (TR)
 396 WASHINGTON STREET
 NORFOLK COUNTY, MA 01905, P43910
 Applicant:
 Saeed Rahman

LIGHTING LEGEND & SCHEDULE

KEY SYMBOL	MANUFACTURER	DESCRIPTION OF LIGHT	MODEL NUMBER	MOUNTING	HEIGHT	CANDELA	QUANTITY
L-1	COOPER LIGHTING	PARKING AREA LIGHT (LED)	LEDE1RW	POLE	20'	2361.7	9
L-2	COOPER LIGHTING	WALL PACK (LED)	WPK2ALEX	WALL FACE	8'	553	9
L-3	COOPER LIGHTING	CANOPY LIGHT (LED)	CANZ28SL	CANOPY	13.75'	4609.23	6

Photometric Filename: AMB01LEDE1RW.xls
 Descriptive Information (From Photometric File)
 ESN#41
 [TST] ISI 10994
 [DATE] 07/22/11
 [MANUFACT] COOPER LIGHTING
 [LUMINAIRE] AMB01LEDE1RW
 [LUMINAIRE] ICON MEDIUM LED 16" x 9" PARKING/ROADWAY / TYPE C
 [OPTIONS] CUT-OFF SHIELD

Characteristics
 IES Classification: Type I
 Longitudinal Classification: Short
 Cutoff Classification: Cutoff
 Maximum Candela: 2361.7
 Maximum Candela Angle: 70H 67.5V
 Maximum Candela At 90 Degrees Vert.: 1 (0.01% Lamp Lms)
 Maximum Candela from 80 to <90 Degrees Vert.: 298 (2.13% Lamp Lms)
 Downward Total Efficiency: 80.3%

L-1 LUMINAIRE = LEDE1RW

Photometric Filename: WPK2ALEX.xls
 Descriptive Information (From Photometric File)
 ESN#91
 [TST] P30163
 [DATE] 12/11/09
 [MANUFACT] COOPER LIGHTING
 [LUMINAIRE] WPK2ALEX1FC
 [LUMINAIRE] WALLPACK LED W/FULL CUTOFF DOOR AND SOLITE GLASS LENS

Characteristics
 IES Classification: Type II
 Longitudinal Classification: Very Short
 Cutoff Classification: Semi-Cutoff
 Maximum Candela: 553
 Maximum Candela Angle: 75H 42.5V
 Maximum Candela At 90 Degrees Vert.: 38 (4.22% Lamp Lms)
 Maximum Candela from 80 to <90 Degrees Vert.: 157 (17.44% Lamp Lms)
 Downward Total Efficiency: 83.0%

L-2 LUMINAIRE = WPK2ALED

Photometric Filename: CAN-28-Sl.xls
 Descriptive Information (From Photometric File)
 ESN#41
 [TST] P105297-001
 [DATE] 02/09/15
 [MANUFACT] COOPER LIGHTING
 [LUMINAIRE] CAN-28-SL
 [LUMINAIRE] 16" - 228 SERIES RECESSED CANOPY LED LIGHT
 [LAMP] 60 Cree XR-2 LEDs

Characteristics
 IES Classification: Type V
 Longitudinal Classification: Very Short
 Cutoff Classification: Full Cutoff
 Maximum Candela: 4609.23
 Maximum Candela Angle: 50H 30V
 Maximum Candela At 90 Degrees Vert.: 0 (0.00% Lamp Lms)
 Maximum Candela from 80 to <90 Degrees Vert.: 887 (2.46% Lamp Lms)
 Downward Total Efficiency: 87.7%

L-3 LUMINAIRE = CAN228SL

© Copyright 2015
 SEA-COAST CONSULTING, LLC.

X:\Drawings\1116-01 Saeed - Westwood\Drawings\Civil\Definitive\2016-08-11\SCC-1116-01 Site Plan Rev. 2 - 2016-08-11.dwg

REV. NO.	DATE	DESCRIPTION	APP'D BY
2	8-11-16	NO CHANGES	
1	7-4-16	ADDED ROOM, ASSIGNING FOR ROOM #805.	

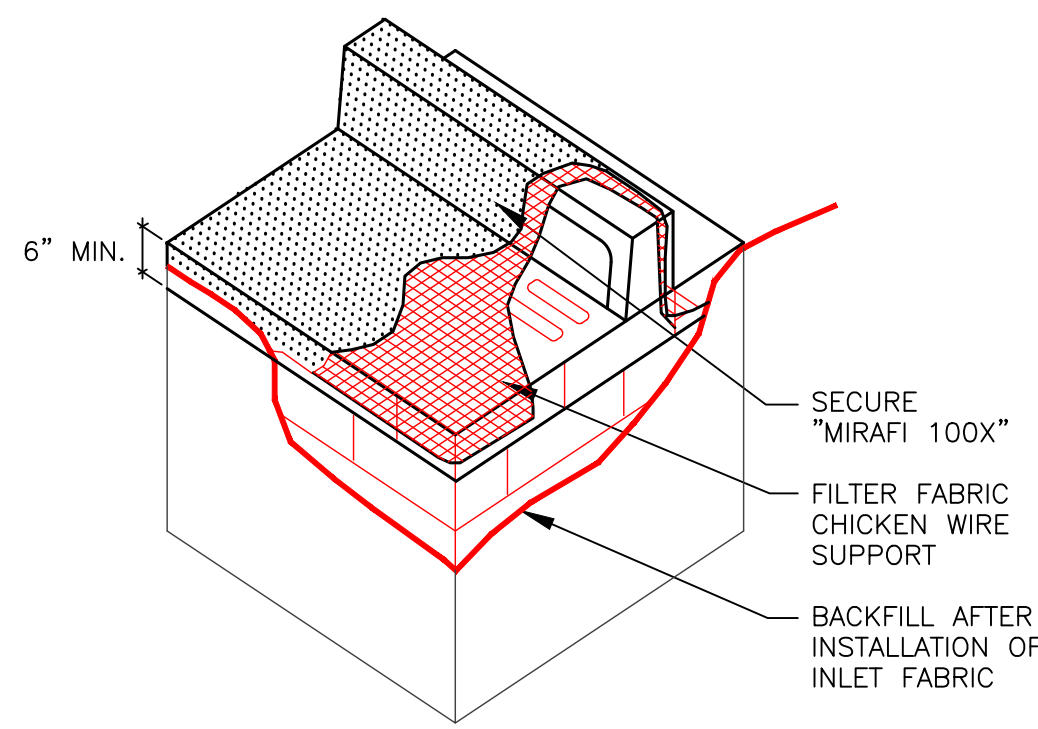
1012
OF

SEA-COAST CONSULTING, LLC.
 LAND PLANNING AND BUILDING LAYOUT PLANNING SERVICES
 4 COURT STREET, SUITE 101, TAUNTON, MA. 02780
 TEL. (800) 946-1575, FAX (800) 946-1575
 "SPECIALIZED CUSTOM SERVICE TO MEET OUR CLIENTS NEEDS"

Project: **PHOTOMETRICS PLAN**
390 WASHINGTON STREET
WESTWOOD, MASSACHUSETTS

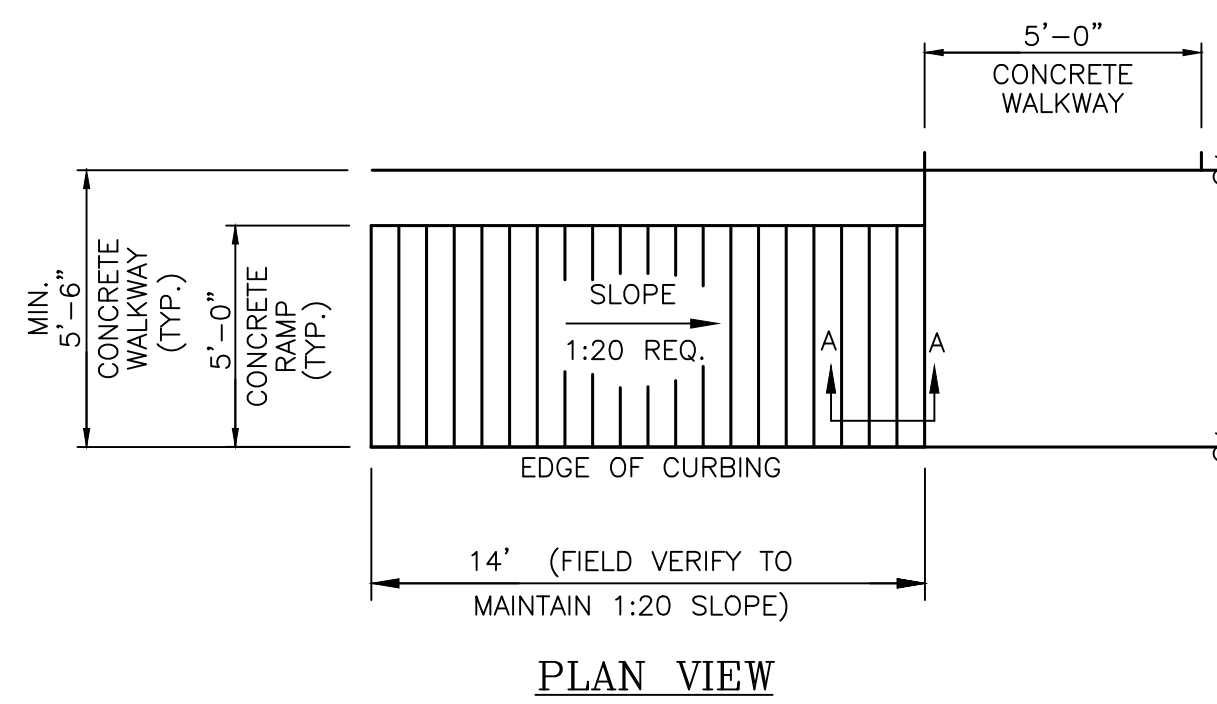
Client: **Saeed Rahman**

DATE: 06-10-2016
 SCALE: 1" = 10'
 DRAWN BY: JDD/VLN
 JOB NO.: 1116-02
 SHEET NO.:

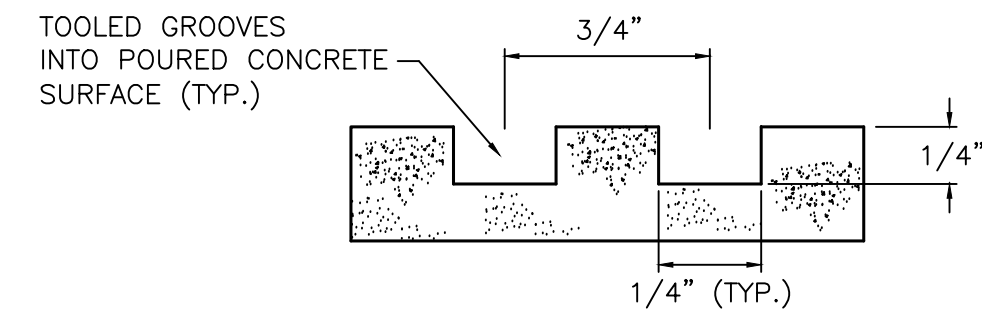


1. CONTRACTOR IS TO CLEAN INLET FILTER AFTER EVERY STORM
2. CONTRACTOR TO REMOVE FABRIC AND MESH JUST PRIOR TO PAVING.

INLET FILTER DETAIL
NOT TO SCALE

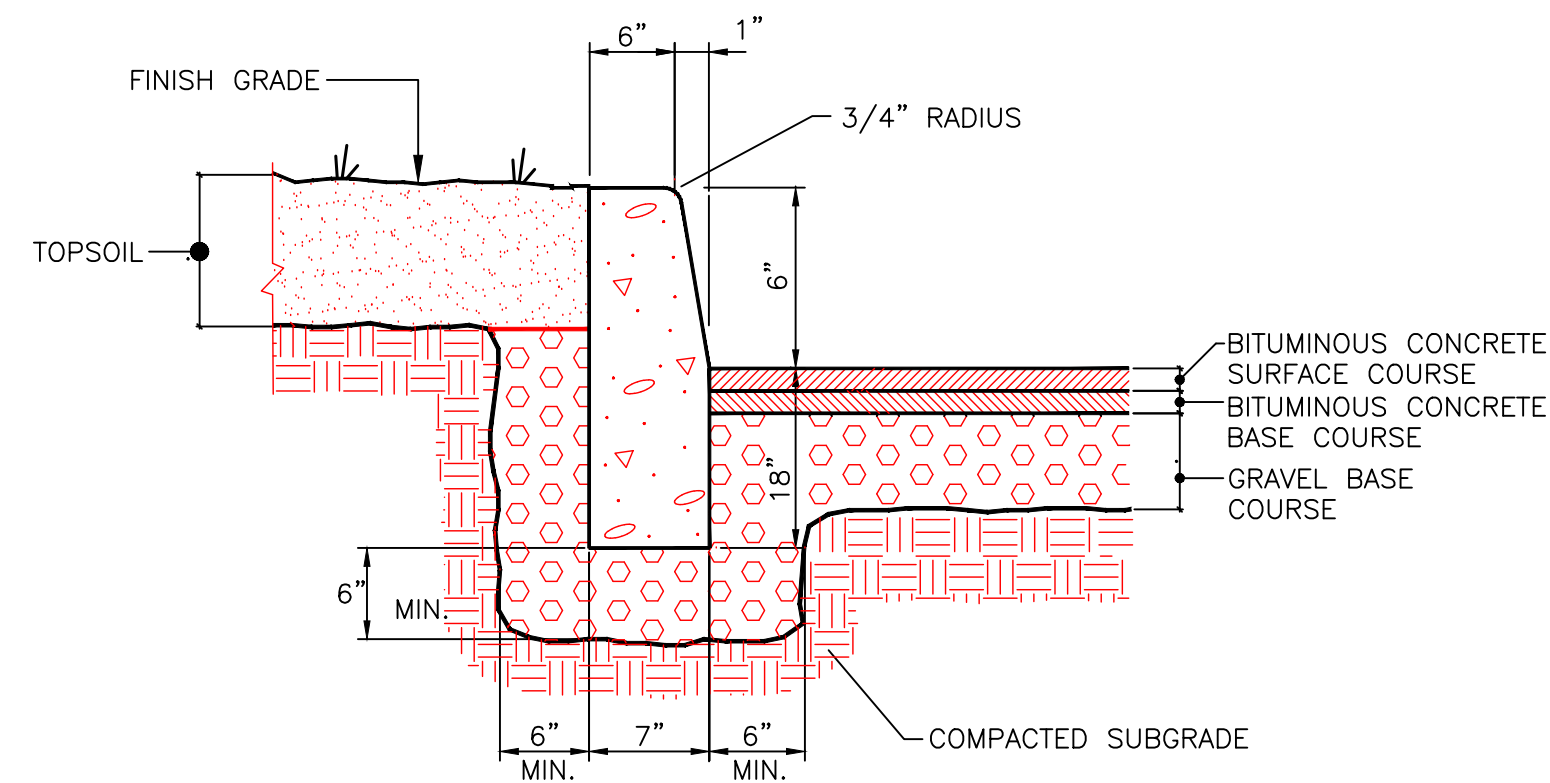


PLAN VIEW



SECTION VIEW A-A

HANDICAP RAMP DETAIL
NOT TO SCALE



PRECAST CONCRETE CURB DETAIL
NOT TO SCALE

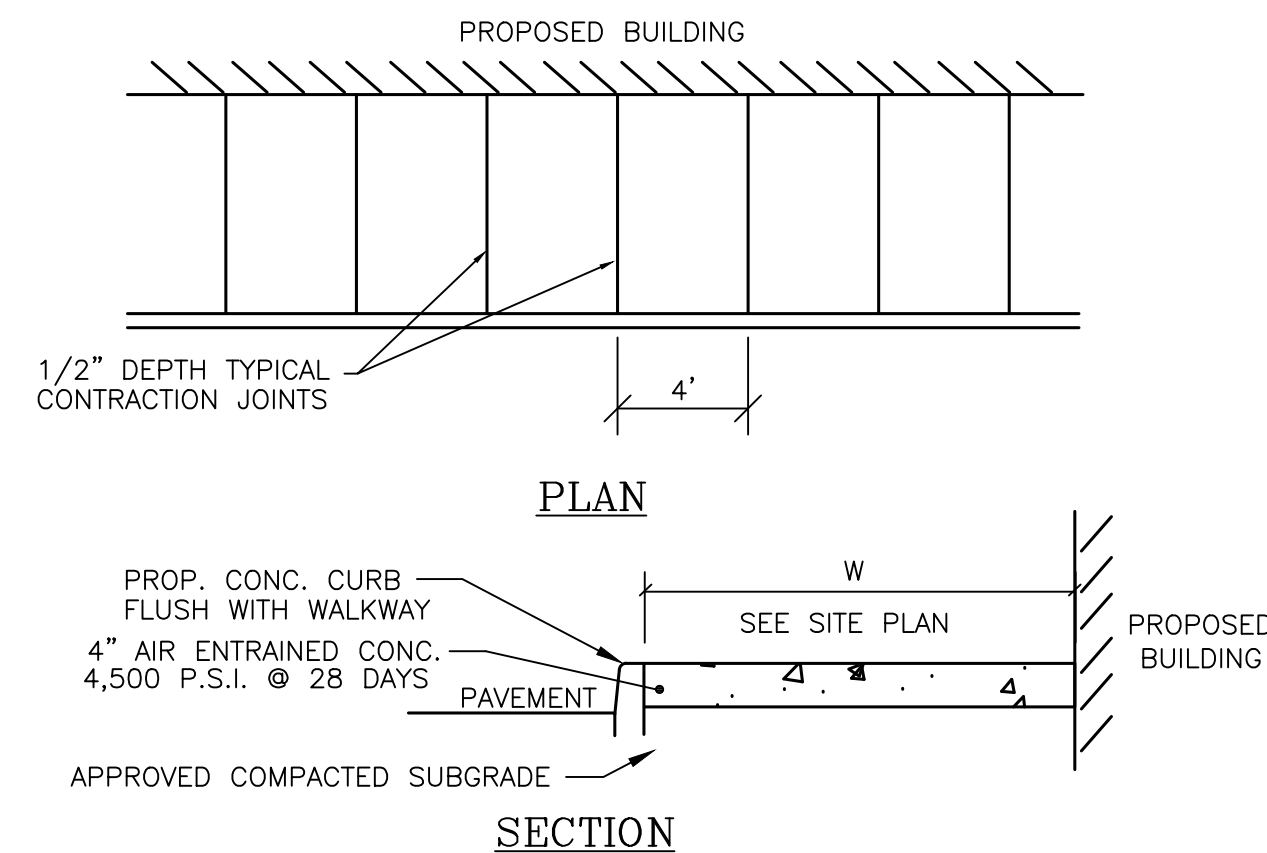
NOTE: CURB SHALL CONSIST OF 4,000 PSI AIR ENTRAINED CONCRETE, EXPOSED EDGES TO HAVE RUBBED FINISH AND SURFACE SHALL BE TREATED WITH A CONCRETE PENETRANT / SEALER.

THE ENDS OF CURB SECTIONS SHALL BE CHAMFERED 1/4 INCH.

THE CORNERS OF CURB SECTIONS SHALL MATCH THE ADJACENT CURB IN SIZE, COLOR AND FINISH.

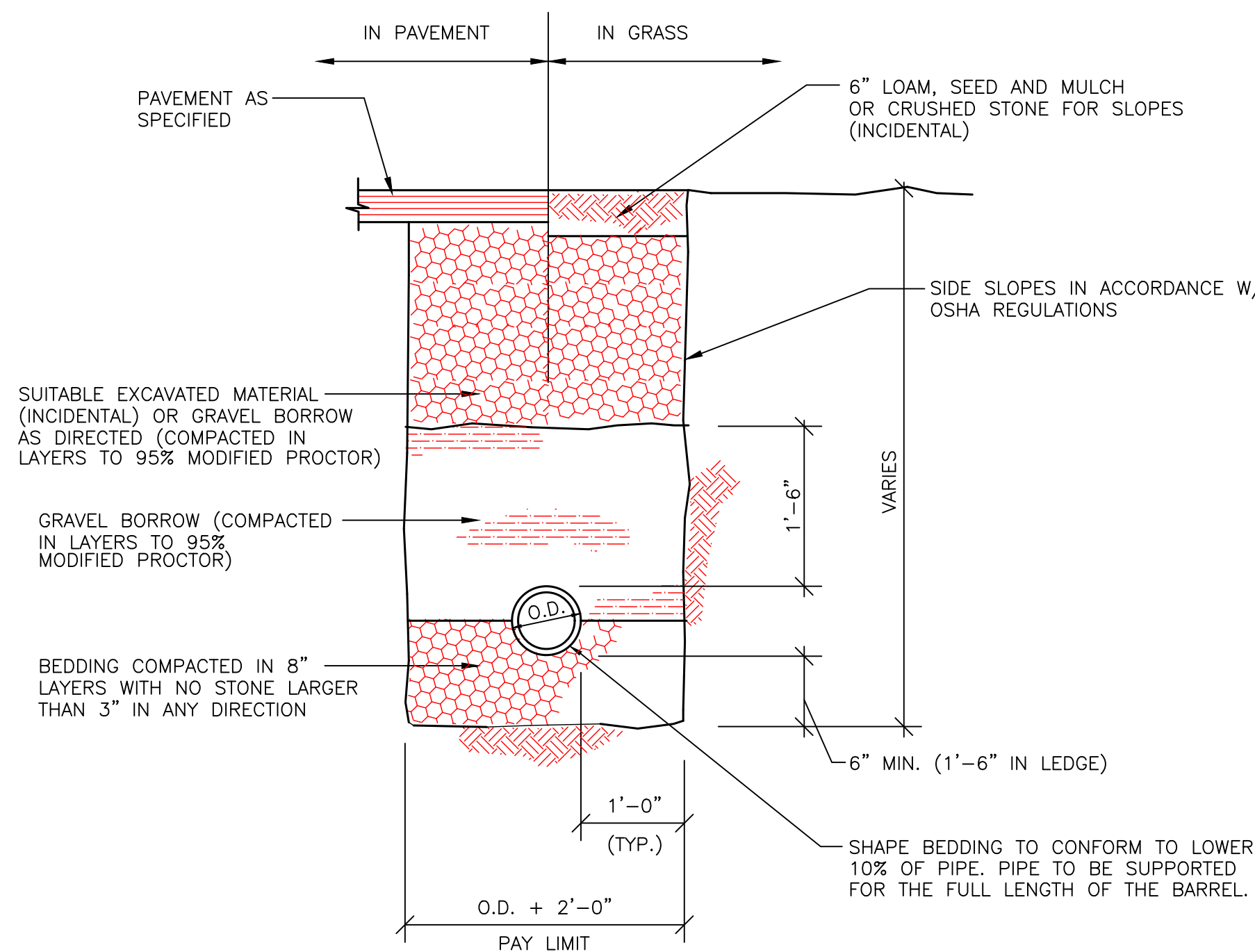
CURB, CURB CORNERS OR EDGING SHALL BE FITTED TOGETHER AS CLOSELY AS POSSIBLE.

EXPANSION JOINTS SHALL BE INSTALLED AT A MAXIMUM OF TWENTY FEET (20') ON CENTER USING PREFORMED EXPANSION JOINT FILLER HAVING A THICKNESS OF 1/2 INCH.

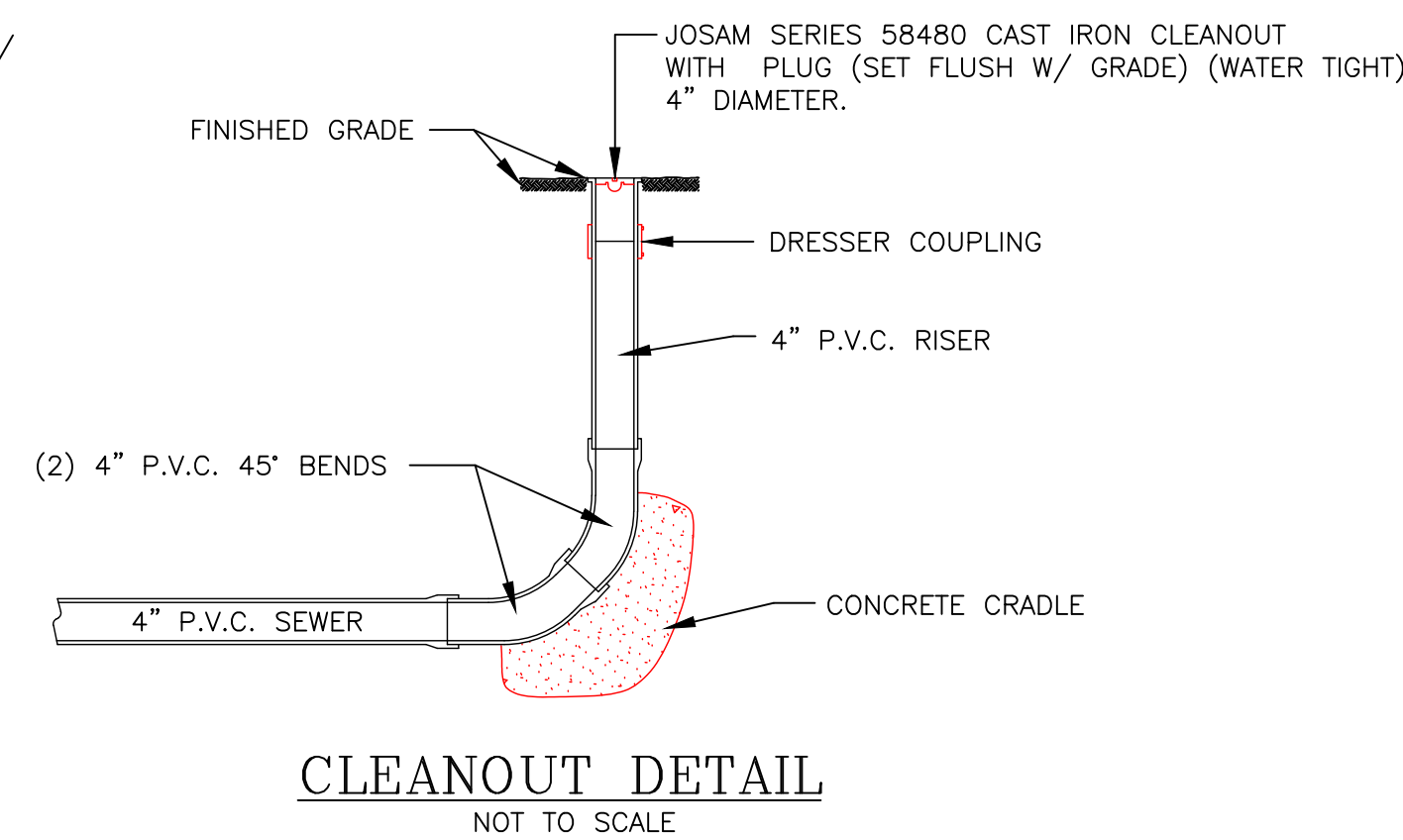


- NOTE:
1. MIN. CROSS SLOPE 1/4" PER FOOT PITCHED AWAY FROM BUILDING.
 2. PROVIDE 1/2" REMOLDED BITUMINOUS EXPANSION JOINT AT 12' INTERVALS.

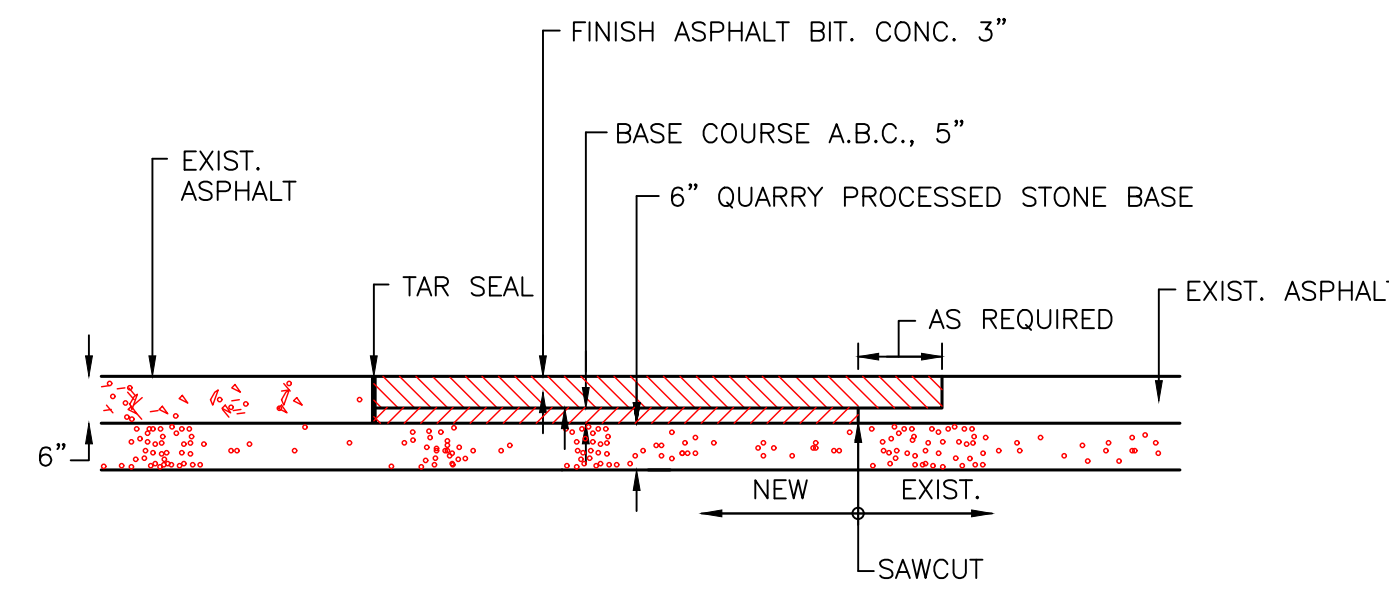
SIDEWALK DETAIL
NOT TO SCALE



ONSITE PIPE TRENCH DETAIL
NOT TO SCALE

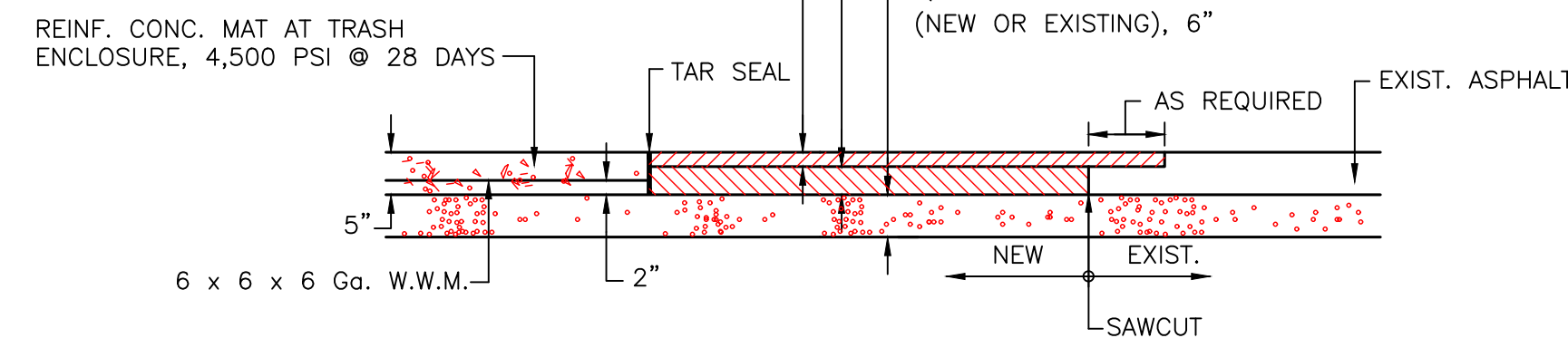


CLEANOUT DETAIL
NOT TO SCALE

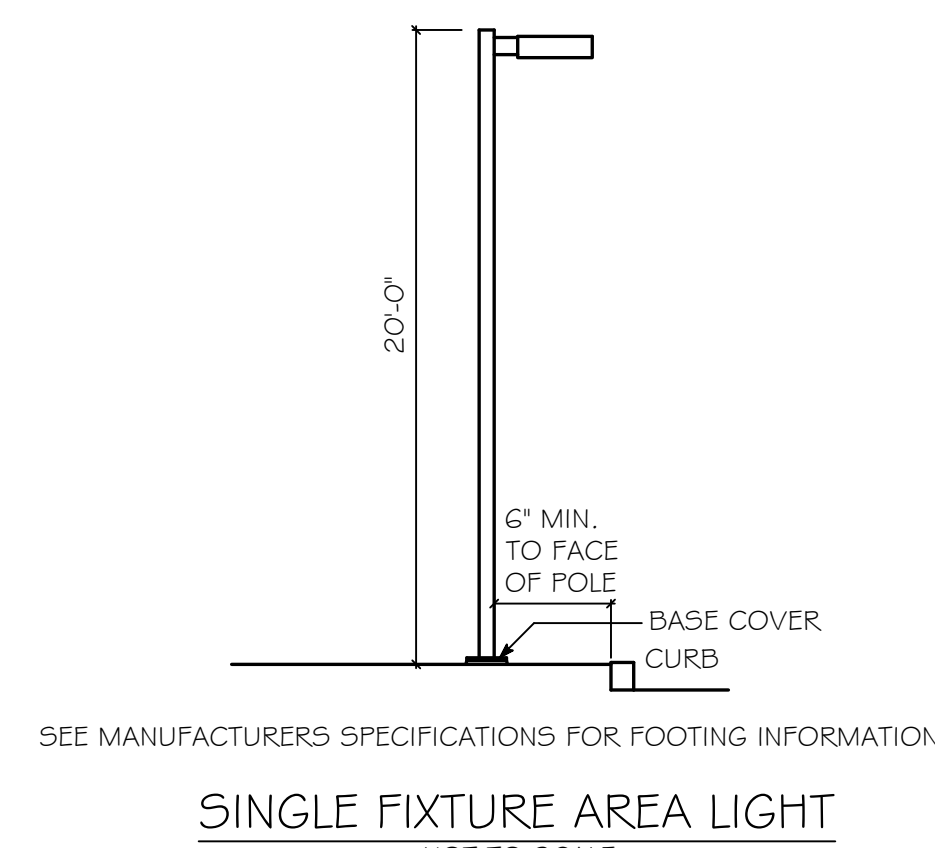


ONSITE DRIVE AISLE PAVING DETAIL
NOT TO SCALE

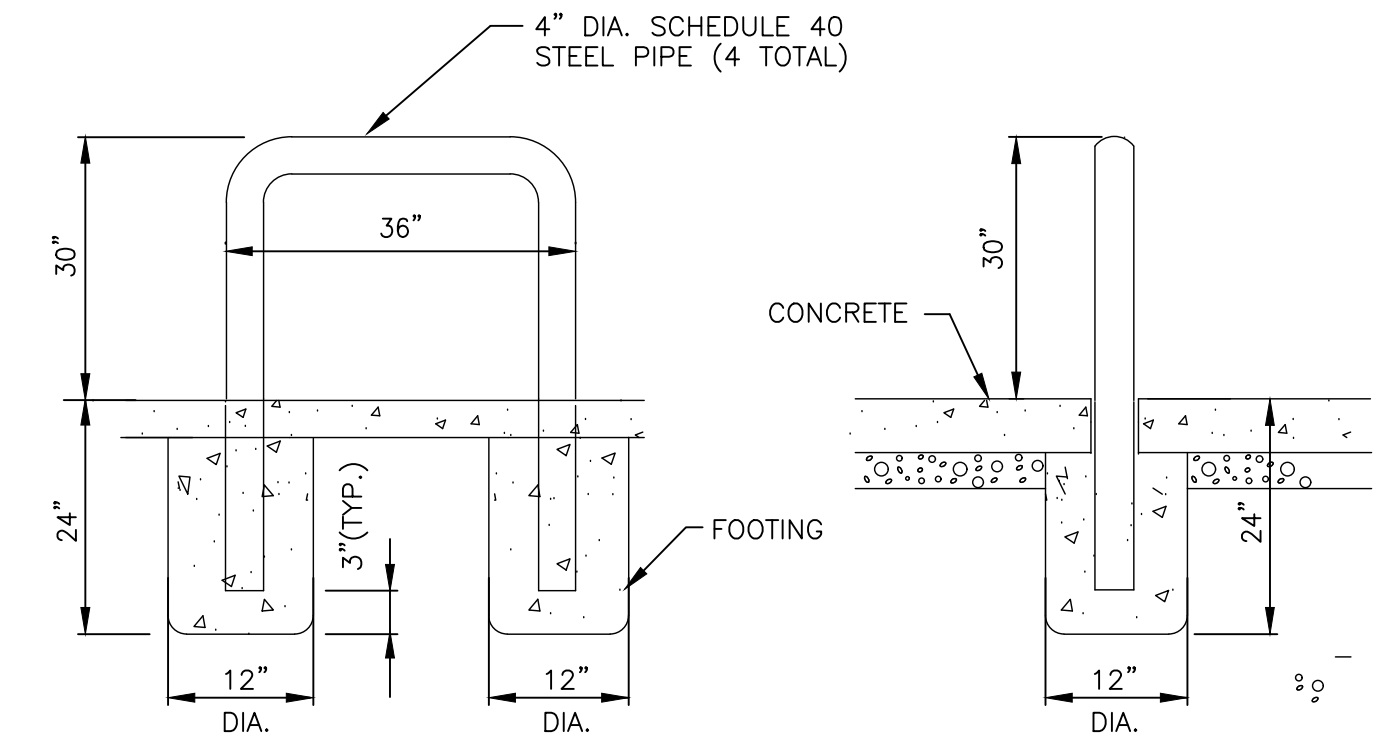
NOTE: PARKING AREAS PAVING SPECIFICATIONS FOR PARKING SPACE (9'x18' AREA) ONLY. ALL OTHER DRIVE AISLES TO BE HEAVY DUTY PAVING.



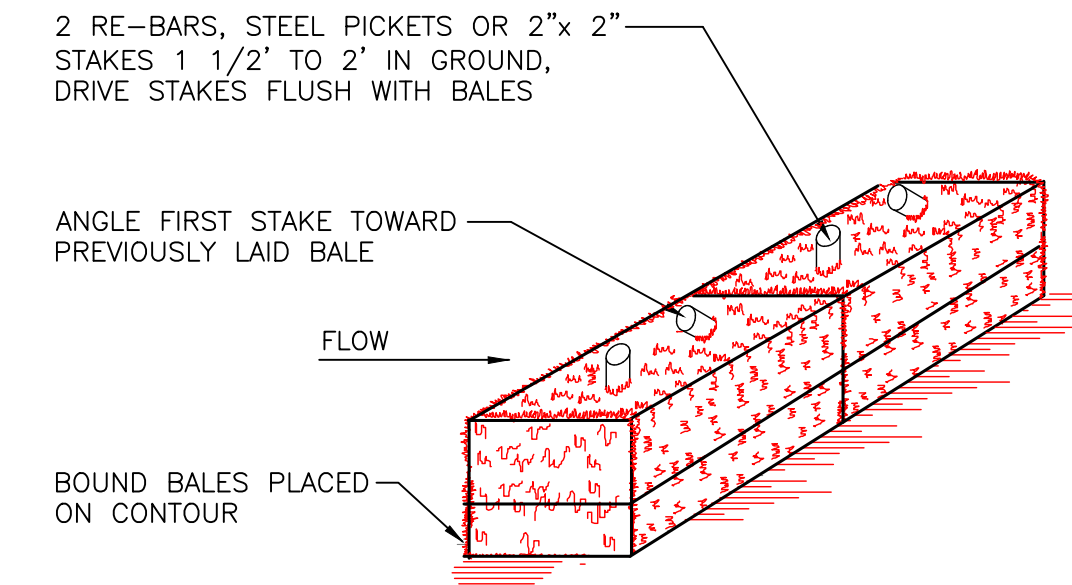
ONSITE CONCRETE & PARKING AREA PAVING DETAIL
NOT TO SCALE



SINGLE FIXTURE AREA LIGHT
NOT TO SCALE



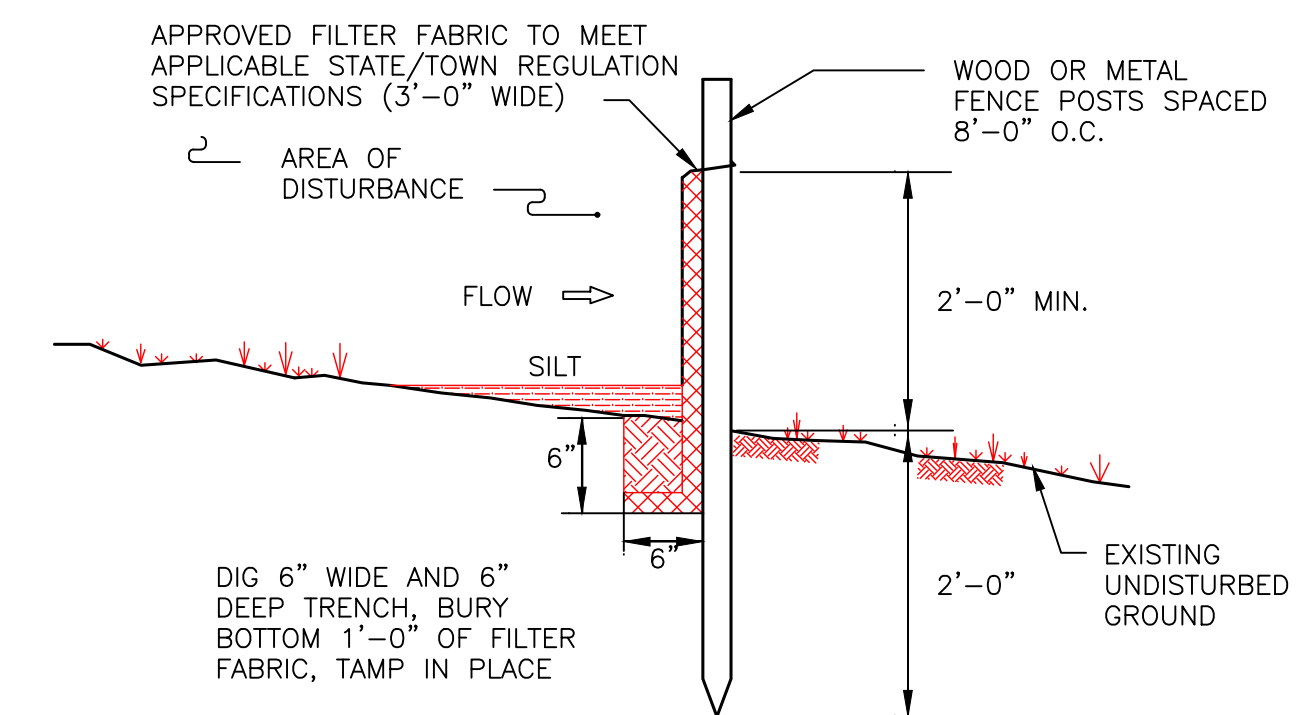
BOLLARD DETAIL
NOT TO SCALE



DRAINAGE AREA NO MORE THAN 1/4 AC. PER 100 FEET OF STRAW BALE DIKE FOR SLOPES LESS THAN 25%

- NOTES:
1. BALES SHALL BE PLACED AT THE TOP OF A SLOPE OR ON THE CONTOUR AND IN A ROW WITH ENDS TIGHTLY ABUTTING THE ADJACENT BALES.
 2. EACH BALE SHALL BE PLACED SO THE BINDINGS ARE HORIZONTAL.
 3. BALES SHALL BE SECURELY ANCHORED IN PLACE BY EITHER TWO STAKES OR RE-BARS DRIVEN THROUGH THE BALE. THE FIRST STAKE IN EACH BALE SHALL BE DRIVEN TOWARD THE PREVIOUSLY LAID BALE AT AN ANGLE TO FORCE THE BALES TOGETHER. STAKES SHALL BE DRIVEN FLUSH WITH THE BALE.
 4. INSPECTION SHALL BE FREQUENT AND REPAIR REPLACEMENT SHALL BE PROMPTLY AS NEEDED.
 5. BALES SHALL BE BIODEGRADABLE AND/OR REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.

STRAW BALE DETAIL
NOT TO SCALE



1. THE SLOPE OF THE LAND FOR AT LEAST 30 FEET ADJACENT TO ANY SILT FENCE SHALL NOT EXCEED 5 %
2. SILT FENCE SHALL BE INSTALLED SO WATER CANNOT BYPASS THE FENCE AROUND THE SIDES.
3. INSPECTION SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE MADE AS PROMPTLY AS POSSIBLE.
4. SILT FENCE SHALL REMAIN IN PLACE FOR THE DURATION OF THE PROJECT UNLESS OTHERWISE INSTRUCTED BY THE OWNER'S ENGINEER.

SILT FENCE
NOT TO SCALE

REV. NO.	DATE	DESCRIPTION	BY
2	8-11-16	NO CHANGES	JDD/VLN
1	7-6-16	ADDED R.O.W. EASEMENT FOR ROCHE BROS.	JDD/VLN

REVISIONS

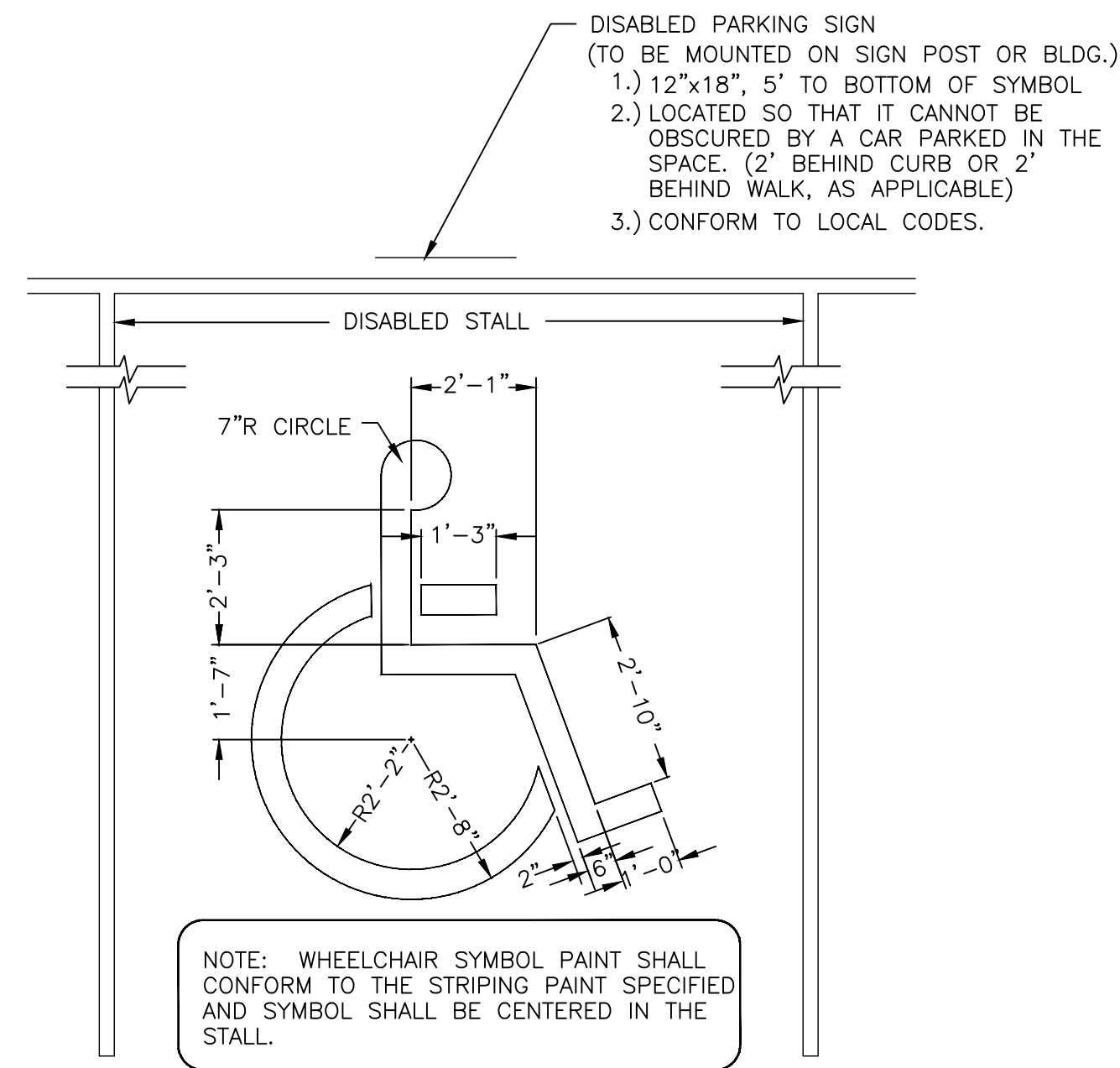
SEA-COAST CONSULTING, LLC.
LAND PLANNING AND BUILDING LAYOUT PLANNING SERVICES
4 COURT STREET, SUITE 101, TAUNTON, MA. 02780
TEL. (800) 946-1575, FAX (800) 946-1575
"SPECIALIZED CUSTOM SERVICE TO MEET OUR CLIENTS' NEEDS!"



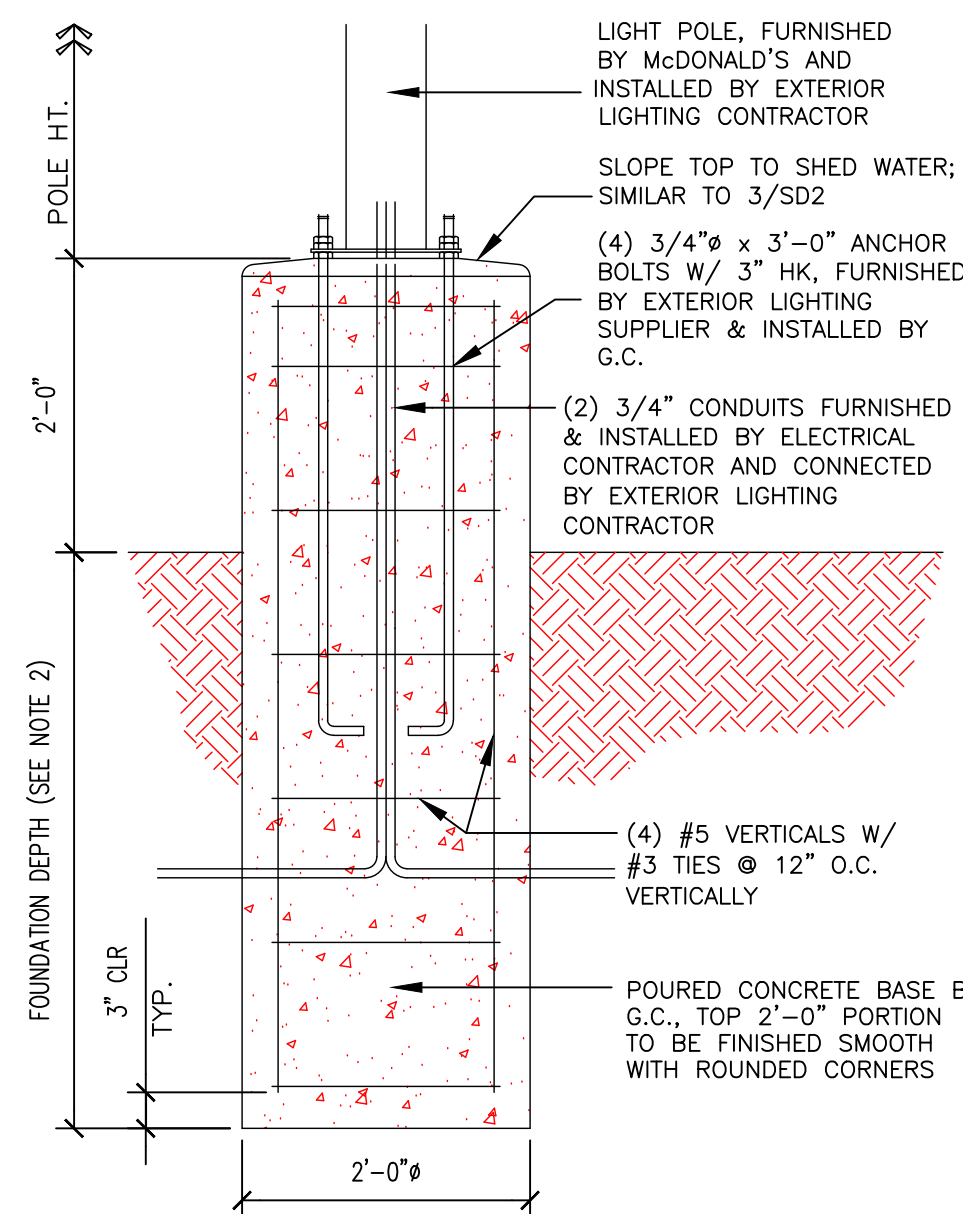
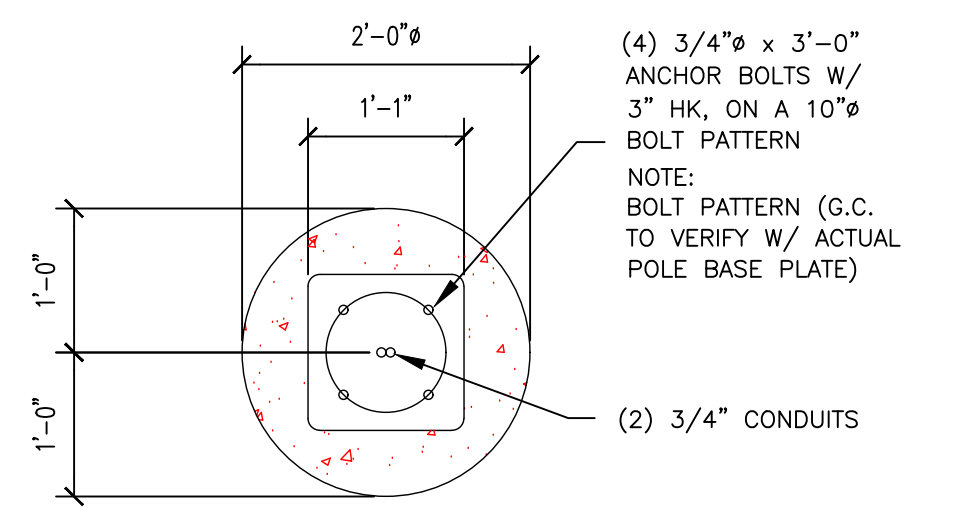
PROPOSED DETAILS PLAN
390 WASHINGTON STREET
WESTWOOD, MASSACHUSETTS
CLIENT: Saeed, Rahman

Project: 1112
SCALE: 1"=10'
DATE: 06-10-2016
DRAWN BY: JDD/VLN
JOB NO. 1116-02
SHEET NO.

1112
OF



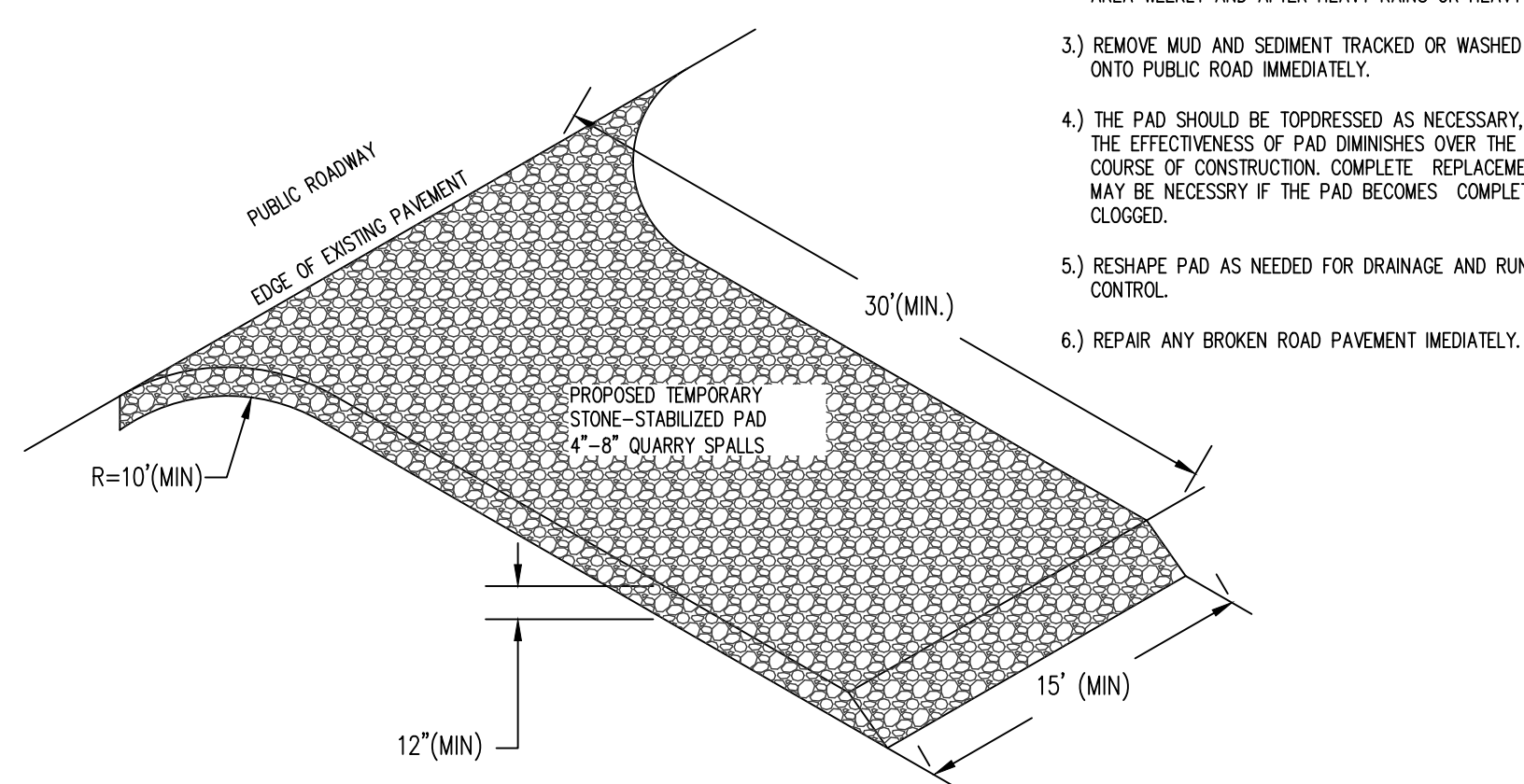
DISABLED PARKING SPACE
NOT TO SCALE



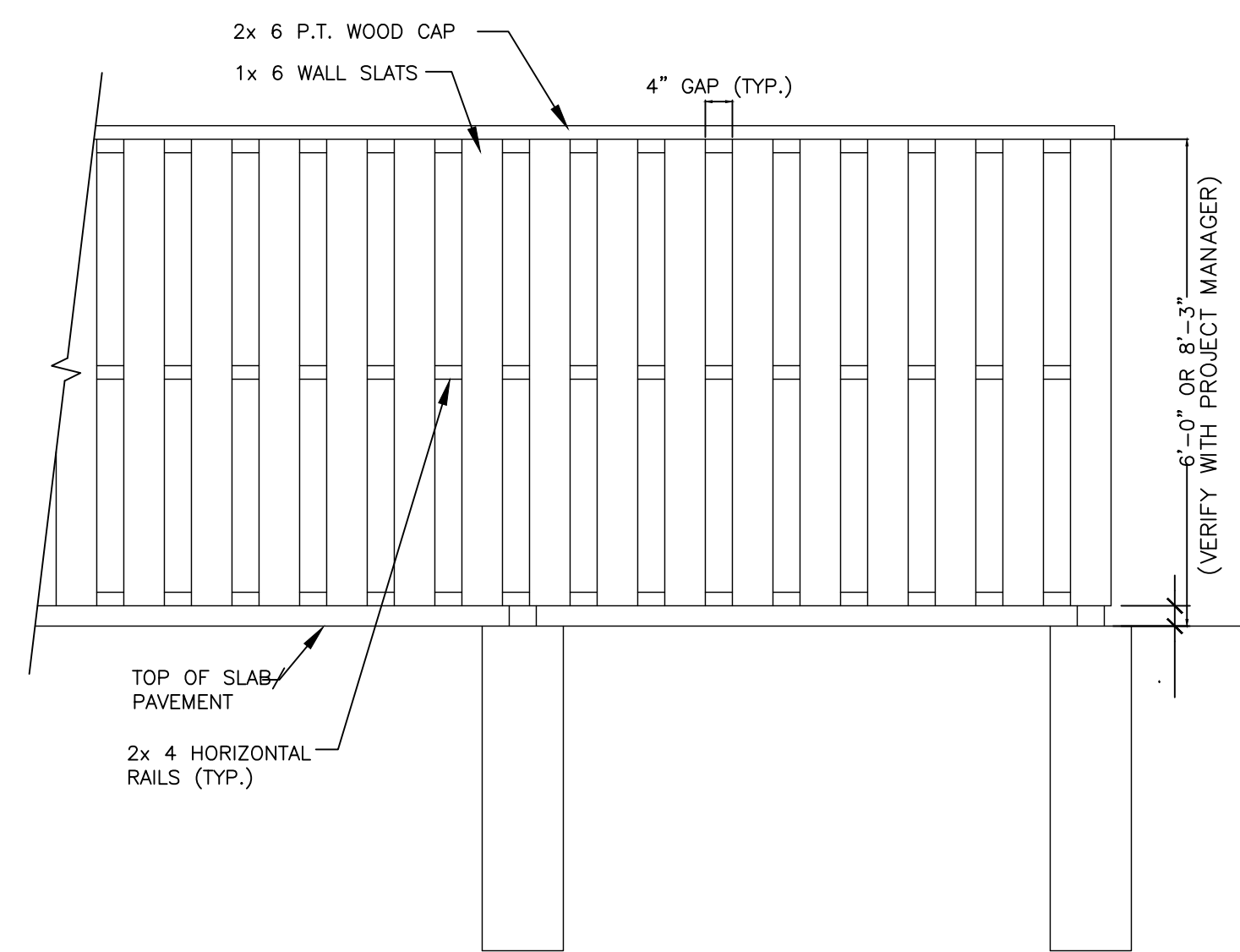
- NOTES:
- IF THE EXISTING EARTH IS NON-VIRGIN FILL MATERIAL OR OTHERWISE UNSUITABLE TO SUPPORT THE BASE AND LIGHT, CONSULT THE McDONALD'S SOILS ENGINEER PRIOR TO PLACING CONCRETE.
 - FOUNDATION DEPTH AS REQUIRED BY CODE OR TO ACHIEVE ADEQUATE SOIL BEARING CAPACITY, (5' DEPTH MINIMUM).
 - IF OPTIONAL TAPERED STEEL BASE IS USED, FILL 2'-0" BASE WITH CONCRETE TO FORM TOP 2'-0" PORTION OF LIGHT POLE BASE.

LIGHT BASE DETAIL
SCALE: 3/4"=1'

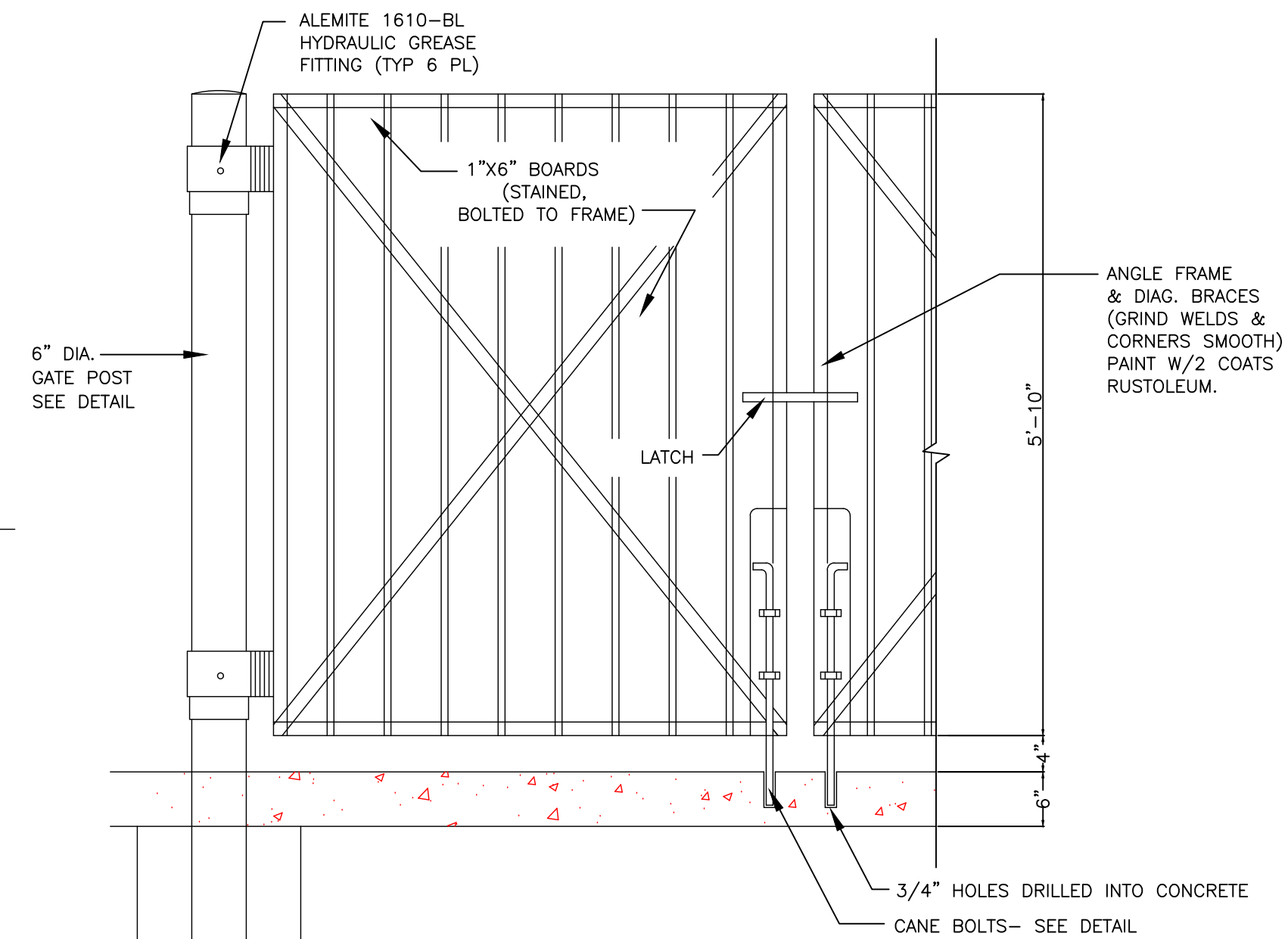
- STABILIZED ENTRANCE MAINTENANCE NOTES:
- THE ENTRANCE SHOULD BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT OF WAY THIS MAY REQUIRE PERIODIC TOPDRESSING WITH ADDITIONAL STONE.
 - INSPECT ENTRANCE/EXIT PAD AND SEDIMENT DISPOSAL AREA WEEKLY AND AFTER HEAVY RAINS OR HEAVY USE.
 - REMOVE MUD AND SEDIMENT TRACKED OR WASHED ONTO PUBLIC ROAD IMMEDIATELY.
 - THE PAD SHOULD BE TOPDRESSED AS NECESSARY, AS THE EFFECTIVENESS OF PAD DIMINISHES OVER THE COURSE OF CONSTRUCTION. COMPLETE REPLACEMENT MAY BE NECESSARY IF THE PAD BECOMES COMPLETELY CLOGGED.
 - RESHAPE PAD AS NEEDED FOR DRAINAGE AND RUNOFF CONTROL.
 - REPAIR ANY BROKEN ROAD PAVEMENT IMMEDIATELY.



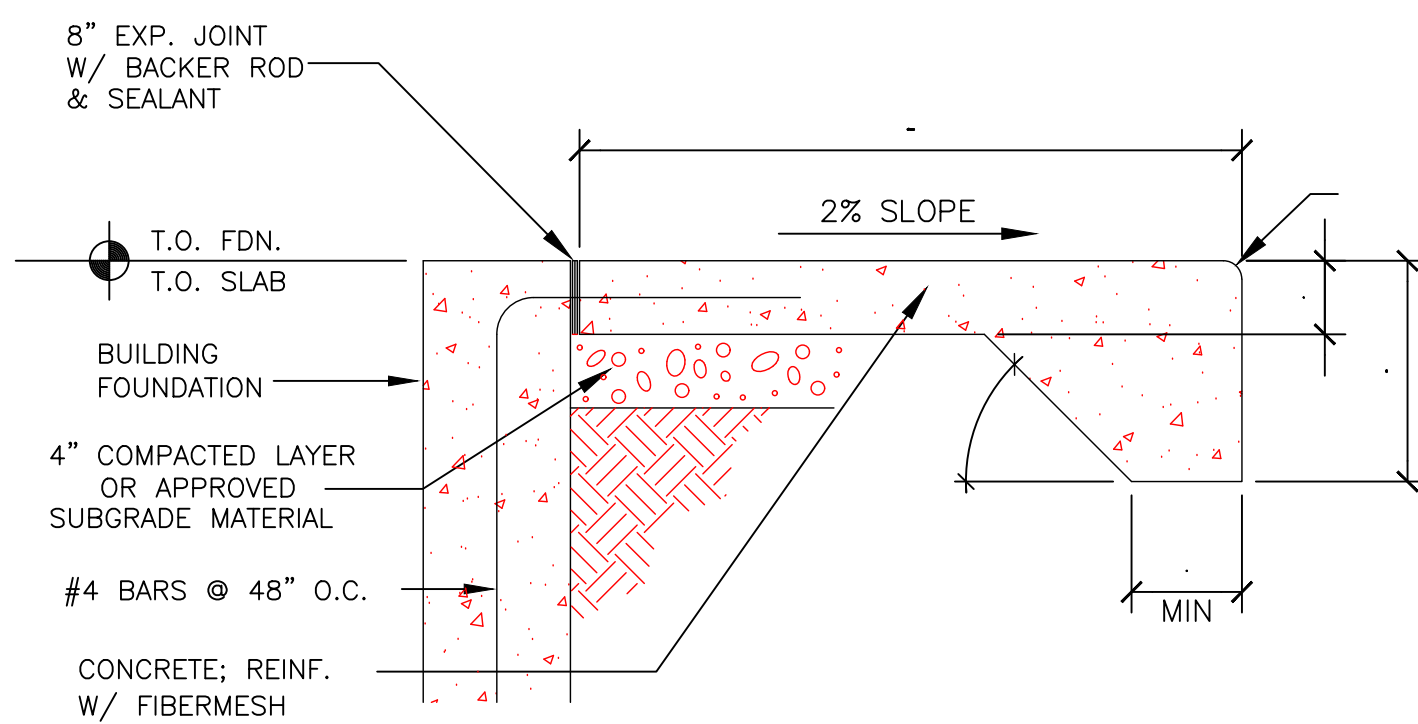
STABILIZED ENTRANCE DETAIL
(NOT TO SCALE)



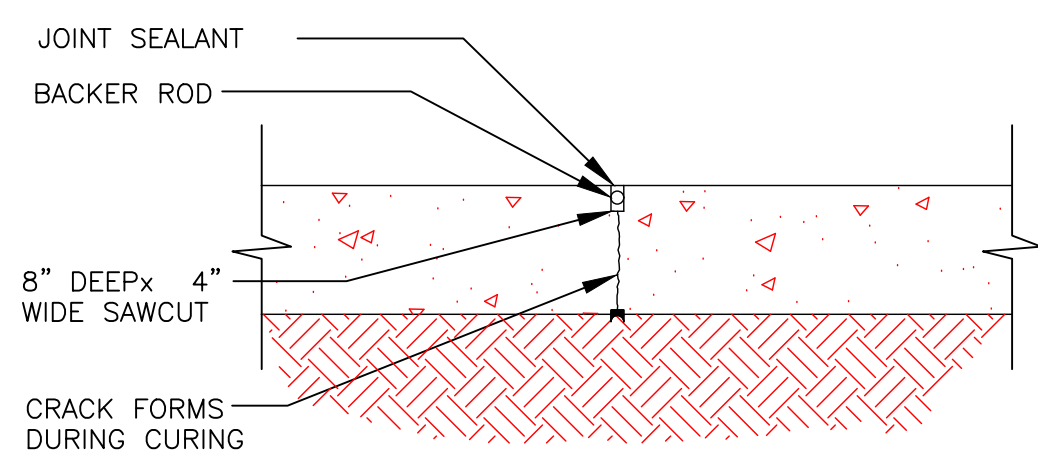
DUMPSTER WALL ELEVATION
SCALE: N.T.S.



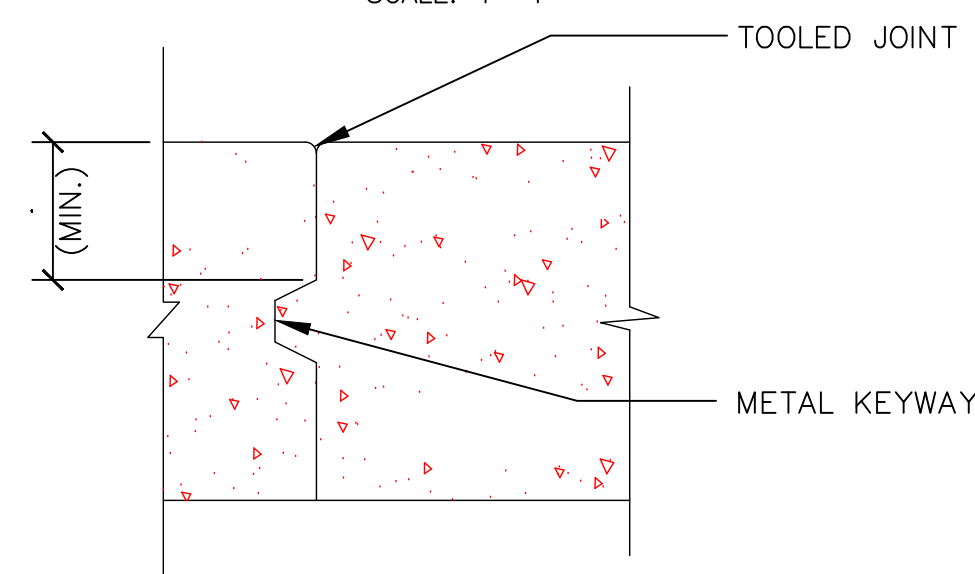
DUMPSTER GATE DETAIL
SCALE: N.T.S.



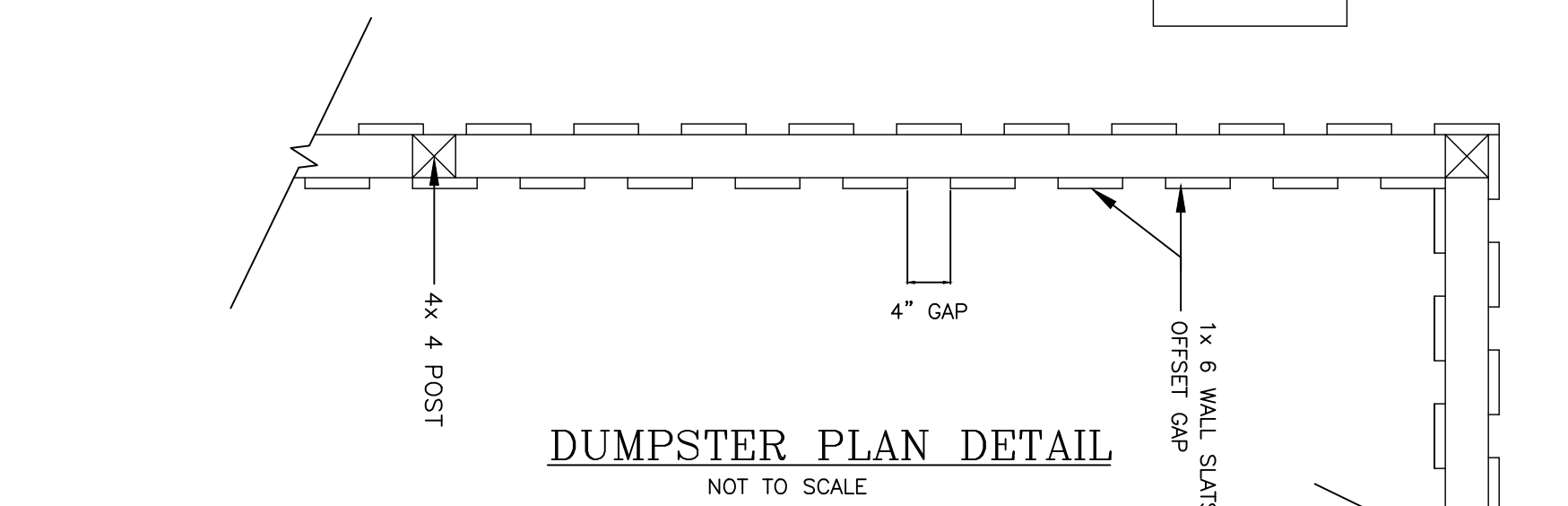
SIDEWALK @ BUILDING
SCALE: 1"=1'



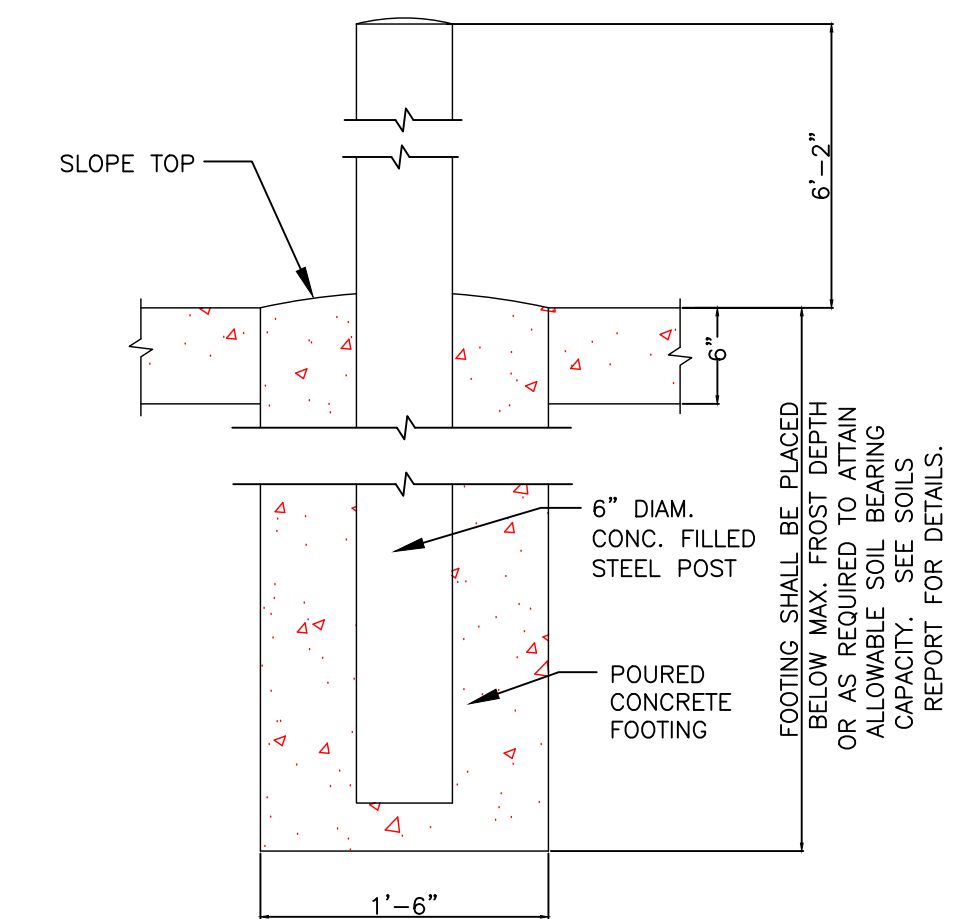
CONTRACTION JOINT
SCALE: 1"=1'



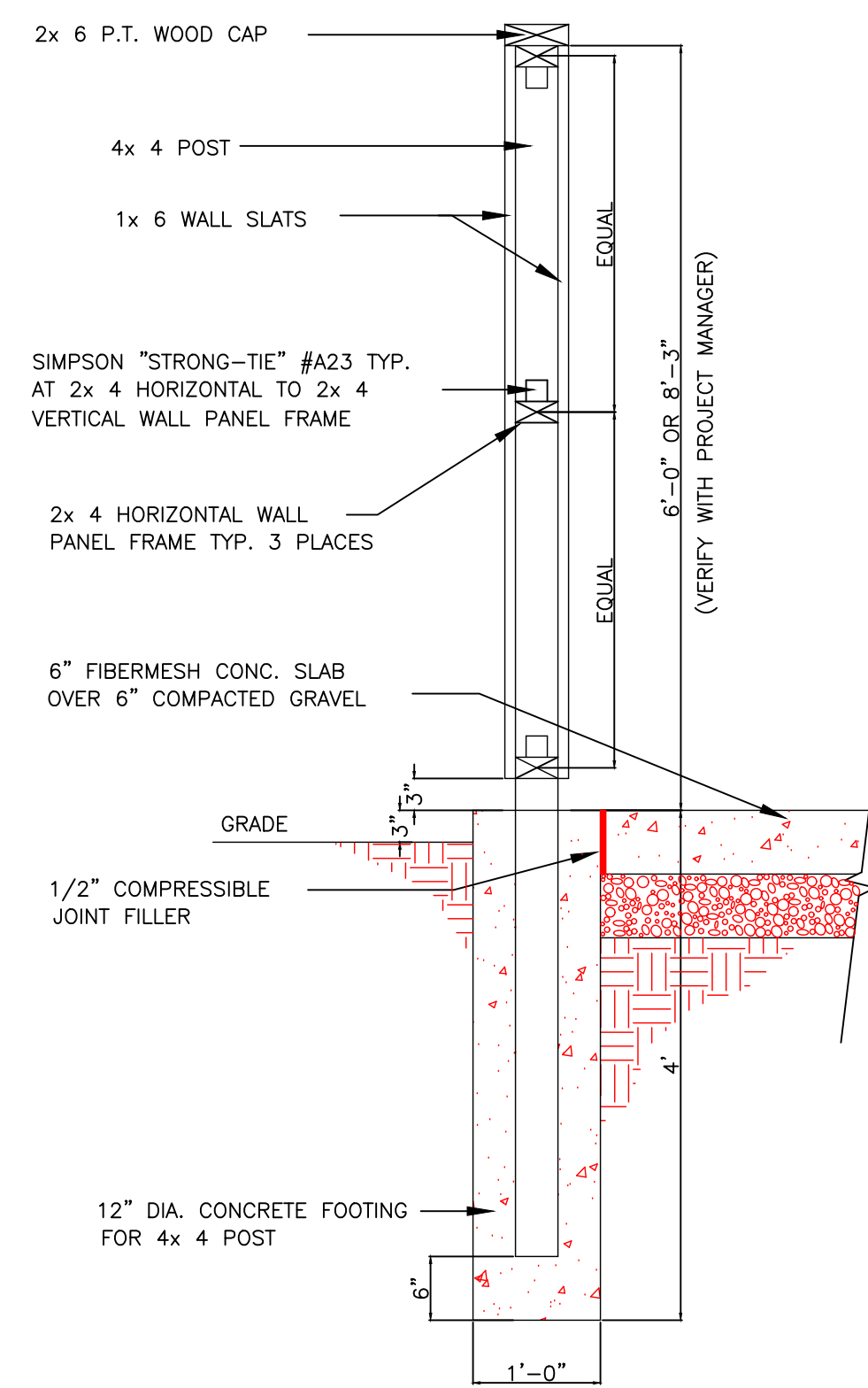
CONSTRUCTION JOINT
SCALE: 3"=1'



DUMPSTER PLAN DETAIL
NOT TO SCALE



DUMPSTER GATE POST DETAIL
SCALE: 1"=1'-0"



DUMPSTER WALL SECTION
SCALE: N.T.S.

REV. NO.	DATE	DESCRIPTION	BY
2	8-11-16	NO CHANGES	JDD/VLN
1	7-6-16	ADDED R.O.W. EASEMENT FOR ROCHE BROS.	JDD/VLN

REVISIONS

SEA-COAST CONSULTING, LLC.
LAND PLANNING AND BUILDING LAYOUT PLANNING SERVICES
4 COURT STREET, SUITE 101, TAUNTON, MA. 02780
TEL. (800) 946-1575, FAX (800) 946-1575
"SPECIALIZED CUSTOM SERVICE TO MEET OUR CLIENTS' NEEDS!"



PROPOSED DETAILS PLAN
390 WASHINGTON STREET
WESTWOOD, MASSACHUSETTS

CLIENT: Saeed, Rahman

Project: 1116-01
SCALE: 1"=10'
DATE: 06-10-2016
DRAWN BY: JDD/VLN
JOB NO. 1116-02
SHEET NO.

1212
OF