

# Merrickin Engineering, LLP

*Consulting Engineers*

730 MAIN STREET  
SUITE 2C

MILLIS, MA 02054

TELEPHONE (508) 376-8883  
FAX (508) 376-8823

March 24, 2017

Westwood Planning Board  
50 Carby Street  
Westwood, MA 02090

Ref: Lots 139 & 140 – Summer Street  
Scenic Roads Application

Dear Members of the Planning Board:

In accordance with Scenic Roads Rules and Regulations of the Westwood Planning Board, and on behalf of the applicant, SORA Realty, LLC, we are pleased to submit the enclosed Application for Scenic Roads Hearing to allow two driveway openings in a stone wall associated with the construction of two new single family homes at Lot 139 & Lot 140 Summer Street. The applicant proposes to remove two sections to allow the installation of two driveway entrances (one for each lot). Each removed wall section will be 20 feet long.

Please find the following enclosed in support of the application:

- Fifteen copies of the submittal package which includes a fully executed Application Form and a variety of supporting information and attachments;
- Fifteen copies of the Site Plans (11 x17); and
- A check in the amount of \$100.00 payable to the Town of Westwood for the application fee.

Please do not hesitate to contact me if you have any questions or comments.

Sincerely,

MERRIKIN ENGINEERING, LLP

Daniel J. Merrikin P.E.  
Partner

cc: File  
SORA Realty, LLC (by email)

## APPLICATION FOR SCENIC ROADS HEARING

1. Address/Location of Property Subject to Hearing:  
**300 Summer Street (Lots 139 & Lot 140)**
2. Description of Proposed Work Subject to Hearing:  
**Two stone wall openings to accommodate driveways for the proposed single family homes at each lot.**
3. Assessor's Map and Parcel Number(s): **03-020 & 03-025**
4. Size of Parcel: **Lot 139 - 43,197 SF**  
**Lot 140 - 40,626 SF**
5. Name of Applicant:  
**SORA Realty, LLC**
6. Applicant's Mailing Address:  
**15 Longmeadow Drive**  
**Westwood, MA 02090**
7. Applicant's Telephone: (C) **n/a** (W) **781-326-0208**
8. Applicant is: Owner  Tenant Licensee Prospective Purchaser Other
9. Name of Property Owner(s):  
**SORA Realty, LLC**
10. Property Owner's Mailing Address:  
**15 Longmeadow Drive**  
**Westwood, MA 02090**
11. Deed Recorded in:
  - a. County Registry of Deeds, Book \_\_\_\_\_ Page \_\_\_\_\_
  - b. Registry District of the Land Court, Certificate Number **LC DOC 1308716-1, Ctf # 188903**  
Page \_\_\_\_\_ Book \_\_\_\_\_
12. Has any Application ever been filed with the Planning Board regarding this Property?  
No  Yes, When? **Earth Material Movement Special Permit Application, 2/2/2017**
13. Has the Lot been surveyed by a Registered Land Surveyor?  
No  Yes, When? **2016**

*I hereby request a public hearing before the Westwood Planning Board with reference to the above noted Application for Work within a Scenic Road pursuant to M.G.L. Chapter 40, § 15C.*

I consent to pay for the cost of advertising of the hearing will be billed as required by the Zoning Bylaw, which will be billed to me directly as the Applicant by the newspaper at a later date. I also consent to pay for all costs incurred in conjunction with the "Reimbursement for Consultants", in addition to any other fees, expenses and costs in connection with the review and evaluation of this Application for Work within a Scenic Road pursuant to M.G.L. Chapter 40, § 15C.

I hereby certify that the information on this Application is correct, and that the Application complies with all applicable provisions of Statutes, Regulations and Bylaws to the best of my knowledge.

Signed: *Daniel M.* (REPRESENTATIVE)  
 Applicant (or Agent's) Signature

DANIEL METRIKIN ON BEHALF OF DOMENIC BOSIO  
 Printed Name of Applicant SCRA REALTY LLC

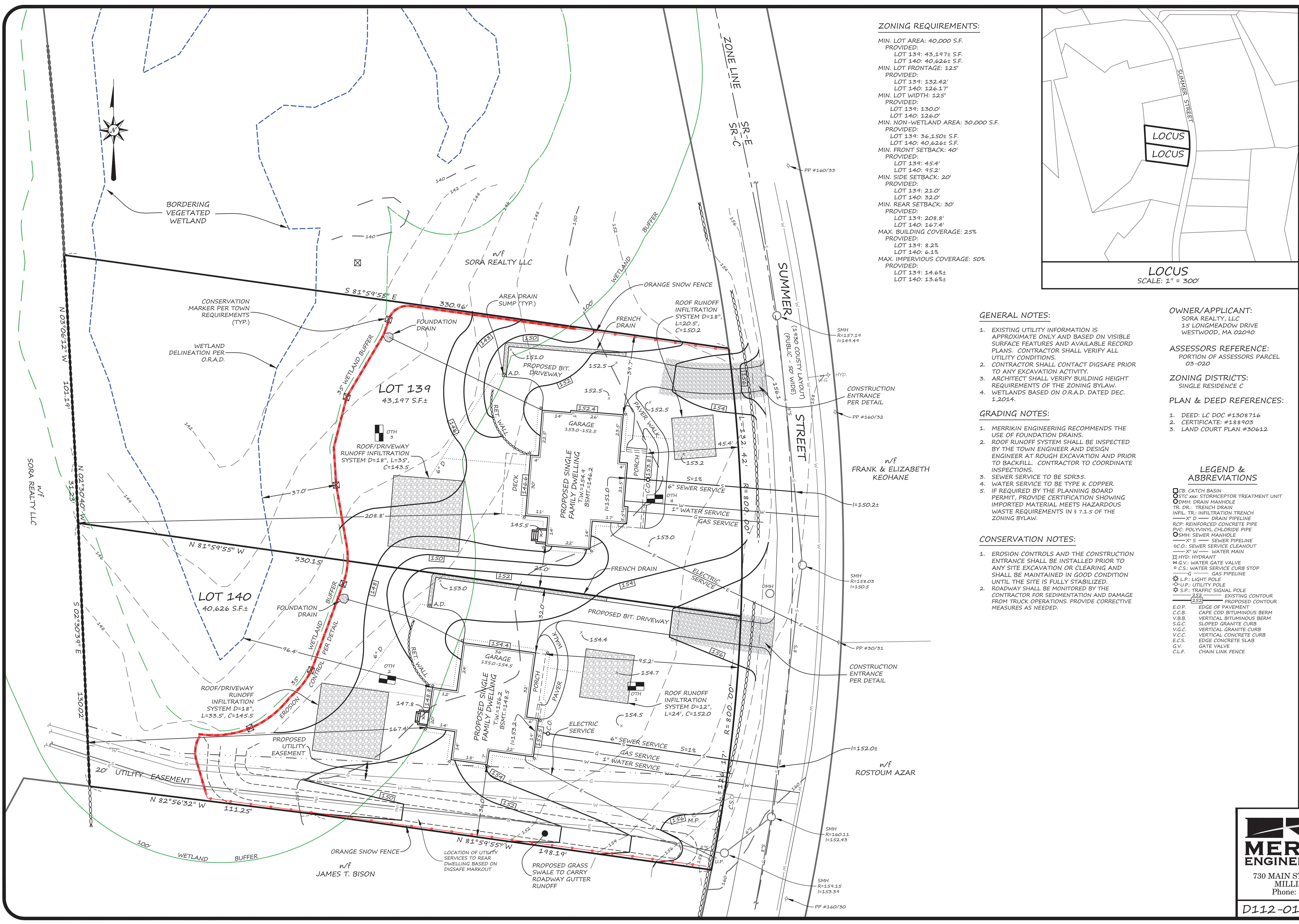
Signed: *Daniel M.* (REPRESENTATIVE)  
 Property Owner(s) of Record Signature(s)

DANIEL METRIKIN ON BEHALF OF DOMENIC BOSIO  
 Printed Name(s) of Property Owner(s) of Record SCRA REALTY LLC

Date: 2017.03.24

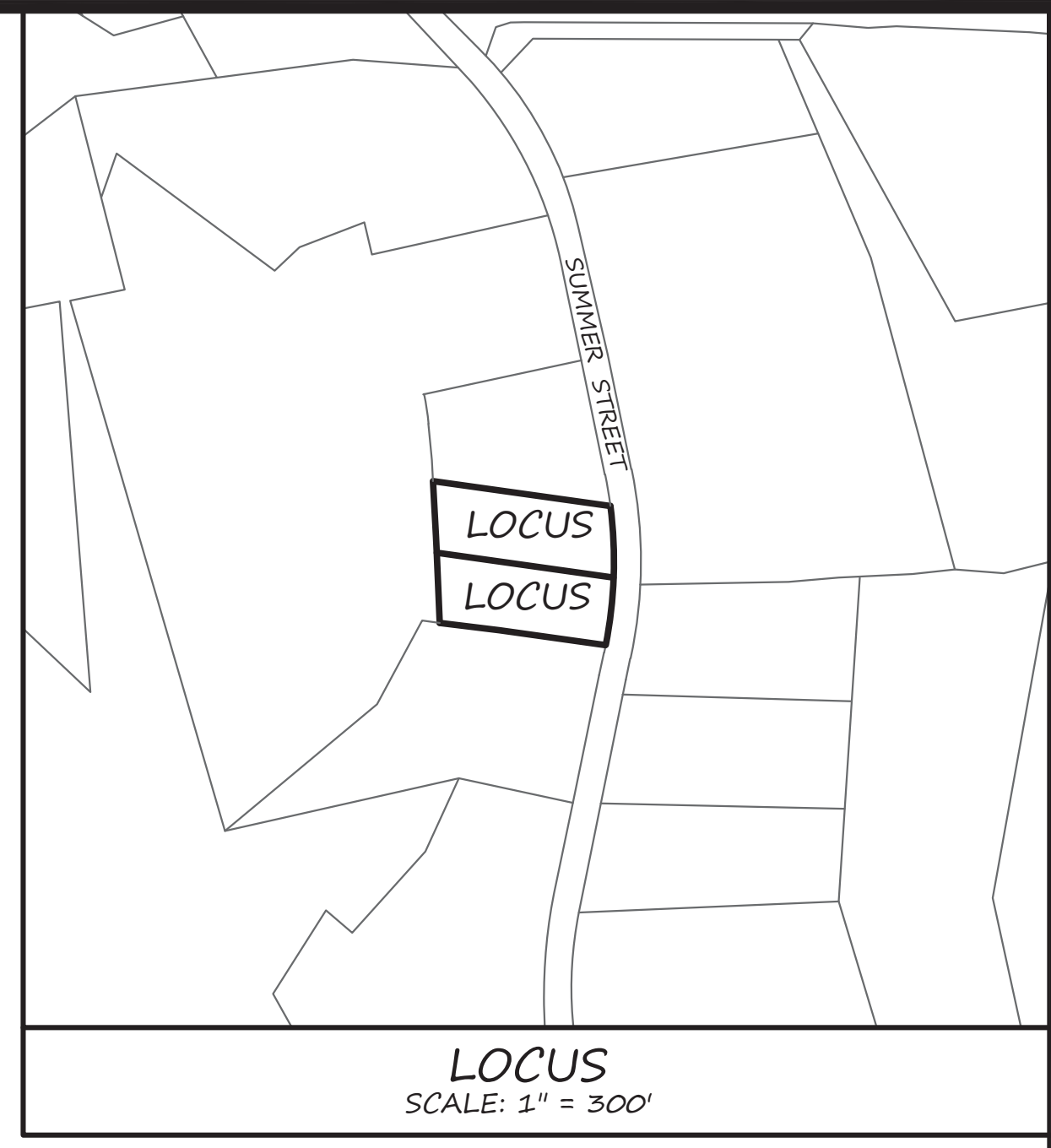
Payments Received:      Application Fee:      \$ 100.00

Project Review Fees:      \$ \_\_\_\_\_  
 (if applicable)

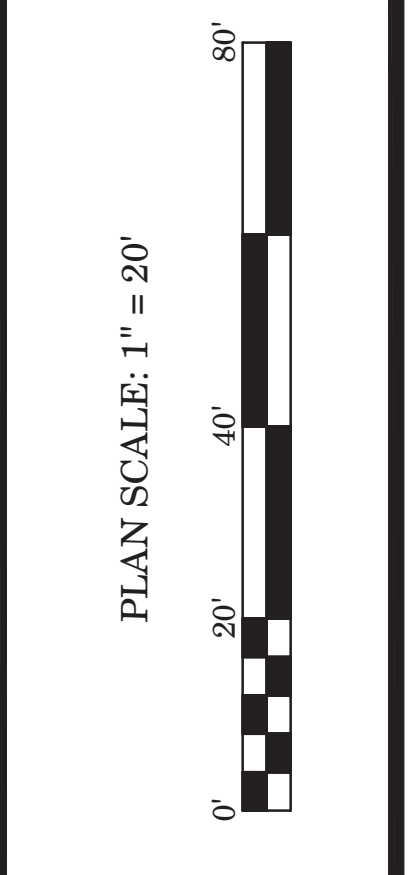


**ZONING REQUIREMENTS:**

MIN. LOT AREA: 40,000 S.F.  
 PROVIDED:  
 LOT 139: 43,197± S.F.  
 LOT 140: 40,626± S.F.  
 MIN. LOT FRONTAGE: 125'  
 PROVIDED:  
 LOT 139: 132.42'  
 LOT 140: 126.17'  
 MIN. LOT WIDTH: 125'  
 PROVIDED:  
 LOT 139: 130.0'  
 LOT 140: 126.0'  
 MIN. NON-WETLAND AREA: 30,000 S.F.  
 PROVIDED:  
 LOT 139: 36,150± S.F.  
 LOT 140: 40,626± S.F.  
 MIN. FRONT SETBACK: 40'  
 PROVIDED:  
 LOT 139: 45.4'  
 LOT 140: 95.2'  
 MIN. SIDE SETBACK: 20'  
 PROVIDED:  
 LOT 139: 21.0'  
 LOT 140: 32.0'  
 MIN. REAR SETBACK: 30'  
 PROVIDED:  
 LOT 139: 208.8'  
 LOT 140: 167.4'  
 MAX. BUILDING COVERAGE: 25%  
 PROVIDED:  
 LOT 139: 8.2%  
 LOT 140: 6.1%  
 MAX. IMPERVIOUS COVERAGE: 50%  
 PROVIDED:  
 LOT 139: 14.6%±  
 LOT 140: 13.6%±



Digitally signed by Daniel J. Merrikin, P.E.  
 Date: 2017.02.23 13:41:13 -05'00'



**GENERAL NOTES:**

- EXISTING UTILITY INFORMATION IS APPROXIMATE ONLY AND BASED ON VISIBLE SURFACE FEATURES AND AVAILABLE RECORD PLANS. CONTRACTOR SHALL VERIFY ALL UTILITY CONDITIONS.
- CONTRACTOR SHALL CONTACT DIGSAFE PRIOR TO ANY EXCAVATION ACTIVITY.
- ARCHITECT SHALL VERIFY BUILDING HEIGHT REQUIREMENTS OF THE ZONING BYLAW.
- WETLANDS BASED ON O.R.A.D. DATED DEC. 1, 2014.

**GRADING NOTES:**

- MERRIKIN ENGINEERING RECOMMENDS THE USE OF FOUNDATION DRAINS.
- ROOF RUNOFF SYSTEM SHALL BE INSPECTED BY THE TOWN ENGINEER AND DESIGN ENGINEER AT ROUGH EXCAVATION AND PRIOR TO BACKFILL. CONTRACTOR TO COORDINATE INSPECTIONS.
- SEWER SERVICE TO BE SDR35.
- WATER SERVICE TO BE TYPE K COPPER.
- IF REQUIRED BY THE PLANNING BOARD PERMIT, PROVIDE CERTIFICATION SHOWING IMPORTED MATERIAL MEETS HAZARDOUS WASTE REQUIREMENTS IN § 7.1.5 OF THE ZONING BYLAW.

**CONSERVATION NOTES:**

- EROSION CONTROLS AND THE CONSTRUCTION ENTRANCE SHALL BE INSTALLED PRIOR TO ANY SITE EXCAVATION OR CLEARING AND SHALL BE MAINTAINED IN GOOD CONDITION UNTIL THE SITE IS FULLY STABILIZED.
- ROADWAY SHALL BE MONITORED BY THE CONTRACTOR FOR SEDIMENTATION AND DAMAGE FROM TRUCK OPERATIONS. PROVIDE CORRECTIVE MEASURES AS NEEDED.

**OWNER/APPLICANT:**

SORA REALTY, LLC  
 15 LONGMEADOW DRIVE  
 WESTWOOD, MA 02090

**ASSESSORS REFERENCE:**

PORTION OF ASSESSORS PARCEL  
 03-020

**ZONING DISTRICTS:**

SINGLE RESIDENCE C

**PLAN & DEED REFERENCES:**

- DEED: LC DOC #1308716
- CERTIFICATE: #188903
- LAND COURT PLAN #30612

**LEGEND & ABBREVIATIONS**

- CB: CATCH BASIN
- STC: STORMCEPTOR TREATMENT UNIT
- DMH: DRAIN MANHOLE
- TR: DR: TRENCH DRAIN
- INFIL TR: INFILTRATION TRENCH
- X" D — DRAIN PIPELINE
- RCP: REINFORCED CONCRETE PIPE
- PVC: POLYVINYL CHLORIDE PIPE
- SMH: SEWER MANHOLE
- X" S — SEWER PIPELINE
- C.O.: SEWER SERVICE CLEANOUT
- X" W — WATER MAIN
- HYD: HYDRANT
- W.G.V.: WATER GATE VALVE
- W.S.C.S.: WATER SERVICE CURB STOP
- G: GAS PIPELINE
- L.P.: LIGHT POLE
- U.P.: UTILITY POLE
- S.P.: TRAFFIC SIGNAL POLE
- 252 — EXISTING CONTOUR
- 252 — PROPOSED CONTOUR
- E.O.P.: EDGE OF PAVEMENT
- C.B.B.: CAPE COD BITUMINOUS BERM
- V.B.B.: VERTICAL BITUMINOUS BERM
- S.G.C.: SLOPED GRANITE CURB
- V.G.C.: VERTICAL GRANITE CURB
- V.C.C.: VERTICAL CONCRETE CURB
- E.C.S.: EDGE CONCRETE SLAB
- G.V.: GATE VALVE
- C.L.F.: CHAIN LINK FENCE

REVISION	DATE	BY	DJM
1	2/23/2017		
REVISIONS PER WESTWOOD PLANNING BOARD			

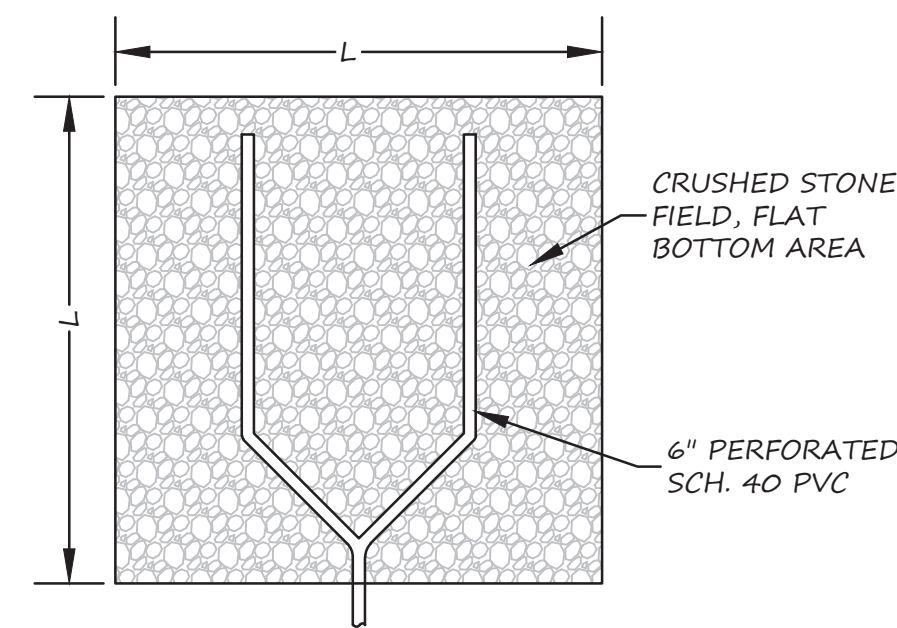
PLAN DATE: FEBRUARY 1, 2017

LOTS 139 & 140  
 SUMMER STREET  
 SITE PLAN  
 OF LAND IN  
 WESTWOOD, MA

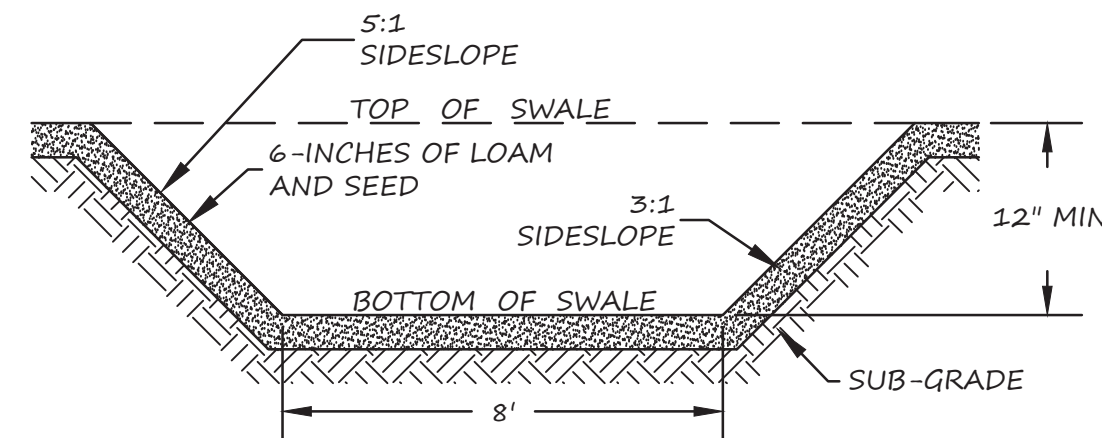


**MERRIKIN ENGINEERING, LLP**  
 730 MAIN STREET, SUITE 2C  
 MILLIS, MA 02054  
 Phone: 508-376-8883

- DESIGN NOTES:
1. THE COLLECTIVE UNDERGROUND INFILTRATION SYSTEMS FOR EACH LOT HAVE BEEN DESIGNED TO HOLD A RAW VOLUME EQUAL TO 2-INCHES OF RUNOFF FROM THE ENTIRE ROOF AND DRIVEWAY AREAS.
  2. THE COMPLETED ROOF RUNOFF COLLECTION SYSTEM MUST COLLECT RUNOFF FROM THE ENTIRE ROOF AREA OF THE PROPOSED HOUSE VIA SCHEDULE 40 PVC OR HDPE PIPES CONNECTED TO ALL DOWNSPOUTS AND DISCHARGING INTO THE UNDERGROUND INFILTRATION SYSTEMS SPECIFIED ON THIS PLAN.

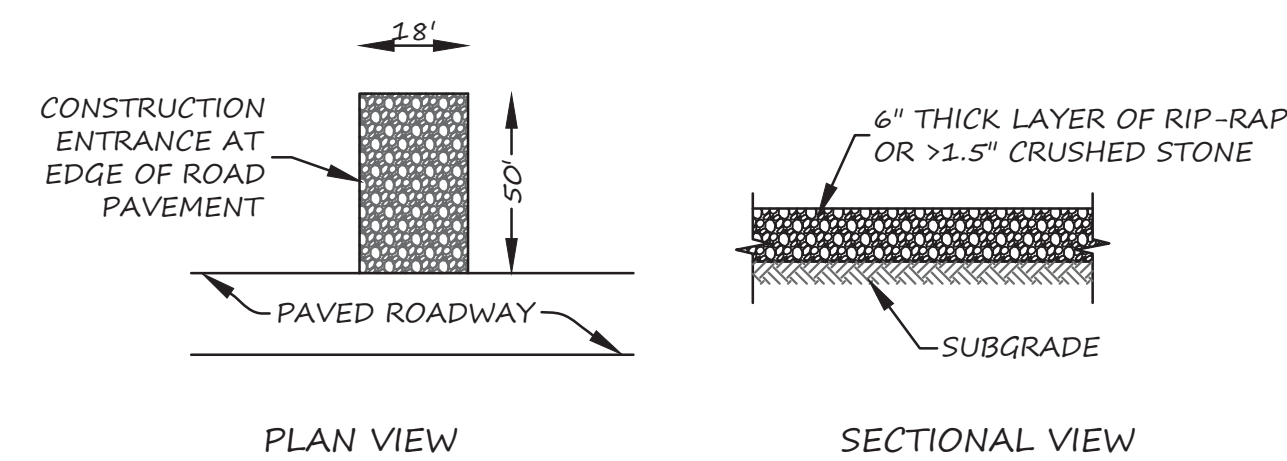


TYPICAL PLAN VIEW



GRASS SWALE DETAIL

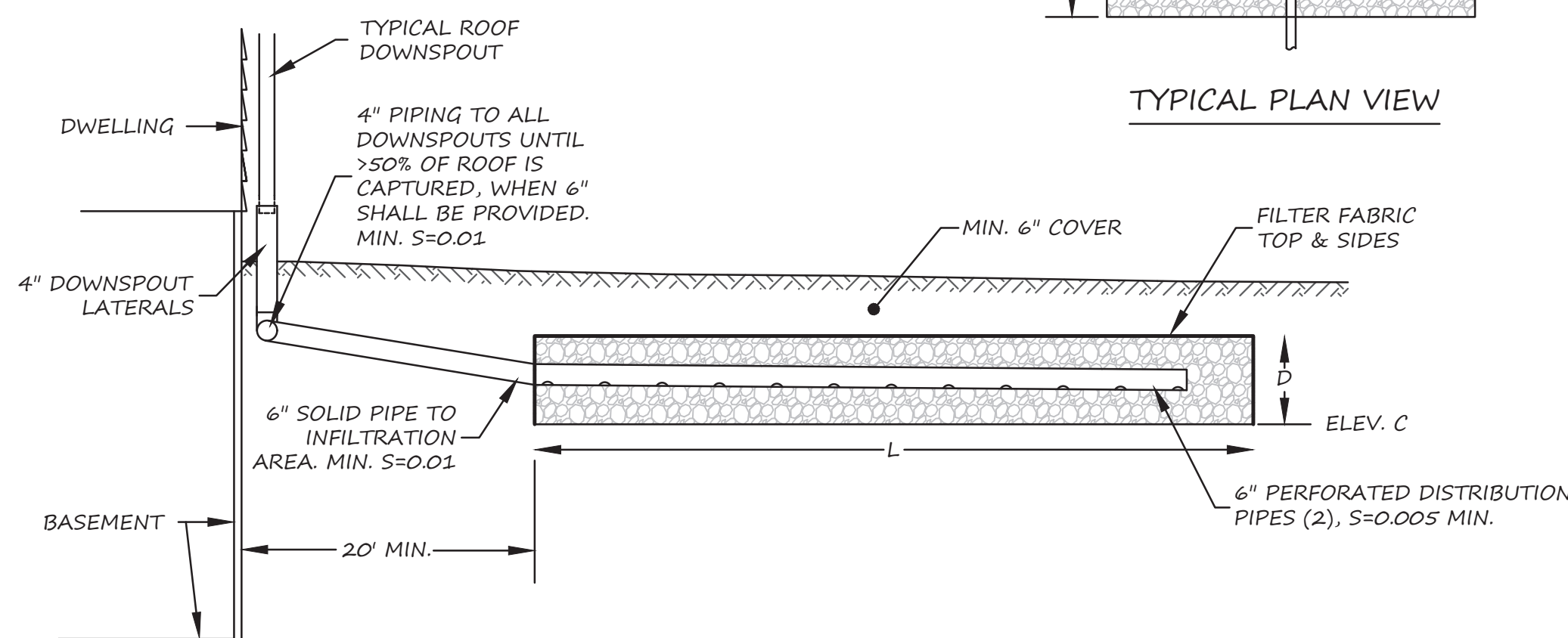
NOT TO SCALE



- NOTES:
1. ENTRANCE SHALL BE INSTALLED BEFORE ANY EXCAVATION WORK OCCURS ON-SITE.
  2. ENTRANCE SHALL BE MAINTAINED IN GOOD CONDITION UNTIL A PAVED DRIVEWAY IS INSTALLED. REPLACE ENTRANCE IF FILLED WITH SOILS OR IF SOILS ARE BEING TRACKED ONTO ADJACENT ROADWAYS.

CONSTRUCTION ENTRANCE DETAIL

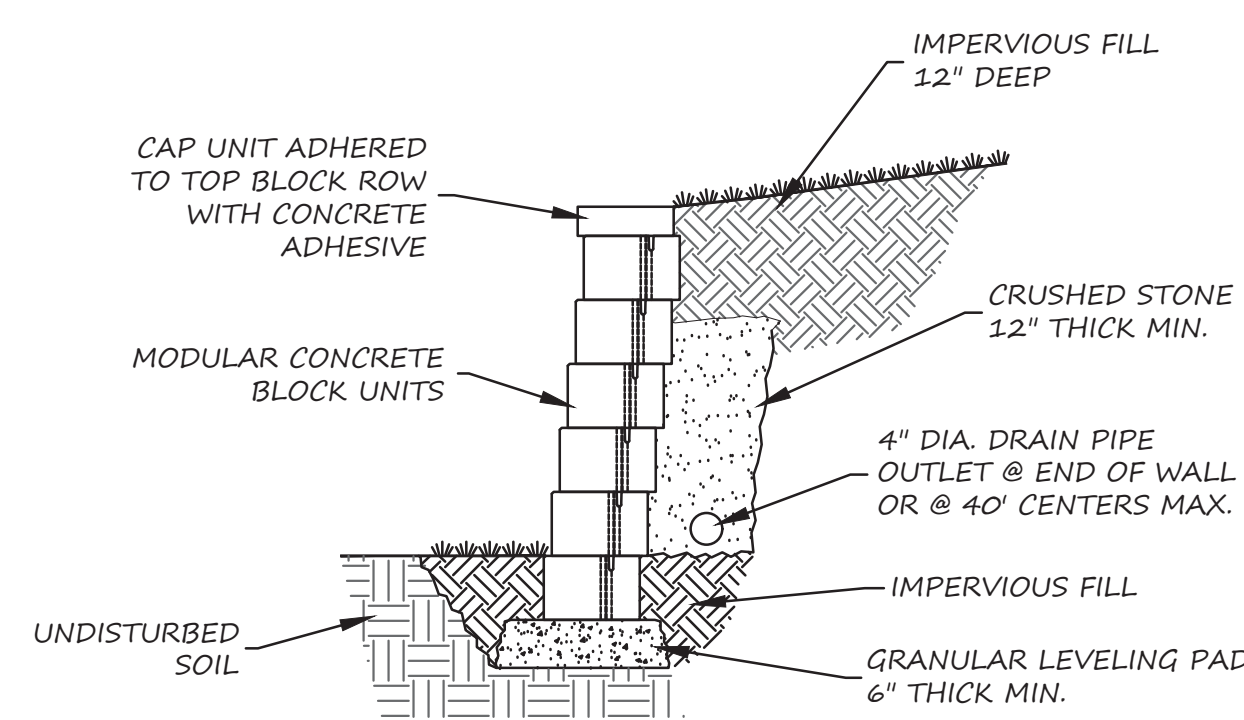
NOT TO SCALE



TYPICAL CROSS-SECTION

UNDERGROUND INFILTRATION SYSTEM DETAIL

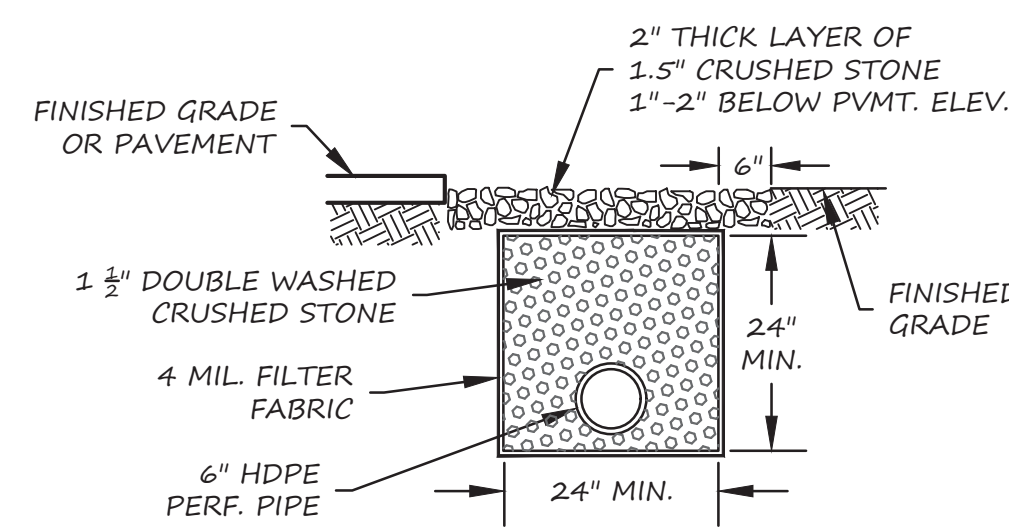
NOT TO SCALE



- NOTES:
1. SMALL BLOCK UNITS SHALL BE THE SQUARE FOOT PRODUCT BY VERSA-LOK OR APPROVED EQUAL. WALL HEIGHT WITHOUT REINFORCEMENT SHALL BE LIMITED TO 3.5' EXPOSED FACE.
  2. INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS.

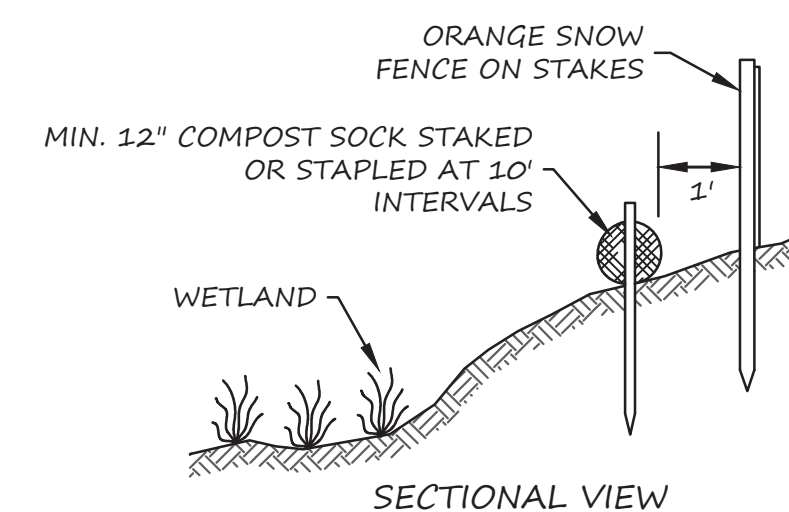
TYPICAL "SMALL BLOCK" RETAINING WALL

NOT TO SCALE



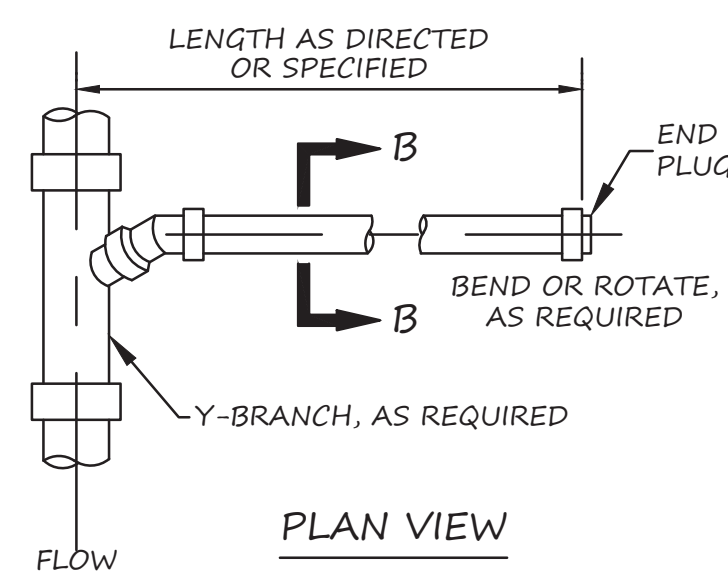
END SECTION VIEW  
FRENCH DRAIN

NOT TO SCALE

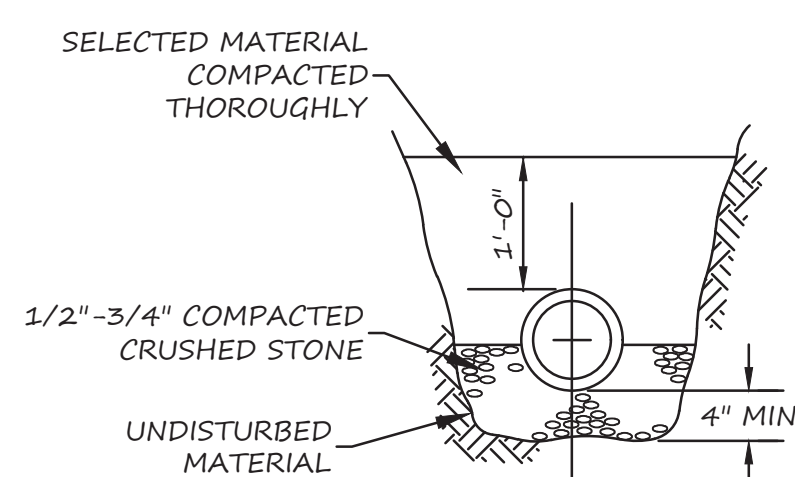


EROSION CONTROL  
DETAIL (COMPOST SOCK)

NOT TO SCALE



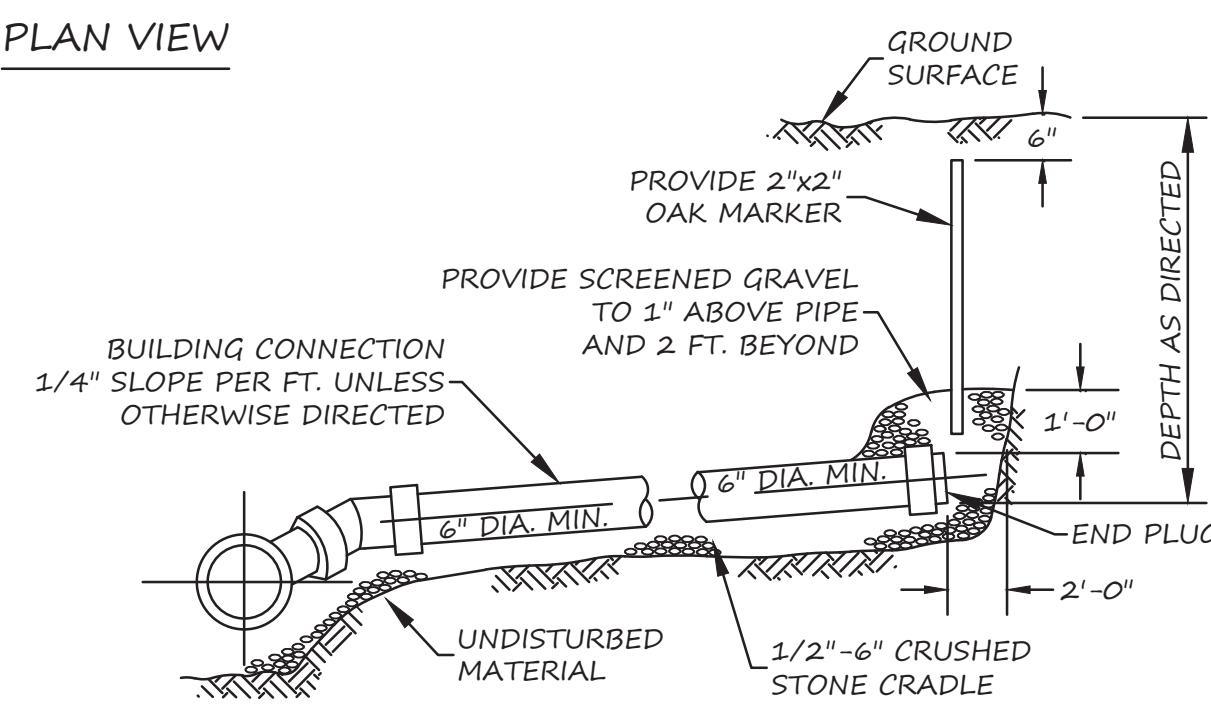
PLAN VIEW



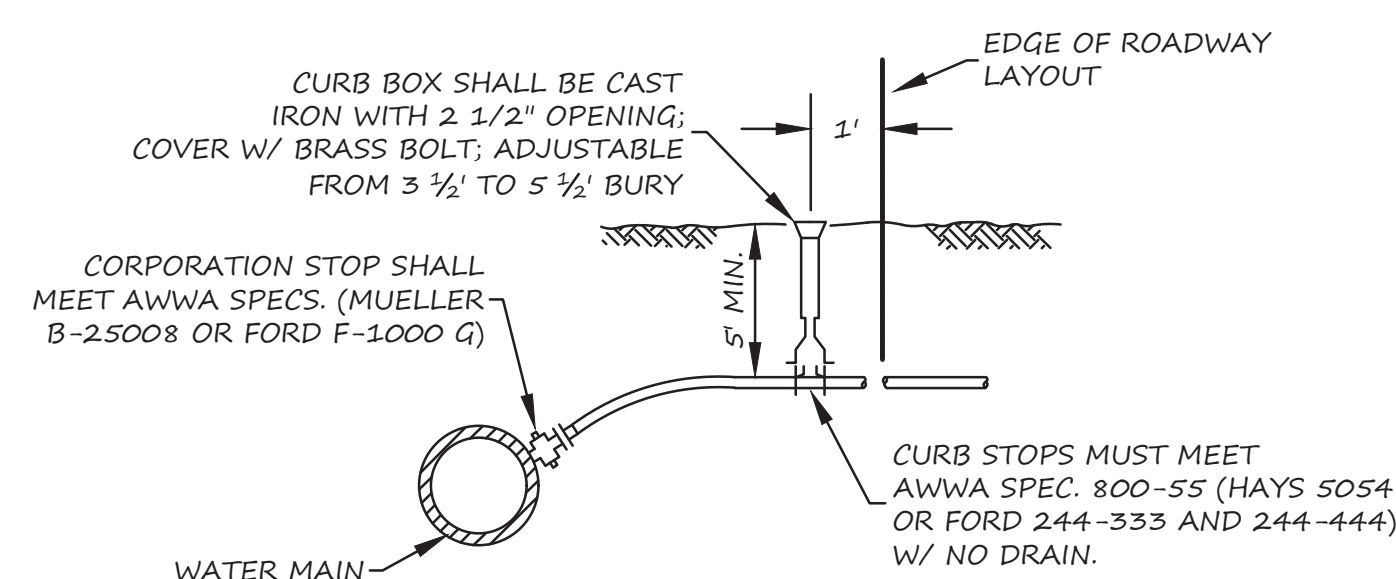
SECTION B-B

TYPICAL BUILDING SEWER SERVICE CONNECTION

NOT TO SCALE



SECTION

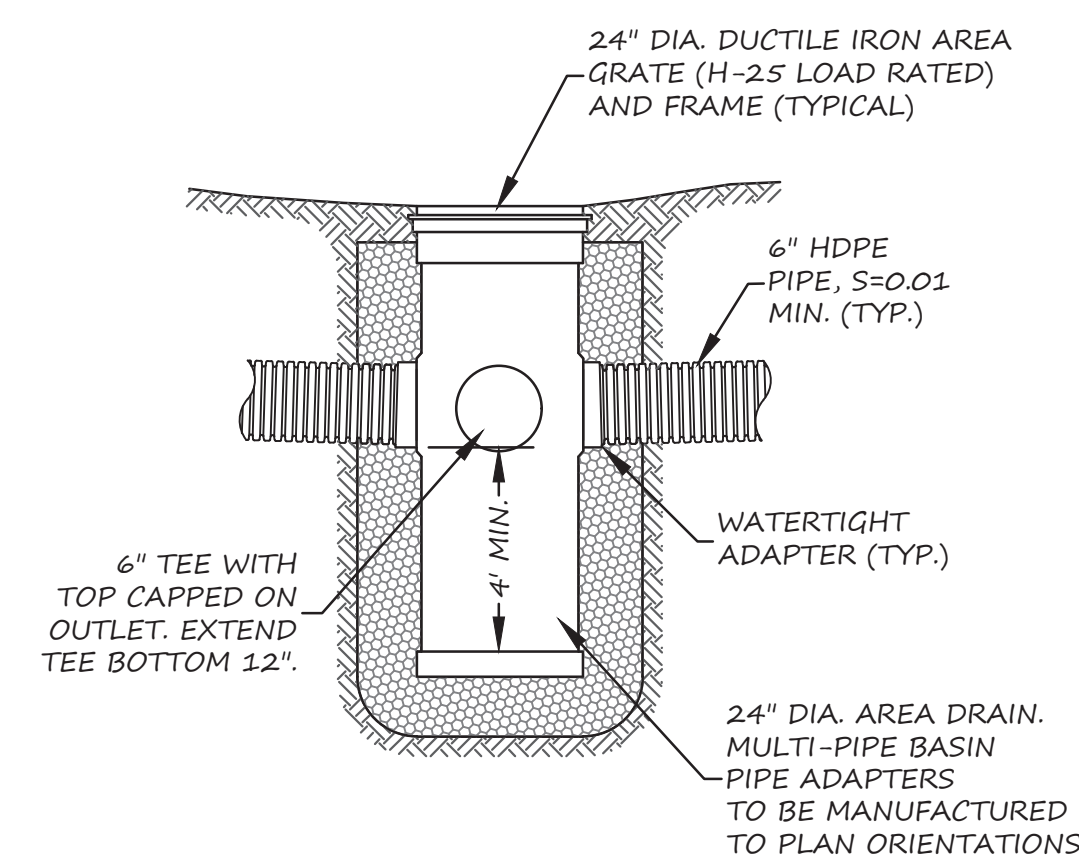


NOTES:

1. COPPER TUBING SHALL MEET AWWA SPEC. 76-CR TYPE K OR FEDERAL SPEC. WWT-799 TYPE K.
2. 1 1/2-INCH AND LARGER SERVICES SHALL BE INSTALLED WITH A SADDLE.

TYPICAL WATER SERVICE CONNECTION

NOT TO SCALE



AREA DRAIN (A.D.) DETAIL

NOT TO SCALE

OWNER/APPLICANT:  
SORA REALTY, LLC  
15 LONGMEADOW DRIVE  
WESTWOOD, MA 02090

ASSESSORS REFERENCE:  
PORTION OF ASSESSORS PARCEL  
03-020

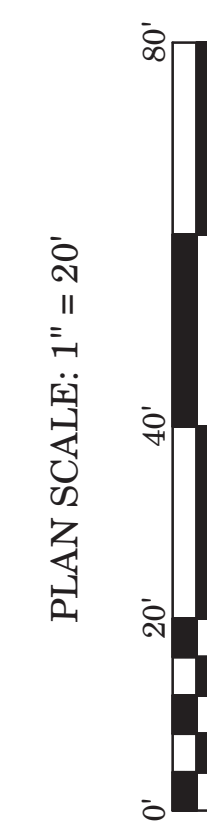
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Date: 2017.02.23 13:41:35 -05'00'



REVISION	DATE	BY
REVISIONS PER WESTWOOD PLANNING BOARD	2/23/2017	DJM

PLAN DATE: FEBRUARY 1, 2017

LOTS 139 & 140  
SUMMER STREET  
DETAIL  
SHEET  
WESTWOOD, MA



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