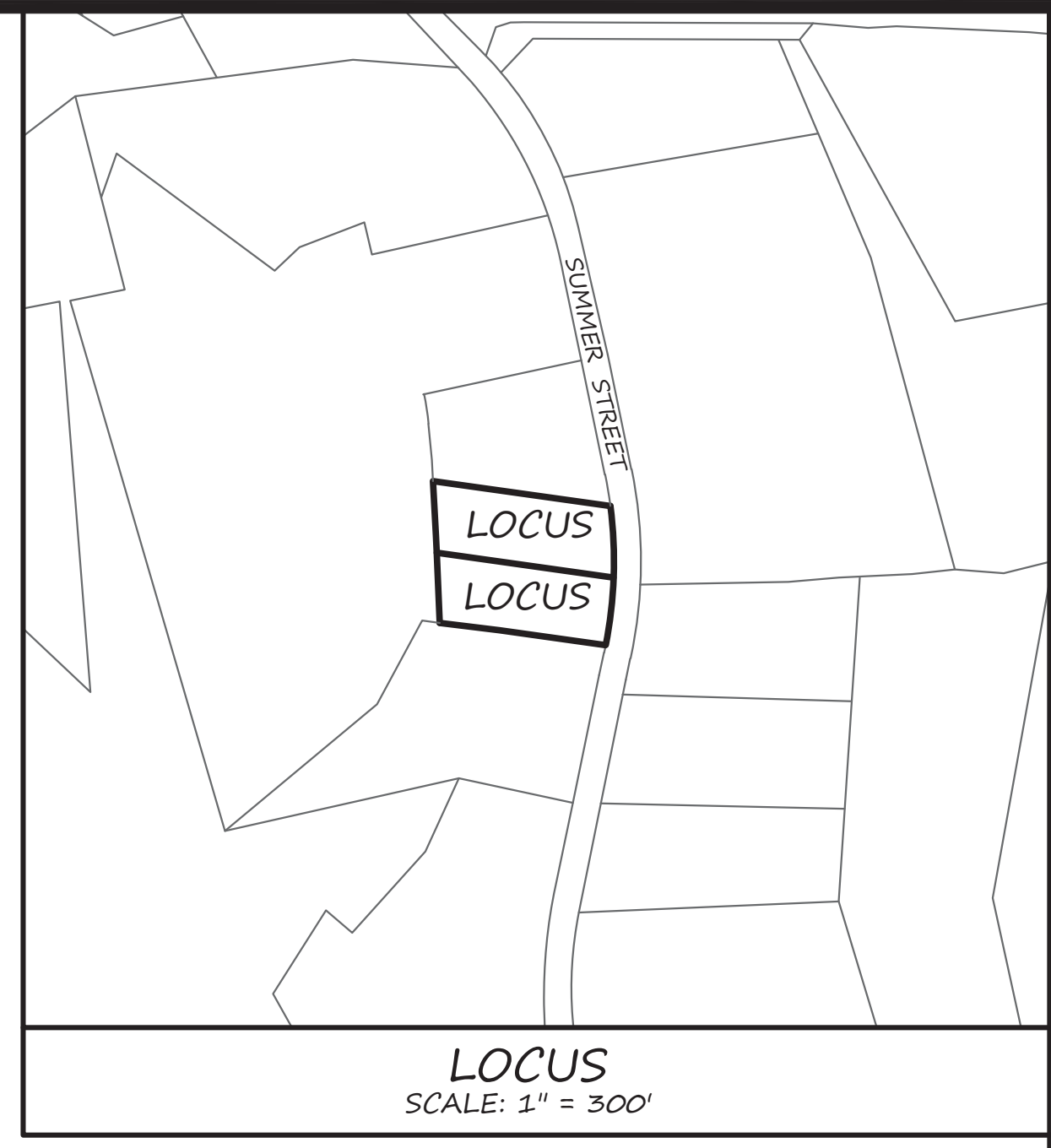


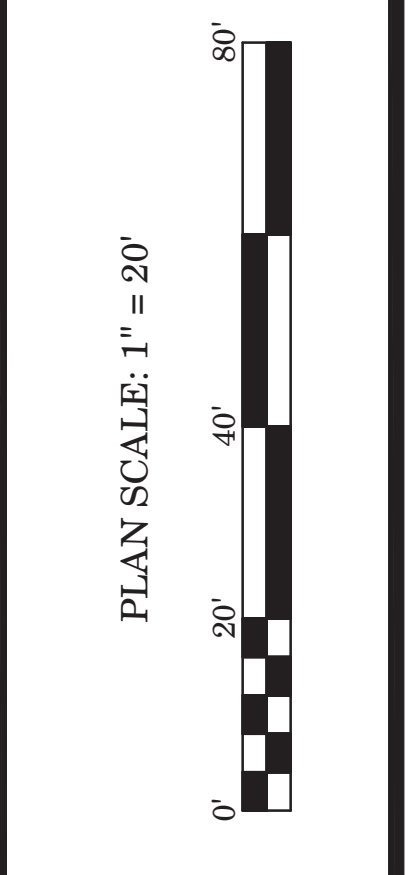
ZONING REQUIREMENTS:

MIN. LOT AREA: 40,000 S.F.
 PROVIDED:
 LOT 139: 43,197± S.F.
 LOT 140: 40,626± S.F.
 MIN. LOT FRONTAGE: 125'
 PROVIDED:
 LOT 139: 132.42'
 LOT 140: 126.17'
 MIN. LOT WIDTH: 125'
 PROVIDED:
 LOT 139: 130.0'
 LOT 140: 126.0'
 MIN. NON-WETLAND AREA: 30,000 S.F.
 PROVIDED:
 LOT 139: 36,150± S.F.
 LOT 140: 40,626± S.F.
 MIN. FRONT SETBACK: 40'
 PROVIDED:
 LOT 139: 45.4'
 LOT 140: 95.2'
 MIN. SIDE SETBACK: 20'
 PROVIDED:
 LOT 139: 21.0'
 LOT 140: 32.0'
 MIN. REAR SETBACK: 30'
 PROVIDED:
 LOT 139: 208.8'
 LOT 140: 167.4'
 MAX. BUILDING COVERAGE: 25%
 PROVIDED:
 LOT 139: 8.2%
 LOT 140: 6.1%
 MAX. IMPERVIOUS COVERAGE: 50%
 PROVIDED:
 LOT 139: 14.6%±
 LOT 140: 13.6%±



DANIEL J. MERRIKIN
 CIVIL ENGINEER
 No. 43309
 REGISTERED PROFESSIONAL ENGINEER

Digitally signed by Daniel J. Merrikin, P.E.
 Date: 2017.04.23 14:28:10 -0400'



GENERAL NOTES:

- EXISTING UTILITY INFORMATION IS APPROXIMATE ONLY AND BASED ON VISIBLE SURFACE FEATURES AND AVAILABLE RECORD PLANS. CONTRACTOR SHALL VERIFY ALL UTILITY CONDITIONS.
- CONTRACTOR SHALL CONTACT DIGSAFE PRIOR TO ANY EXCAVATION ACTIVITY.
- ARCHITECT SHALL VERIFY BUILDING HEIGHT REQUIREMENTS OF THE ZONING BYLAW.
- WETLANDS BASED ON O.R.A.D. DATED DEC. 1, 2014.

GRADING NOTES:

- MERRIKIN ENGINEERING RECOMMENDS THE USE OF FOUNDATION DRAINS.
- ROOF RUNOFF SYSTEM SHALL BE INSPECTED BY THE TOWN ENGINEER AND DESIGN ENGINEER AT ROUGH EXCAVATION AND PRIOR TO BACKFILL. CONTRACTOR TO COORDINATE INSPECTIONS.
- SEWER SERVICE TO BE SDR35.
- WATER SERVICE TO BE TYPE K COPPER.
- IF REQUIRED BY THE PLANNING BOARD PERMIT, PROVIDE CERTIFICATION SHOWING IMPORTED MATERIAL MEETS HAZARDOUS WASTE REQUIREMENTS IN § 7.1.5 OF THE ZONING BYLAW.

CONSERVATION NOTES:

- EROSION CONTROLS AND THE CONSTRUCTION ENTRANCE SHALL BE INSTALLED PRIOR TO ANY SITE EXCAVATION OR CLEARING AND SHALL BE MAINTAINED IN GOOD CONDITION UNTIL THE SITE IS FULLY STABILIZED.
- ROADWAY SHALL BE MONITORED BY THE CONTRACTOR FOR SEDIMENTATION AND DAMAGE FROM TRUCK OPERATIONS. PROVIDE CORRECTIVE MEASURES AS NEEDED.

STONE WALL NOTES:

- STONE WALL RETURNS SHALL BE CONSTRUCTED ON EITHER SIDE OF EACH ENTRANCE DRIVE.
- RE-USE REMOVED STONES AND SUPPLEMENT AS-NEEDED WITH SIMILAR STONE.
- WALLS MAY BE DRY-LAID OR MAY HAVE A MORTAR CORE.
- STONE WALLS TO HAVE TWO FINISHED FACES AND SHALL EXTEND AT LEAST 30 INCHES ABOVE ADJACENT GRADE.

OWNER/APPLICANT:
 SORA REALTY, LLC
 15 LONGMEADOW DRIVE
 WESTWOOD, MA 02090

ASSESSORS REFERENCE:
 PORTION OF ASSESSORS PARCEL
 03-020

ZONING DISTRICTS:
 SINGLE RESIDENCE C

PLAN & DEED REFERENCES:

- DEED: LC DOC #1308716
- CERTIFICATE: #188903
- LAND COURT PLAN #30612

LEGEND & ABBREVIATIONS

- CB: CATCH BASIN
- STC: STORMCEPTOR TREATMENT UNIT
- DMH: DRAIN MANHOLE
- TR: DR: TRENCH DRAIN
- INFIL TR: INFILTRATION TRENCH
- X" D: DRAIN PIPELINE
- RCP: REINFORCED CONCRETE PIPE
- PVC: POLYVINYL CHLORIDE PIPE
- SMH: SEWER MANHOLE
- X" S: SEWER PIPELINE
- C.C.S.: SEWER SERVICE CLEANOUT
- X" W: WATER MAIN
- HYD: HYDRANT
- W.G.V.: WATER GATE VALVE
- 9 C.S.: WATER SERVICE CURB STOP
- G: GAS PIPELINE
- L.P.: LIGHT POLE
- U.P.: UTILITY POLE
- ★ S.P.: TRAFFIC SIGNAL POLE
- 252: EXISTING CONTOUR
- 252: PROPOSED CONTOUR
- E.O.P: EDGE OF PAVEMENT
- C.C.B: CAPE COD BITUMINOUS BERM
- V.B.B: VERTICAL BITUMINOUS BERM
- S.G.C: SLOPED GRANITE CURB
- V.G.C: VERTICAL GRANITE CURB
- V.C.C: VERTICAL CONCRETE CURB
- E.C.S: EDGE CONCRETE SLAB
- G.V: GATE VALVE
- C.L.F: CHAIN LINK FENCE

PLAN DATE: FEBRUARY 1, 2017

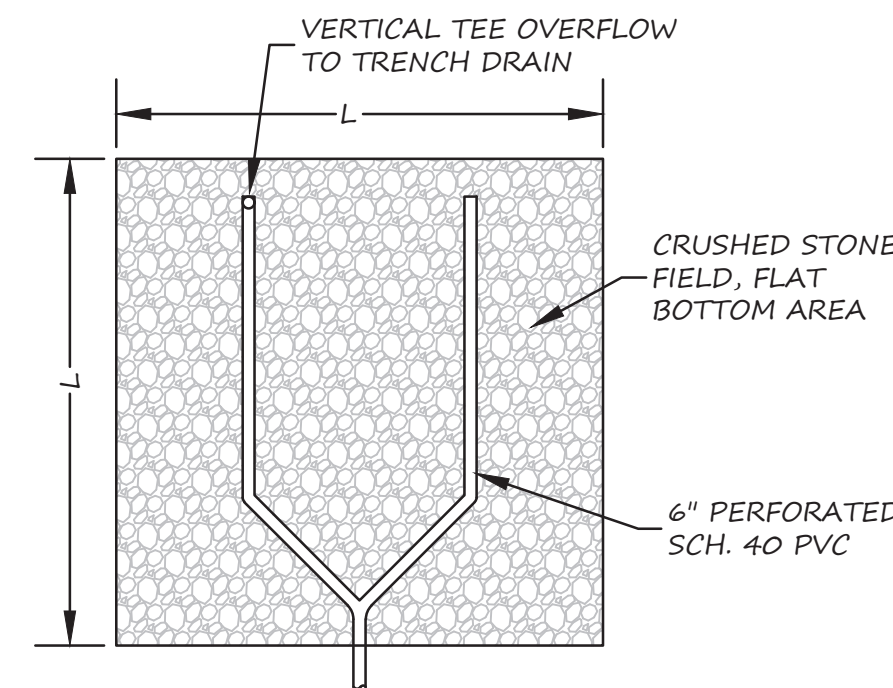
REVISION	DATE	BY
REVISIONS PER WESTWOOD PLANNING BOARD	2/23/2017	DJM
REVISIONS PER CONSERVATION COMMISSION	3/31/2017	DJM
SCENIC ROAD MODIFICATIONS	4/25/2017	DJM

LOTS 139 & 140
 SUMMER STREET
 SITE PLAN
 OF LAND IN
 WESTWOOD, MA

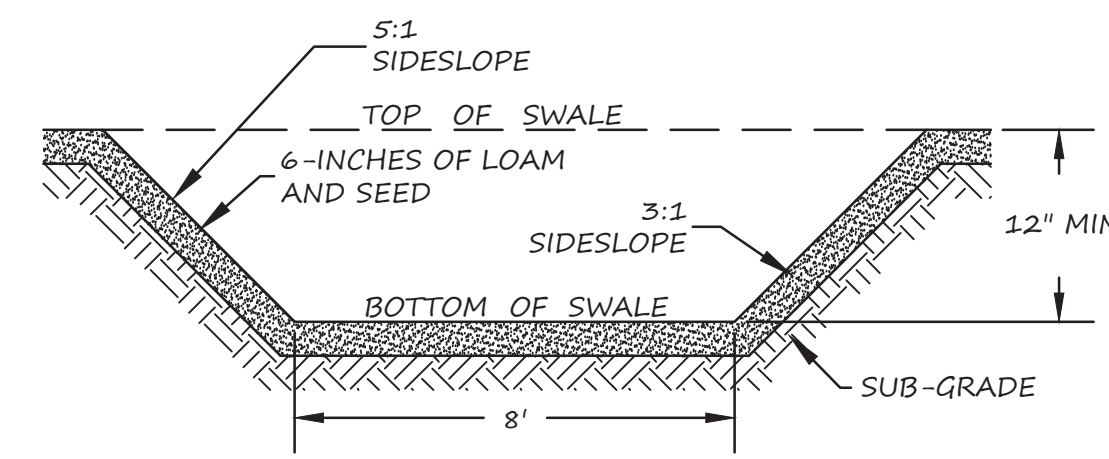


MERRIKIN ENGINEERING, LLP
 730 MAIN STREET, SUITE 2C
 MILLIS, MA 02054
 Phone: 508-376-8883

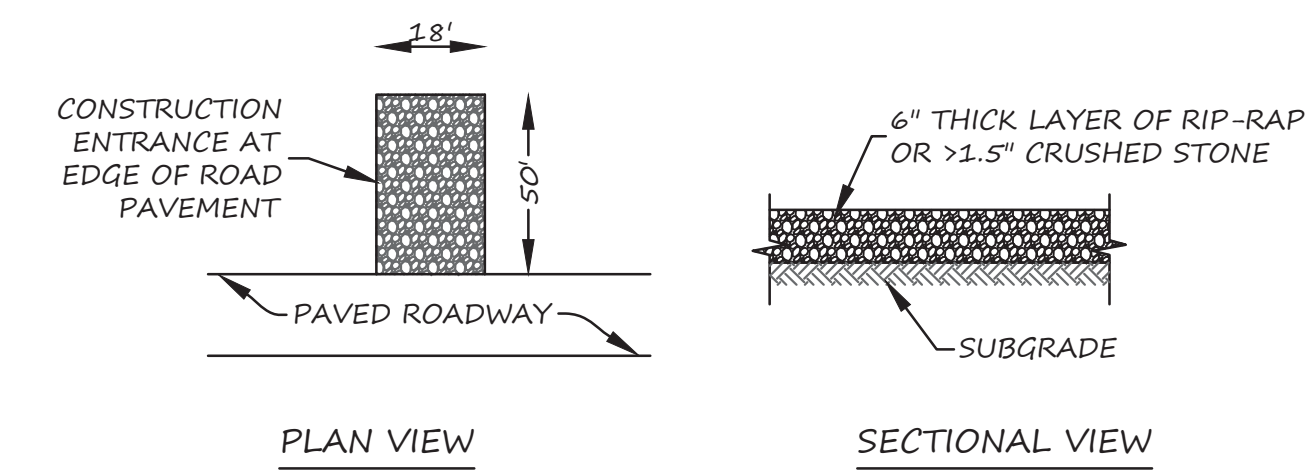
DESIGN NOTES:
 1. THE COLLECTIVE UNDERGROUND INFILTRATION SYSTEMS FOR EACH LOT HAVE BEEN DESIGNED TO HOLD A RAW VOLUME EQUAL TO 2-INCHES OF RUNOFF FROM THE ENTIRE ROOF AND DRIVEWAY AREAS.
 2. THE COMPLETED ROOF RUNOFF COLLECTION SYSTEM MUST COLLECT RUNOFF FROM THE ENTIRE ROOF AREA OF THE PROPOSED HOUSE VIA SCHEDULE 40 PVC OR HDPE PIPES CONNECTED TO ALL DOWNSPOUTS AND DISCHARGING INTO THE UNDERGROUND INFILTRATION SYSTEMS SPECIFIED ON THIS PLAN.



TYPICAL PLAN VIEW

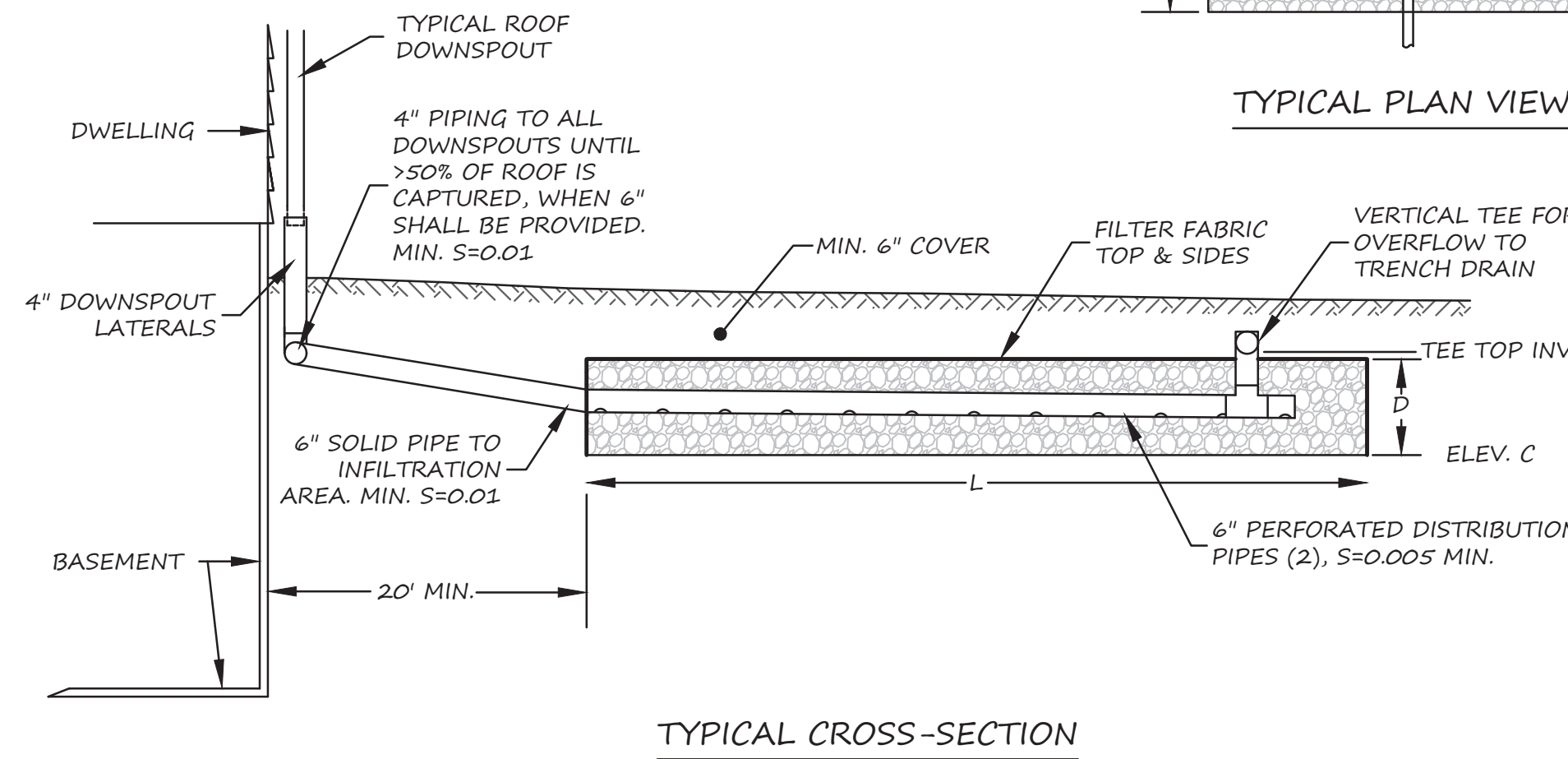


GRASS SWALE DETAIL
NOT TO SCALE



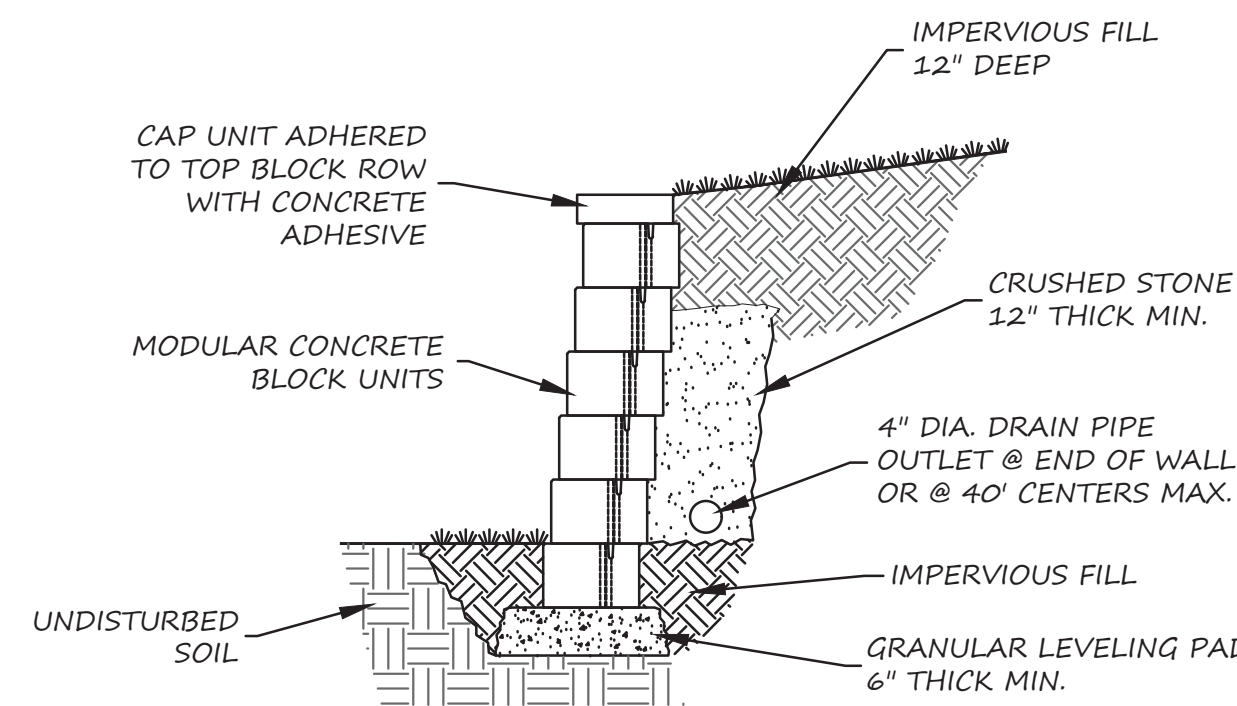
NOTES:
 1. ENTRANCE SHALL BE INSTALLED BEFORE ANY EXCAVATION WORK OCCURS ON-SITE.
 2. ENTRANCE SHALL BE MAINTAINED IN GOOD CONDITION UNTIL A PAVED DRIVEWAY IS INSTALLED. REPLACE ENTRANCE IF FILLED WITH SOILS OR IF SOILS ARE BEING TRACKED ONTO ADJACENT ROADWAYS.

CONSTRUCTION ENTRANCE DETAIL
NOT TO SCALE



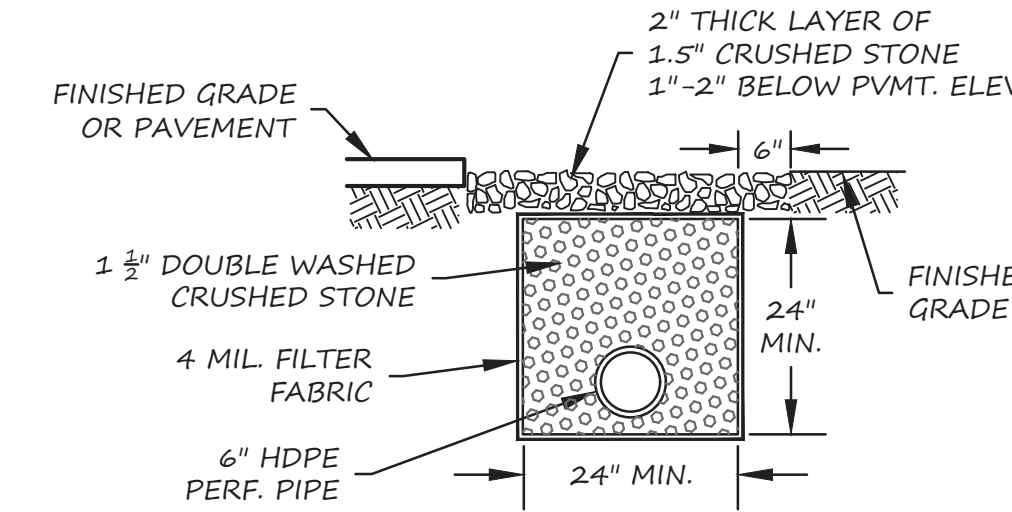
TYPICAL CROSS-SECTION

UNDERGROUND INFILTRATION SYSTEM DETAIL
NOT TO SCALE

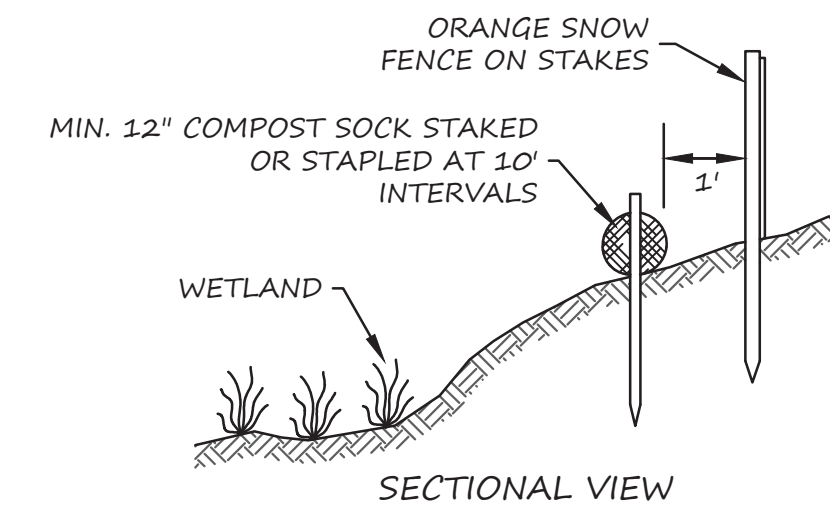


NOTES:
 1. SMALL BLOCK UNITS SHALL BE THE SQUARE FOOT PRODUCT BY VERSA-LOK OR APPROVED EQUAL. WALL HEIGHT WITHOUT REINFORCEMENT SHALL BE LIMITED TO 3.5' EXPOSED FACE.
 2. INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS.

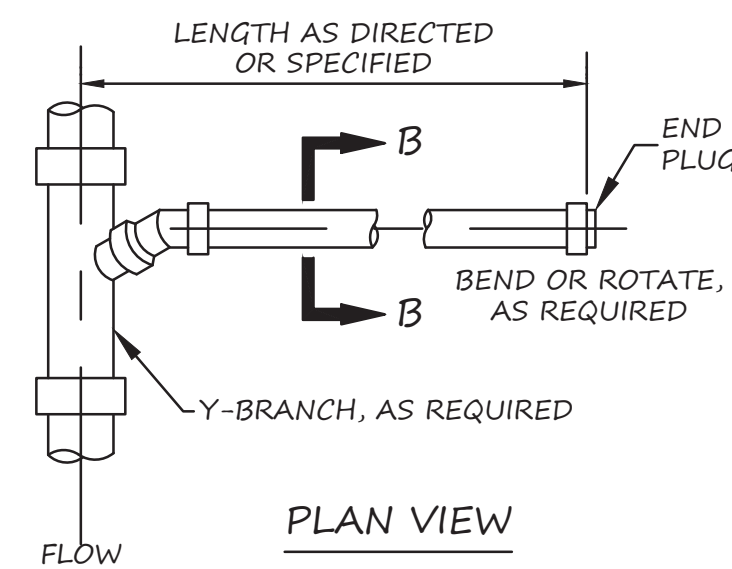
TYPICAL "SMALL BLOCK" RETAINING WALL
NOT TO SCALE



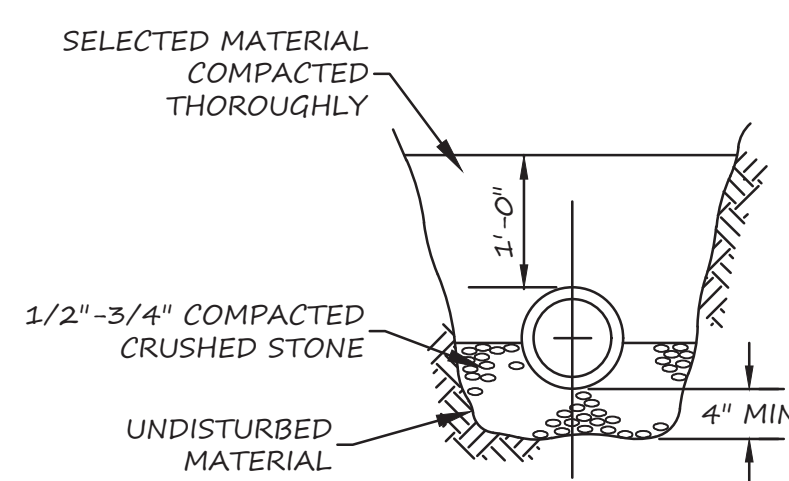
END SECTION VIEW
FRENCH DRAIN
NOT TO SCALE



EROSION CONTROL DETAIL (COMPOST SOCK)
NOT TO SCALE

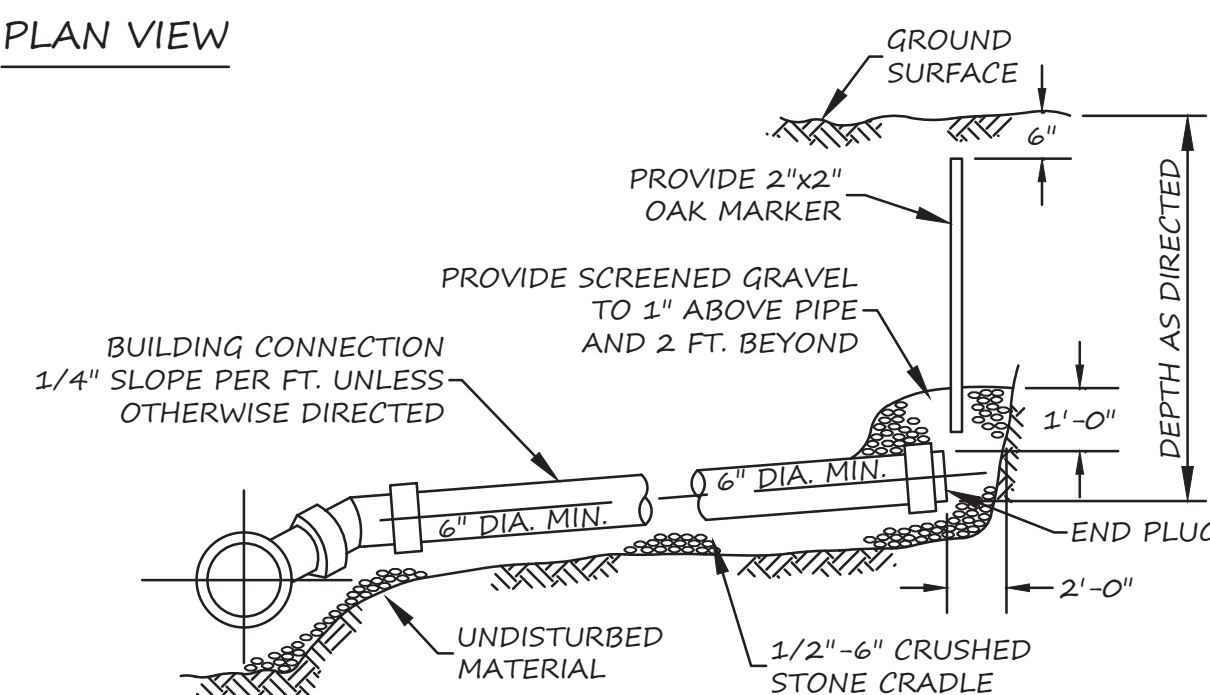


PLAN VIEW

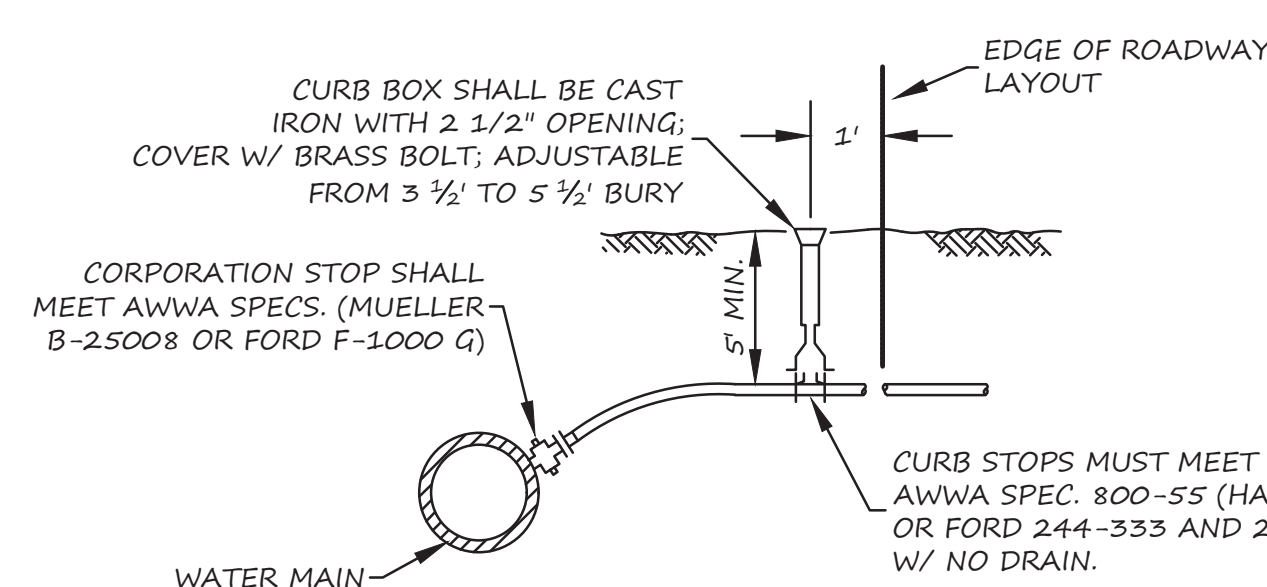


SECTION B-B

TYPICAL BUILDING SEWER SERVICE CONNECTION
NOT TO SCALE

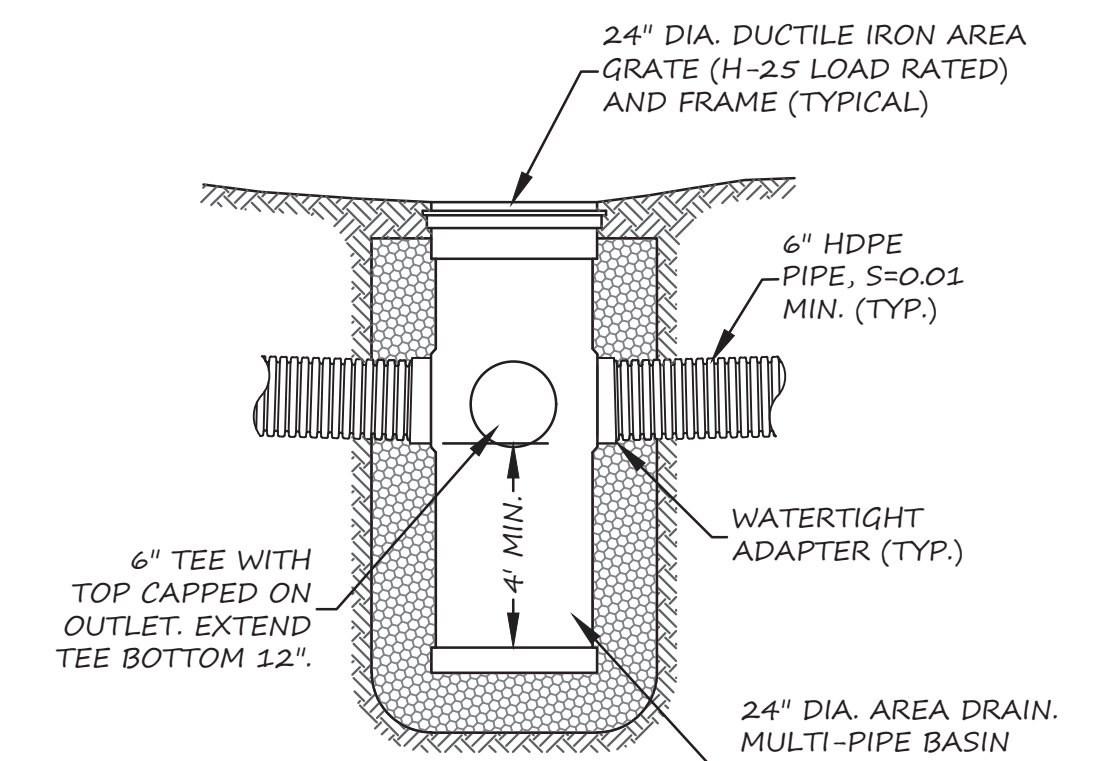


SECTION



NOTES:
 1. COPPER TUBING SHALL MEET AWWA SPEC. 76-CR TYPE K OR FEDERAL SPEC. WWT-799 TYPE K.
 2. 1 1/2-INCH AND LARGER SERVICES SHALL BE INSTALLED WITH A SADDLE.

TYPICAL WATER SERVICE CONNECTION
NOT TO SCALE



AREA DRAIN (A.D.) DETAIL
NOT TO SCALE

OWNER/APPLICANT:
 SORA REALTY, LLC
 15 LONGMEADOW DRIVE
 WESTWOOD, MA 02090

ASSESSORS REFERENCE:
 PORTION OF ASSESSORS PARCEL
 03-020

ZONING DISTRICTS:
 SINGLE RESIDENCE C

PLAN & DEED REFERENCES:

- DEED: LC DOC #1308716
- CERTIFICATE: #188903
- LAND COURT PLAN #30612



Digitally signed by Daniel J. Merrikin, P.E.
 Date: 2017.04.23 14:27:48 -04'00'



PLAN SCALE: 1" = 20'

REVISION	DATE	BY
REVISIONS PER WESTWOOD PLANNING BOARD	2/23/2017	DJM
REVISIONS PER CONSERVATION COMMISSION	3/31/2017	DJM
SCENIC ROAD MODIFICATIONS	4/25/2017	DJM

PLAN DATE: FEBRUARY 1, 2017

LOTS 139 & 140
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 DETAIL
 SHEET
 WESTWOOD, MA



730 MAIN STREET, SUITE 2C
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 Phone: 508-376-8883