

ISLINGTON VILLAGE SITE PLANS

WASHINGTON, EAST AND SCHOOL STREETS

WESTWOOD, MASSACHUSETTS

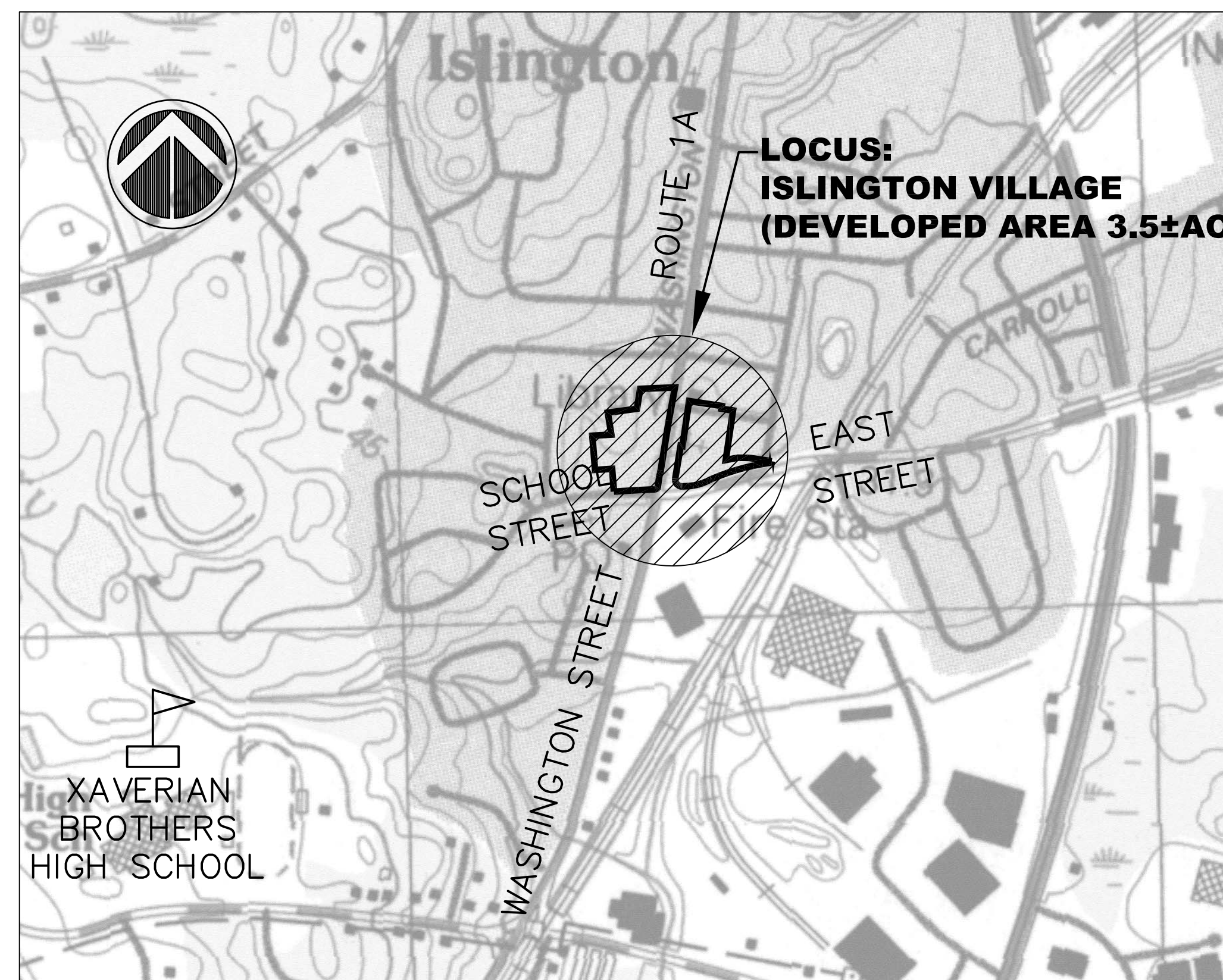
DECEMBER 12, 2017

APPLICANT

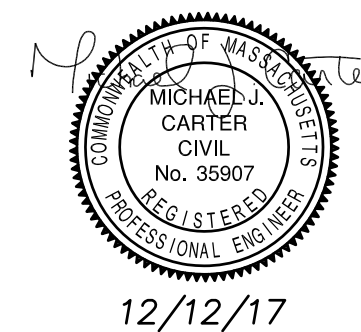
SUPREME DEVELOPMENT
 c/o GIORGIO PETRUZZIELLO
 21 EASTBROOK ROAD
 DEDHAM, MA 02026

CIVIL ENGINEER

GCG ASSOCIATES, INC.
 84 MAIN STREET
 WILMINGTON, MA 01887



LOCUS PLAN
 SCALE : 1"=500'±



INDEX TO DRAWINGS

SHEET NO.	DESCRIPTION
1	COVER
2	NOTES & LEGEND
3	PROPERTY KEY PLAN
4	EXISTING CONDITIONS SITE PLAN – SCHOOL STREET SIDE
5	EXISTING CONDITIONS SITE PLAN – EAST STREET SIDE
6	PROPOSED SITE PLAN – SCHOOL STREET SIDE
7	PROPOSED SITE PLAN – EAST STREET SIDE
8	LANDSCAPE & LIGHTING PLAN – SCHOOL STREET SIDE
9	LANDSCAPE & LIGHTING PLAN – EAST STREET SIDE
10	DETAIL SHEET I
11	DETAIL SHEET II
12	DETAIL SHEET III
13	DETAIL SHEET IV
14	DETAIL SHEET V
15	DETAIL SHEET VI

GENERAL NOTES

- PLANS AND TOPOGRAPHIC INFORMATION ARE PREPARED FROM A GROUND SURVEY PERFORMED BY GCG ASSOCIATES, INC., OCTOBER & NOVEMBER 2017.
- ELEVATIONS REFER TO NAVD 88. LOCATIONS SHOWN REFERENCE MASSACHUSETTS STATE PLANE COORDINATE SYSTEM NAD MA83 MAINLAND.
- THE LOCUS PROPERTIES ARE NOT IN A FLOOD PLAIN AS SHOWN ON MAPS 25021C0177E AND 25021C0181E, EFFECTIVE DATE JULY 17, 2012.
- WETLAND DELINEATED BY WETLANDS & LAND MANAGEMENT INC. AND LOCATED BY GCG ASSOCIATES.
- BUILDING LOCATIONS AS SHOWN ON ADJACENT PROPERTIES, ARE APPROXIMATE AND FOR REFERENCE PURPOSES ONLY.
- CONSTRUCTION PERFORMED DURING THIS PROJECT SHALL CONFORM TO THE MASSACHUSETTS HIGHWAY DEPARTMENT, STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.
- ALL LOCATIONS OF SUBSURFACE UTILITIES AND STRUCTURES WERE OBTAINED FROM AVAILABLE TOWN AND UTILITY RECORDS. THE SIZE, TYPE AND LOCATION OF UTILITIES SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL PROPERLY LOCATE THE UTILITIES PRIOR TO THE BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN UTILITY INFORMATION BY CONTACTING DIG SAFE (811) A MINIMUM OF 72 HOURS PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL EXCAVATE TEST PITS TO VERIFY UTILITY LINE LOCATIONS AS NECESSARY.
- THE CONTRACTOR SHALL COORDINATE HIS CONSTRUCTION ACTIVITIES NEAR UTILITY LOCATIONS WITH THE RESPECTIVE REPRESENTATIVE.
- THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR DISRUPTION ON EXISTING INDIVIDUAL UTILITY SERVICE CONNECTIONS, INCLUDING WATER, ELECTRICITY, TELEPHONE, GAS AND CABLE TELEVISION RESULTING FROM THE CONTRACTOR'S WORK.
- RELOCATION OF UTILITY POLES AND UNDERGROUND UTILITIES IS THE RESPONSIBILITY OF THE CUSTODIAN OF THE POLE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF POLE RELOCATION.
- THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR DISRUPTION OF EXISTING INDIVIDUAL UTILITY SERVICE CONNECTIONS INCLUDING WATER, ELECTRICITY, TELEPHONE, GAS, AND CABLE TELEVISION RESULTING FROM THE CONTRACTOR'S WORK.
- WATER MAINS ARE ASSUMED TO BE 5 FEET BELOW THE EXISTING GROUND SURFACE. GAS LINES ARE ASSUMED TO BE 3 FEET BELOW THE EXISTING GROUND SURFACE. TELEPHONE LINES AND ELECTRIC CONDUIT ARE ASSUMED TO BE 2 FEET BELOW THE EXISTING GROUND SURFACE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES ON SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIRING AN INDEPENDENT UTILITY MARKING COMPANY TO LOCATE EXISTING UTILITIES ON SITE.
- EXISTING UTILITIES INTERFERING WITH THE WORK SHALL BE RELOCATED AS DIRECTED IN THE FIELD BY THE ENGINEER, UNLESS OTHERWISE INDICATED OR SPECIFIED.
- DAMAGE TO ANY UTILITY WILL BE REPAIRED BY THE CONTRACTOR, AT THE CONTRACTOR'S EXPENSE, IN A TIMELY MANNER SO THAT DISRUPTION OF SERVICE TO ANY UTILITY WILL NOT BE LONGER THAN PRACTICALLY NECESSARY TO REPAIR THE DAMAGE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL STATE OR LOCAL BUILDING PERMITS THAT MAY BE REQUIRED.
- THE CONTRACTOR SHALL PROVIDE THE OWNER WITH A CONSTRUCTION SCHEDULE DELINEATING THE SEQUENCE OF WORK, TRAFFIC MANAGEMENT PLAN AND ESTIMATED TIME OF COMPLETION OF EACH SEGMENT OF WORK, PRIOR TO THE COMMENCEMENT OF WORK.
- THE CONTRACTOR SHALL MAINTAIN CONTINUOUS TRAFFIC FLOW DURING CONSTRUCTION SATISFACTORY TO THE ENGINEER AND THE TOWN OF WESTWOOD.
- NO EQUIPMENT SHALL BE ALLOWED TO BE PARKED ON THE ROAD WHEN NOT IN USE. MATERIALS SHALL NOT BE STOCKPILED ON THE ROAD OR IN TOWN PARKING AREAS.
- ALL CONSTRUCTION SIGNAGE SHALL CONFORM TO THE REQUIREMENTS OF THE STATE OF MASSACHUSETTS DEPARTMENT OF TRANSPORTATION AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- SIDEWALKS, WALKS AND DRIVEWAYS THAT ARE DAMAGED OR REMOVED DURING CONSTRUCTION SHALL BE REPLACED WITH THE SAME TYPE OF MATERIAL ONCE THE WORK IS COMPLETED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREVENTING ANY DEBRIS, SEDIMENT OR SILTY WATER FROM ENTERING ANY DRAINAGE SYSTEM, ETC. DURING ALL PHASES OF CONSTRUCTION. CONTROLS MAY INCLUDE STRAW WATTLES, STRAW BALES, SILT FENCE, SILT SACKS, CRUSHED STONE.
- ALL CONSTRUCTION MATERIAL, DEBRIS, ASPHALT, SOIL, ETC. THAT IS REMOVED FROM THE SITE SHALL BE HANDLED AND DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REGULATIONS.
- DURING CONSTRUCTION THE CONTRACTOR SHALL PROTECT ALL TREES AND ROOTS OF TREES TO REMAIN.
- DURING THE COURSE OF CONSTRUCTION, ANY DAMAGE TO FENCES, GUARD RAILS, PATHS, STAIRS, AND VEGETATION SHALL BE REPAIRED OR REPLACED AND RESTORED TO THE ORIGINAL CONDITION AT NO ADDITIONAL EXPENSE TO THE OWNER.
- ALL CASTINGS, GATE BOXES, HYDRANTS, LIGHT POLES, ETC. DAMAGED DURING RECONSTRUCTION SHALL BE SUPPLIED AND REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE CONTRACT.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES AND PROCEDURES, AND FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH ALL WORK INCLUDED UNDER THIS CONTRACT. THE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR PROVIDING AND MAINTAINING ALL SAFETY BARRIERS, WARNING FLASHERS AND THE LIKE, AS REQUIRED BY THE CONDUCT OF THE WORK FOR THE PROTECTION OF WORKERS AND NON-WORKERS ALIKE. THE CONTRACTOR'S ATTENTION IS DIRECTED TO OSHA REQUIREMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SITE RESTORATION AND CLEAN UP UPON COMPLETION OF THE PROJECT.

UTILITY MARKING AND LOCATION NOTES:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES ON SITE. THE CONTRACTOR SHALL HIRE A PRIVATE MARKING COMPANY TO LOCATE ONSITE UTILITIES. THE COST TO HIRE THE PRIVATE MARKING COMPANY SHALL BE INCLUDED IN THE CONTRACT PRICE.
- BEFORE CONSTRUCTION CONSTRUCTION, ALL UTILITIES, PUBLIC AND PRIVATE MUST BE NOTIFIED (SEE MASSACHUSETTS GENERAL LAWS, CHAPTER 82 SECTION 40.) CALL "DIG SAFE" - 811, OR CUSTOMER SERVICE - 1 (888) 344-7233 HTTP://WWW.DIGSAFE.COM
- UTILITY REFERENCES INCLUDE:
 GAS:
 EVERSOURCE
 ELECTRIC/TELEPHONE/CABLE/FIRE ALARM:
 EVERSOURCE/COMCAST/VERIZON
 SEWER:
 TOWN OF WESTWOOD
 DRAIN:
 TOWN OF WESTWOOD
 WATER:
 DEDHAM WESTWOOD WATER

SUBSURFACE UTILITY LINES, AS SHOWN HEREON, WERE COMPILED ACCORDING TO AVAILABLE RECORD INFORMATION FROM THE REFERENCED UTILITY COMPANIES, THE TOWN OF WESTWOOD. THE LOCATIONS ARE APPROXIMATE ONLY.

- THE CONTRACTOR SHALL ACCURATELY LOCATE THE EXISTING WATER, SEWER, AND ANY ELECTRIC SERVICE PIPES CONNECTED TO EACH BUILDING THAT HAVE NOT PREVIOUSLY BEEN MARKED OUT WITHIN THE LIMITS OF WORK PRIOR TO CONSTRUCTION. THIS WORK SHALL BE INCLUDED IN THE CONTRACT.
- THE CONTRACTOR SHALL EXCAVATE TEST PITS TO VERIFY UTILITY LINE LOCATIONS AS NECESSARY OR AS DIRECTED BY THE ENGINEER. THE CONTRACTOR SHALL PLAN AND PERFORM TEST PIT EXCAVATION WELL IN ADVANCE OF COMMENCING CONSTRUCTION IN THE GENERAL AREA TO ALLOW TIME TO REVIEW ACTUAL CONDITIONS ENCOUNTERED. THIS WORK SHALL BE INCLUDED IN THE LUMP SUM CONTRACT PRICE.
- WATER MAINS ARE ASSUMED TO BE 5 FEET BELOW THE EXISTING GROUND SURFACE. GAS LINES ARE ASSUMED TO BE 3 FEET BELOW THE EXISTING GROUND SURFACE. TELEPHONE LINES AND ELECTRIC CONDUIT ARE ASSUMED TO BE 2 FEET BELOW THE EXISTING GROUND SURFACE.
- EXISTING UTILITIES INTERFERING WITH THE WORK SHALL BE RELOCATED AS DIRECTED IN THE FIELD BY THE ENGINEER, UNLESS OTHERWISE INDICATED OR SPECIFIED.
- DAMAGE TO ANY UTILITY WILL BE REPAIRED BY THE CONTRACTOR, AT THE CONTRACTOR'S EXPENSE, IN A TIMELY MANNER SO THAT DISRUPTION OF SERVICE TO ANY UTILITY WILL NOT BE LONGER THAN PRACTICALLY NECESSARY TO REPAIR THE DAMAGE.

SIDEWALK CONSTRUCTION NOTES:

- RECONSTRUCTION OF SIDEWALKS SHALL BE IN ACCORDANCE WITH THE TYPICAL CROSS SECTION DETAILS.
- HMA PAVEMENT SIDEWALKS SHALL HAVE A MINIMUM 3" DEPTH CONSISTING OF A 1-1/2" BINDER COURSE AND A 1-1/2" SURFACE COURSE.
- CEMENT CONCRETE RAMPS SHALL BE A OF MINIMUM 4" DEEP. CEMENT CONCRETE RAMPS AND DRIVEWAY APRONS SHALL BE A MINIMUM OF 6" DEEP.
- CEMENT CONCRETE SIDEWALK SHALL BE A BROOM FINISH WITH 2" BORDER TO MATCH EXISTING.
- THE CONTRACTOR SHALL COMPACT AND FINE GRADE GRAVEL SUBBASE AS SPECIFIED. ALL SUBBASE MATERIAL SHALL BE COMPACTED TO A MINIMUM 95% OF THE STANDARD PROCTOR DENSITY.
- THE CONTRACTOR SHALL FINE GRADE THE GRAVEL SUBBASE NO MORE THAN 24 HOURS PRIOR TO THE PLACEMENT OF THE BASE COURSE PAVEMENT. ALL GRADING, COMPACTION AND DUST CONTROL ASSOCIATED WITH THE SUBBASE SHALL BE INCLUDED IN THE CONTRACT PRICE.
- SIDEWALKS ADJACENT TO BUILDING ENTRANCES SHALL BE REGRADED TO DIRECT RUNOFF AWAY FROM BUILDING.
- THE COSTS ASSOCIATED WITH THE EXCAVATION AND DISPOSAL OF ADDITIONAL MATERIALS AND SOIL SURPLUS SHALL BE INCLUDED IN THE CONTRACT PRICE. EXCAVATED MATERIALS SHALL BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REGULATIONS.
- ANY STRUCTURES OR GATE BOXES IN SIDEWALKS SHALL BE RESET TO FINISHED GRADE AS PART OF THE CONTRACT.
- WHEN SIDEWALKS MEET ROADWAY OR PARKING PAVEMENT, 12" OF GRAVEL SHALL BE INSTALLED UNDER THE SIDEWALK 3 FEET LATERAL DISTANCE FROM THE EDGE OF ROADWAY.

GENERAL PAVING NOTES:

- THE CONTRACTOR SHALL SAW CUT ALL JOINTS IN THE EXISTING PAVEMENT AREAS WHERE THE PROPOSED PAVEMENT WILL MEET EXISTING PAVEMENT TO REMAIN. ALL JOINTS SHALL PROVIDE A SMOOTH TRANSITION BETWEEN NEW AND OLD PAVEMENTS. IMMEDIATELY AFTER PAVING, ALL NEW JOINTS SHALL BE SANDED AND SEALED.
- THE CONTRACTOR SHALL RESET ALL WATER, SEWER, GAS, ELECTRIC, TELEPHONE AND DRAINAGE FRAMES AND GRATES AND ANY OTHER STRUCTURES, SIGNS, ETC. NECESSARY TO INSTALL THE PROPOSED PAVEMENT TO THE PROPOSED FINISH GRADE ELEVATION. THIS WORK SHALL BE INCLUDED IN THE CONTRACT.
- THE CONTRACTOR SHALL PERFORM WORK REQUIRED TO SUPPORT OR REMOVE AND REPLACE EXISTING STRUCTURES AND UTILITY LINES ADJACENT TO OR WITHIN THE LIMITS OF WORK UNDER THE CONTRACT.
- ALL CASTINGS, GATE BOXES, ETC. DAMAGED DURING RECONSTRUCTION SHALL BE SUPPLIED AND REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE CONTRACT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARY RELOCATION OF DUMPSTERS AS NECESSARY TO COMPLETE THE PROPOSED WORK.
- THE CONTRACTOR SHALL MAINTAIN CONTINUOUS TRAFFIC FLOW DURING CONSTRUCTION AND SHALL MAINTAIN ACCESS TO ALL RESIDENTIAL DRIVEWAYS AND ACCESS WAYS SATISFACTORY TO THE ENGINEER, THE OWNER AND THE TOWN OF WESTWOOD. NO EQUIPMENT SHALL BE ALLOWED TO BE PARKED ON THE DRIVEWAY WHEN NOT IN USE. MATERIALS SHALL NOT BE STOCKPILED ON THE DRIVEWAY.
- ALL NEW PAVEMENT STRIPING SHALL BE 4" WIDE PAINTED LINES TO MATCH EXISTING COLOR ON SITE.

DRIVEWAY AND PARKING AREA RECONSTRUCTION NOTES

- CONTRACTOR SHALL REMOVE & REPLACE EXISTING PAVEMENT AND GRAVEL SUBBASE AS NECESSARY AND SHALL PROVIDE A 12" MINIMUM DEPTH OF COMPACTED GRAVEL SUBBASE AND A 3-1/2" MINIMUM DEPTH OF HMA PAVEMENT.
- THE 3-1/2" MINIMUM DEPTH OF HMA SHALL CONSIST OF A 2" BINDER COURSE AND A 1-1/2" SURFACE COURSE AS SHOWN ON THE TYPICAL DETAIL AND SHALL CONFORM TO THE MASS DOT STANDARD SPECIFICATIONS.
- THE BASE COURSE MATERIAL SHALL CONSIST OF EITHER A MINIMUM OF 12" GRAVEL BORROW M1.03.0 TYPE "B" OR RECLAIMED PAVEMENT BORROW M1.09.0 OR A COMBINATION OF 4" OF DENSE-GRADED CRUSHED STONE M2.01.7 UNDERLAIN BY EITHER 8" OF GRAVEL BORROW M1.03.0 TYPE "B" OR RECLAIMED PAVEMENT BORROW M1.09.0.
- THE CONTRACTOR SHALL COMPACT AND FINE GRADE GRAVEL SUBBASE AS SPECIFIED. ALL SUBBASE MATERIAL SHALL BE COMPACTED TO A MINIMUM 95% OF THE STANDARD PROCTOR DENSITY.
- IN AREAS WHERE PAVEMENT EXPANSION IS PROPOSED, THE EXISTING SOILS SHALL BE EXCAVATED TO THE REQUIRED SUBGRADE DEPTH THEN BACKFILLED AND COMPACTED WITH A SUITABLE 12" THICK SUBBASE LAYER.
- THE CONTRACTOR SHALL FINE GRADE THE GRAVEL SUBBASE NO MORE THAN 24 HOURS PRIOR TO THE PLACEMENT OF THE BASE COURSE PAVEMENT.
- A TACK COAT CONSISTING OF ASPHALT EMULSION TYPE "RS-1" SHALL BE APPLIED OVER THE BINDER COURSE AT UNIFORM RATE OF 0.05 GALLONS PER SQUARE YARD IMMEDIATELY PRIOR TO INSTALLATION OF THE SURFACE COURSE.
- SHOULDERS OF DRIVEWAY AND PARKING AREAS SHALL BE GRADED FOR A SMOOTH TRANSITION FROM THE PROPOSED EDGE OF PAVEMENT/ CURB TO THE EXISTING GRADE.
- CROSS SLOPES AT CATCH BASINS SHALL BE ADJUSTED AS NECESSARY TO ASSURE PROPER DRAINAGE.
- DRAINAGE STRUCTURES SHALL BE ADJUSTED OR REMODELED AS REQUIRED TO MEET GRADE.
- THE CONTRACTOR SHALL CONTROL DUST DURING CONSTRUCTION.
- EXCAVATED MATERIALS SHALL BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REGULATIONS.
- THE CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS.

FINE GRADING AND COMPACTING:

- THE CONTRACTOR SHALL FINE GRADE AND COMPACT ALL AREAS IN PREPARATION FOR PAVEMENT, INCLUDING, BUT NOT LIMITED TO THE DRIVEWAY AREAS AND TRANSITION DRIVEWAY AREAS. THE CONTRACTOR SHALL ALSO STRAIGHT CUT ALL EXISTING JOINTS AND EDGES IN PREPARATION FOR FINAL PAVEMENT.
- PAYMENT FOR GRADING AND COMPACTING THE RECONSTRUCTED SIDEWALK SHALL BE INCLUDED IN THE CONTRACT.
- PAYMENT FOR FINE GRADING AND COMPACTING THE RECONSTRUCTED DRIVEWAY AND PARKING AREAS SHALL BE INCLUDED IN THE CONTRACT.
- COMPACTION TESTING SHALL BE PERFORMED UNDER DIRECTION OF THE ENGINEER, TESTING COSTS SHALL BE INCLUDED IN THE CONTRACT.

SITE EROSION & SEDIMENT CONTROL NOTES

- THE CONTRACTOR SHALL COMPLY WITH EROSION AND SEDIMENTATION CONTROL DETAILS AND NOTES AS SHOWN ON DETAIL SHEETS.
- STRAW EROSION AND SEDIMENT CONTROL BARRIER SHALL BE PLACED AT DOWNSTREAM PROJECT LIMITS PRIOR TO THE COMMENCEMENT OF WORK. WATTLES SHALL BE INSPECTED DAILY AND CLEANED OR REPAIRED AS NEEDED DURING CONSTRUCTION PERIOD.
- CONSTRUCTION PERIOD SILT SACKS SHALL BE USED AT ALL CATCH BASINS. SILT SACKS SHALL BE KEPT FREE OF SEDIMENT AND DEBRIS, INSPECTED WEEKLY AND REPAIRED PROMPTLY.
- PER 310CMR 10.02(2)(b)1.p. - THE ROADS AND DRIVES "MUST BE STABILIZED WITHIN 72 HOURS OF COMPLETION OF THE RECLAMATION.

TREE REMOVAL AND TRIMMING NOTES:

- THE CONTRACTOR SHALL REMOVE TREES AND STUMPS AS IDENTIFIED ON PLANS AND SHALL NOT REMOVE ANY TREES UNTIL APPROVED BY THE ENGINEER.
- ROOTS ON TREES WHICH ARE IMPACTING THE SAFETY OF THE SITE OR AFFECTING WALKWAYS SHALL BE REMOVED BY THE CONTRACTOR. WHEN THE ARBORIST DETERMINES THAT THE NUMBER OF ROOTS REMOVED MAY IMPACT THE LIFE OF THE TREE, THE TREE AND STUMP SHALL BE REMOVED.
- THE CONTRACTOR SHALL REMOVE OVERGROWN VEGETATION ALONG SITE PERIMETER AS NEEDED.
- CLEARING AND GRUBBING WITHIN AREAS IDENTIFIED SHALL INCLUDE TRIMMING OF TREES SO THAT LIMBS SHALL NOT EXTEND OVER ANY BUILDING ROOF AND WITHIN 10' OF ANY UTILITY WIRE. TREE LIMBS SHALL ALSO BE TRIMMED WHEN EXTENDING BELOW A HEIGHT OF 10' FROM GROUND LEVEL.
- ALL DISTURBED AREAS SHALL BE LOAMED AND SEEDED.

EXISTING LEGEND

	TEMPORARY BENCH MARK MAG/PK
	DRILL HOLE
	BOUND
	IRON PIN OR IRON ROD
	APPROX. HOUSE LOCATION
	EXISTING BUSH/SHRUB
	EXISTING TREE W/TRUNK DIA.
	EXISTING CATCH BASIN
	EXISTING DRAIN MANHOLE
	EXISTING SEWER MANHOLE
	EXISTING UNMARKED MANHOLE
	EXISTING HYDRANT
	EXISTING WATER GATE VALVE
	EXISTING WATER SHUT OFF
	EXISTING GAS GATE VALVE
	EXISTING LIGHT POST
	EXISTING UTILITY POLE
	EXISTING GUY WIRE ANCHOR
	EXISTING SIGN
	EXISTING TRAFFIC POLE
	EXISTING TRANSFORMER
	EXISTING BOLLARD
	EXISTING GAS LINE
	EXISTING DRAIN LINE
	EXISTING WATER LINE
	EXISTING SEWER LINE
	EXISTING ELECTRIC LINE
	EXISTING OVERHEAD WIRE
	EXISTING 5' CONTOURS
	EXISTING 1' CONTOURS
	EXISTING SPOT GRADE
	EXISTING EDGE OF PAVEMENT
	EXISTING CURBING
	EXISTING FENCE -CHAIN LINK
	EXISTING FENCE -WOOD OR VINYL
	EXISTING GUARD RAIL
	EXISTING VEGETATION LINE
	EXISTING WETLANDS
	EXISTING WALL/ RETAINING WALL
	APPROX. PROPERTY LINE
	APPROX. RIGHT-OF-WAY LINE
	APPROX. EASEMENT LINE

ABBREVIATIONS

APPROX	APPROXIMATE
BC	BOTTOM OF CURB
BLDG	BUILDING
BIT	BITUMINOUS
CB	CATCH BASIN
CONC	CONCRETE
CPP	CORRUGATED PLASTIC PIPE
D	DRAIN
DRV	DRIVEWAY
DMH	DRAIN MANHOLE
ELEC	ELECTRIC
EOP	EDGE OF PAVEMENT
ESHGW	ESTIMATED SEASONAL HIGH GROUND WATER
EXIST	EXISTING
HYD	HYDRANT
INV	INVERT
MH	MANHOLE
N/F	NOW OR FORMERLY
OHW	OVERHEAD WIRE
PROP	PROPOSED
PVC	POLYVINYL CHLORIDE
RCP	REINFORCED CONCRETE PIPE
S	SEWER
SMH	SEWER MANHOLE
TC	TOP OF CURB
TYP	TYPICAL
UP	UTILITY POLE
VGC	VERTICAL GRANITE CURB

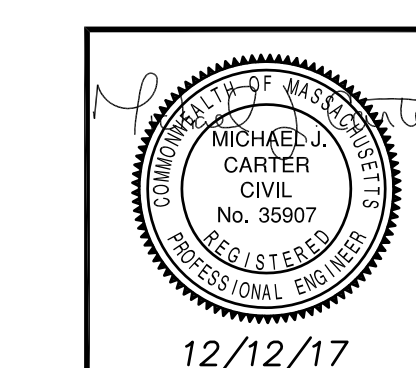
NOTES & LEGEND

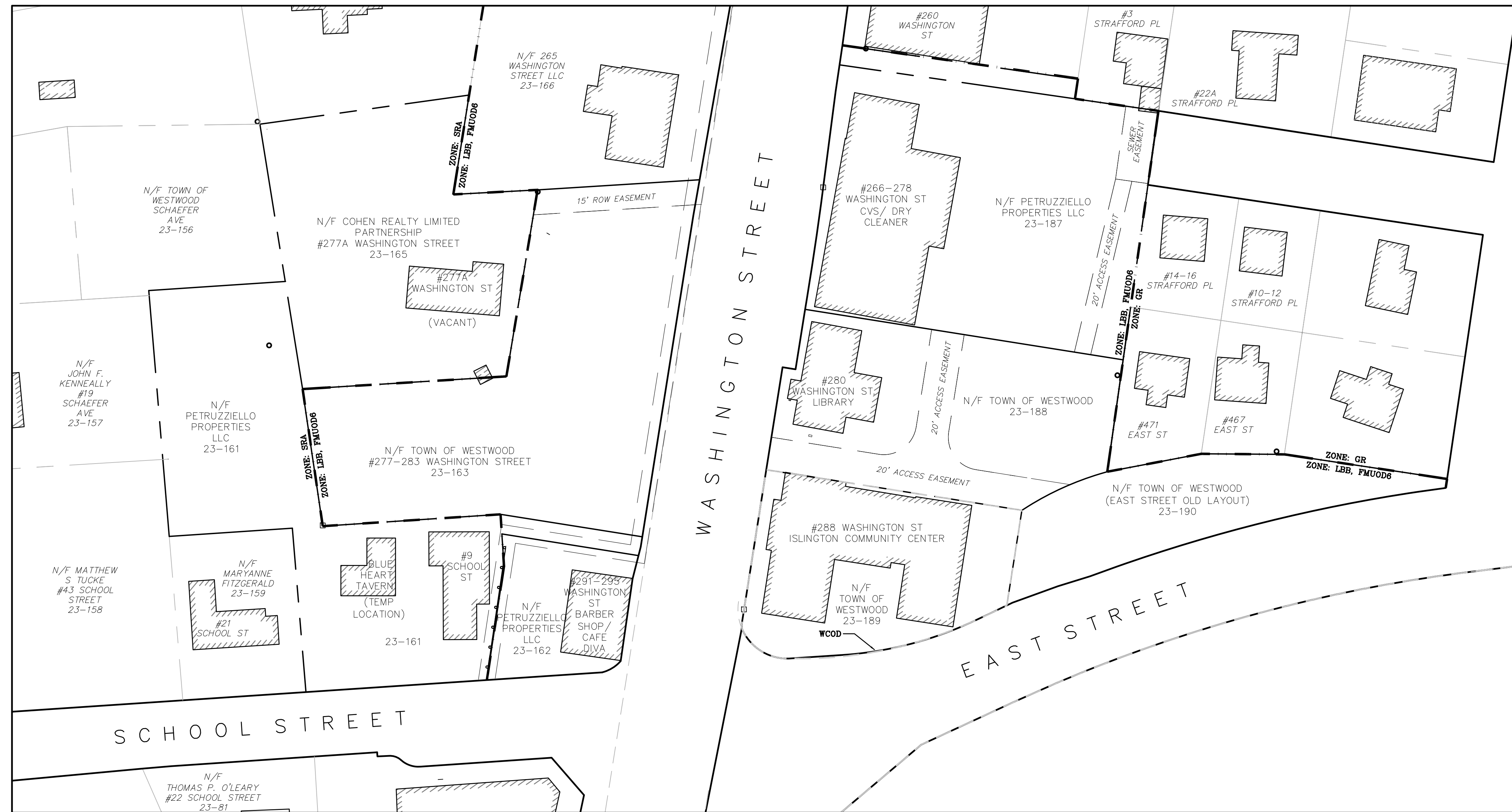
ISLINGTON VILLAGE
 WESTWOOD MA
 NORFOLK COUNTY

GCG ASSOCIATES, INC.
 WILMINGTON MASSACHUSETTS

SCALE: N.T.S. DATE: DECEMBER 12, 2017

JOB NO. \ FILE NAME: 1753-COVER_DETAILS	DESIGNED BY: S.B.H. DRAWN BY: S.B.H. CHECKED BY: M.J.C.	PLAN NO. 2 of 15
--	---	---------------------



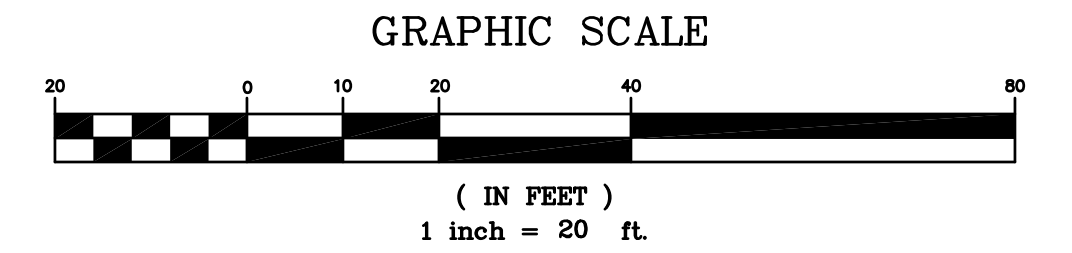


PLAN
SCALE: 1" = 20'

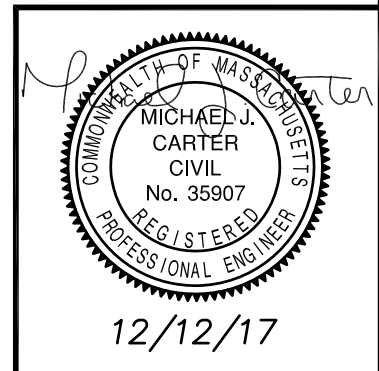
- SCHOOL STREET SIDE ASSESSOR'S DESIGNATIONS:**
 MAP 23, LOT 161 - PETRUZZIELLO PROPERTIES
 MAP 23, LOT 162 - PETRUZZIELLO PROPERTIES
 MAP 23, LOT 163 - TOWN OF WESTWOOD
 MAP 23, LOT 165 - COHEN REALTY TRUST (UNDER P&S W/PETRUZZIELLO)

- EAST STREET SIDE ASSESSOR'S DESIGNATIONS:**
 MAP 23, LOT 187 - PETRUZZIELLO PROPERTIES
 MAP 23, LOT 188 - TOWN OF WESTWOOD
 MAP 23, LOT 189 - TOWN OF WESTWOOD
 MAP 23, LOT 190 - TOWN OF WESTWOOD

- ZONING KEY:**
 LBB - LOCAL BUSINESS B
 FMUOD6 - FLEXIBLE MULTIPLE USE OVERLAY DISTRICT, WASHINGTON STREET BUSINESS DISTRICT
 WCOD - WIRELESS COMMUNICATIONS OVERLAY DISTRICT
 SRA - SINGLE RESIDENCE A
 GR - GENERAL RESIDENCE DISTRICT



PROPERTY KEY PLAN		
ISLINGTON VILLAGE WESTWOOD, MA NORFOLK COUNTY		
GCG ASSOCIATES, INC.		
WILMINGTON		MASSACHUSETTS
SCALE: 1"=20'		DATE: DECEMBER 12, 2017
JOB NO. \ FILE NAME: 1753-BASE	DESIGNED BY: DRAWN BY: S.B.H. CHECKED BY: M.J.C.	PLAN NO. 3 of 15



SCHOOL STREET

WASHINGTON STREET

(1997 STATE HIGHWAY LAYOUT 7345)
 PLAN
 SCALE: 1" = 20'

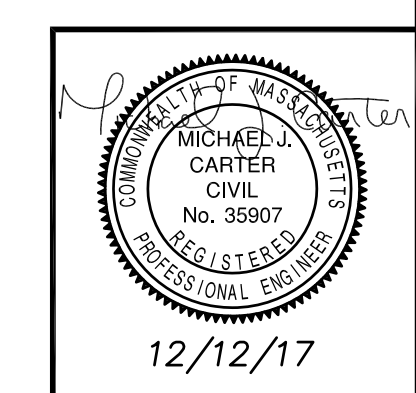
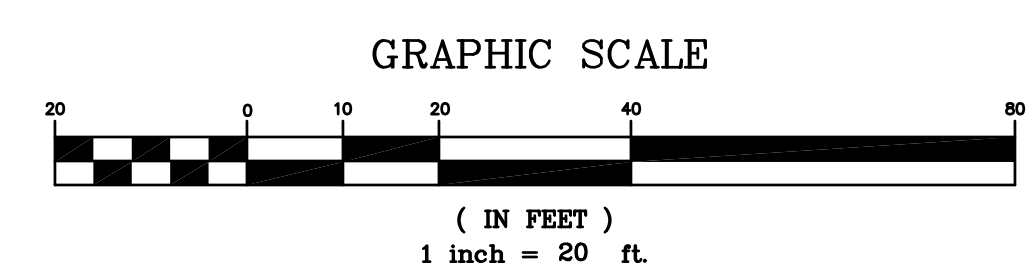
EXISTING CONDITIONS PARKING TABLE:

PETRUZZIELLO PROPERTIES:	PRINCIPAL USE	REQUIREMENT	CRITERIA	DEMAND	SUPPLY
266-278 WASHINGTON ST (CVS)	RETAIL/SALES AND SERVICES	1 SPC/250 SF	9,850 SF	40	26
291 WASHINGTON ST (CAFE/BARBER)	RETAIL/SALES AND SERVICES	1 SPC/250 SF	1,850 SF	8	4
1st Floor	PROFESSIONAL/BUSINESS SERVICES	1 SPC/333 SF	2,163 SF	7	4
Upper Floor	RETAIL/SALES AND SERVICES	1 SPC/250 SF	1,505 SF	7	3
9 SCHOOL ST (TAILOR)	RETAIL/SALES AND SERVICES	1 SPC/250 SF	1,505 SF	7	3
277A WASHINGTON ST	SINGLE FAMILY DWELLING	2 SPC PER DWELLING	1 UNIT	2	2
			SUBTOTAL	(64)	(39)
TOWN OWNED PROPERTIES:					
LIBRARY	MUNICIPAL FACILITIES*	3.5 SPC/1000 SF	1,962 SF	9	29
COMMUNITY CTR	MUNICIPAL FACILITIES*	3.1 SPC/1000 SF	11,031 SF	45	0
EAST STREET PARCEL					0
MUNICIPAL PARKING LOT					30
			SUBTOTAL		(59)
ON STREET				6	6
			TOTAL	118	104

*AS DETERMINED BY PLANNING BOARD (SHOWN PER ITE)

- NOTES:**
- 1.) PLANS AND TOPOGRAPHIC INFORMATION ARE PREPARED FROM GROUND SURVEY BY GCG ASSOCIATES, INC. PERFORMED IN OCTOBER OF 2017.
 - 2.) COORDINATES REFER TO MASSACHUSETTS STATE PLANE COORDINATE SYSTEM (NAD 83). ELEVATIONS REFER TO NAVD 1988.
 - 3.) ALL LOCATIONS OF SUBSURFACE UTILITIES AND STRUCTURES WERE OBTAINED FROM AVAILABLE TOWN AND UTILITY RECORDS. THE SIZE, TYPE AND LOCATION OF UTILITIES SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL PROPERLY LOCATE THE UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN UTILITY INFORMATION BY CONTACTING DIGSAFE (811). THE CONTRACTOR SHALL EXCAVATE TEST PITS TO VERIFY UTILITY LINES.

SCHOOL STREET SIDE ASSESSOR'S DESIGNATIONS:
 MAP 23, LOT 161 - PETRUZZIELLO PROPERTIES
 MAP 23, LOT 162 - PETRUZZIELLO PROPERTIES
 MAP 23, LOT 163 - TOWN OF WESTWOOD
 MAP 23, LOT 165 - COHEN REALTY TRUST (UNDER P&S W/PETRUZZIELLO)



EXISTING CONDITIONS SITE PLAN
SCHOOL STREET SIDE

ISLINGTON VILLAGE
 WESTWOOD, MA
 NORFOLK COUNTY

GCG ASSOCIATES, INC.
 WILMINGTON MASSACHUSETTS

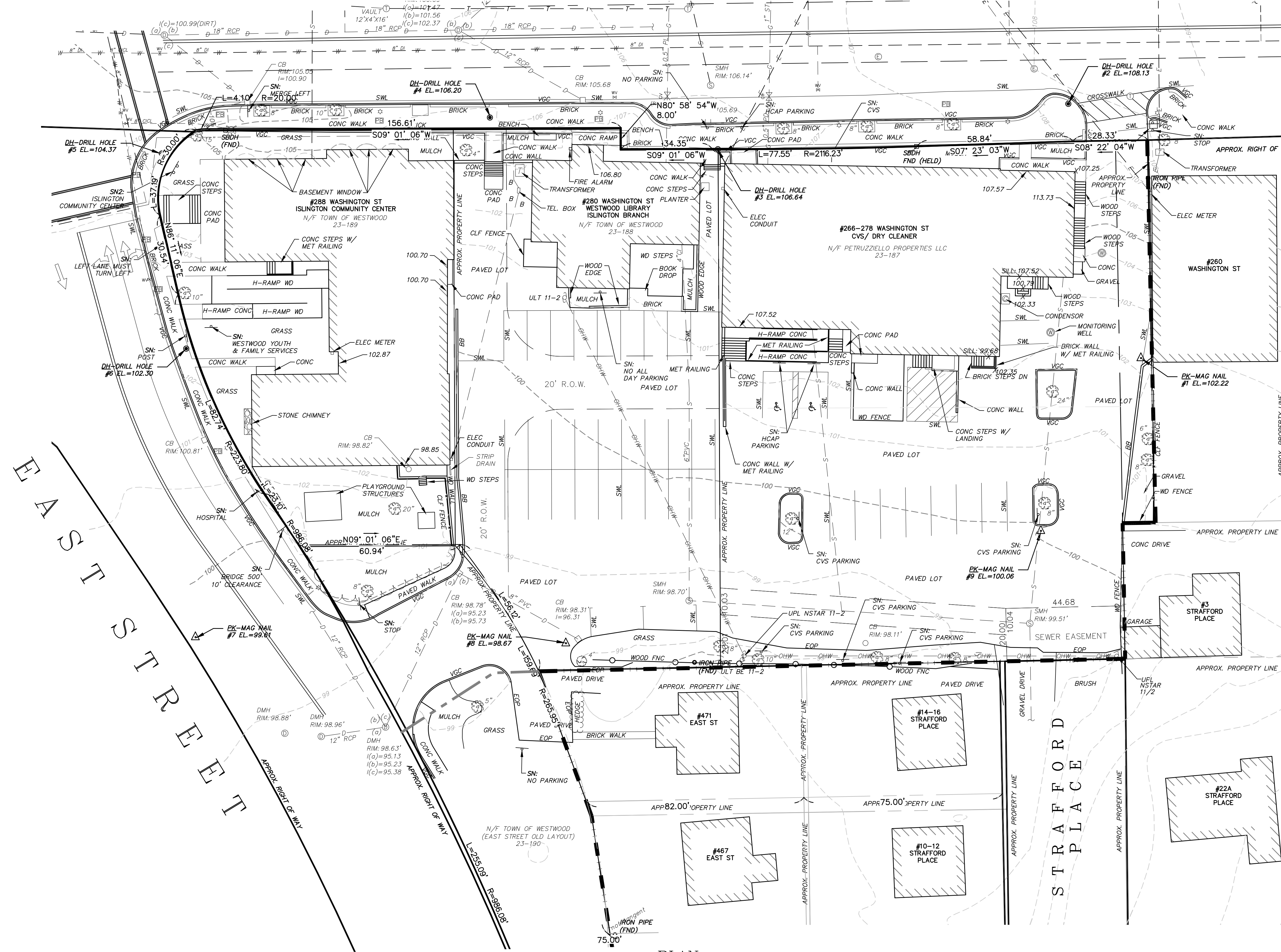
SCALE: 1"=20' DATE: DECEMBER 12, 2017

JOB NO. \ FILE NAME: 1753-BASE	DESIGNED BY: S.B.H. DRAWN BY: S.B.H. CHECKED BY: M.J.C.	PLAN NO. 4 of 15
-----------------------------------	---	---------------------

12/12/17

WASHINGTON STREET

(1997 STATE HIGHWAY LAYOUT 7345)



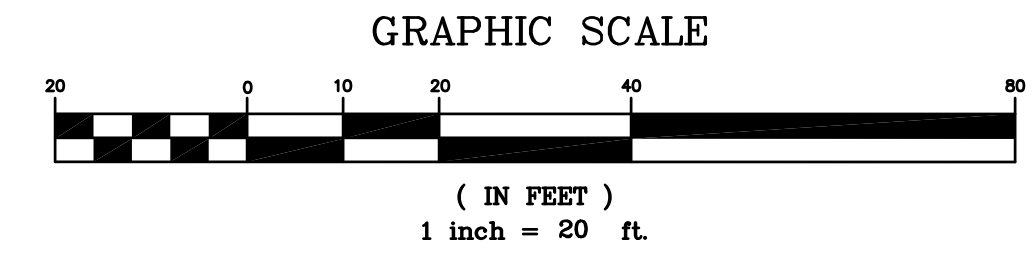
EAST STREET

STAFFORD PLACE

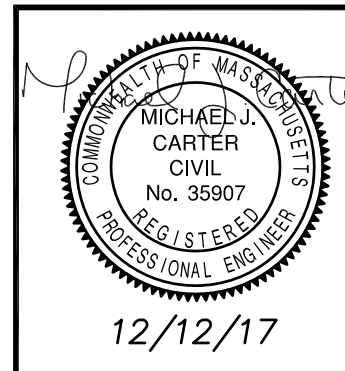
PLAN
SCALE: 1" = 20'

- NOTES:**
1. PLANS AND TOPOGRAPHIC INFORMATION ARE PREPARED FROM GROUND SURVEY BY GCG ASSOCIATES, INC. PERFORMED IN OCTOBER OF 2017.
 2. COORDINATES REFER TO MASSACHUSETTS STATE PLANE COORDINATE SYSTEM (NAD 83). ELEVATIONS REFER TO NAVD 1988.
 3. ALL LOCATIONS OF SUBSURFACE UTILITIES AND STRUCTURES WERE OBTAINED FROM AVAILABLE TOWN AND UTILITY RECORDS. THE SIZE, TYPE AND LOCATION OF UTILITIES SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL PROPERLY LOCATE THE UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN UTILITY INFORMATION BY CONTACTING DIGSAFE (811). THE CONTRACTOR SHALL EXCAVATE TEST PITS TO VERIFY UTILITY LINES.

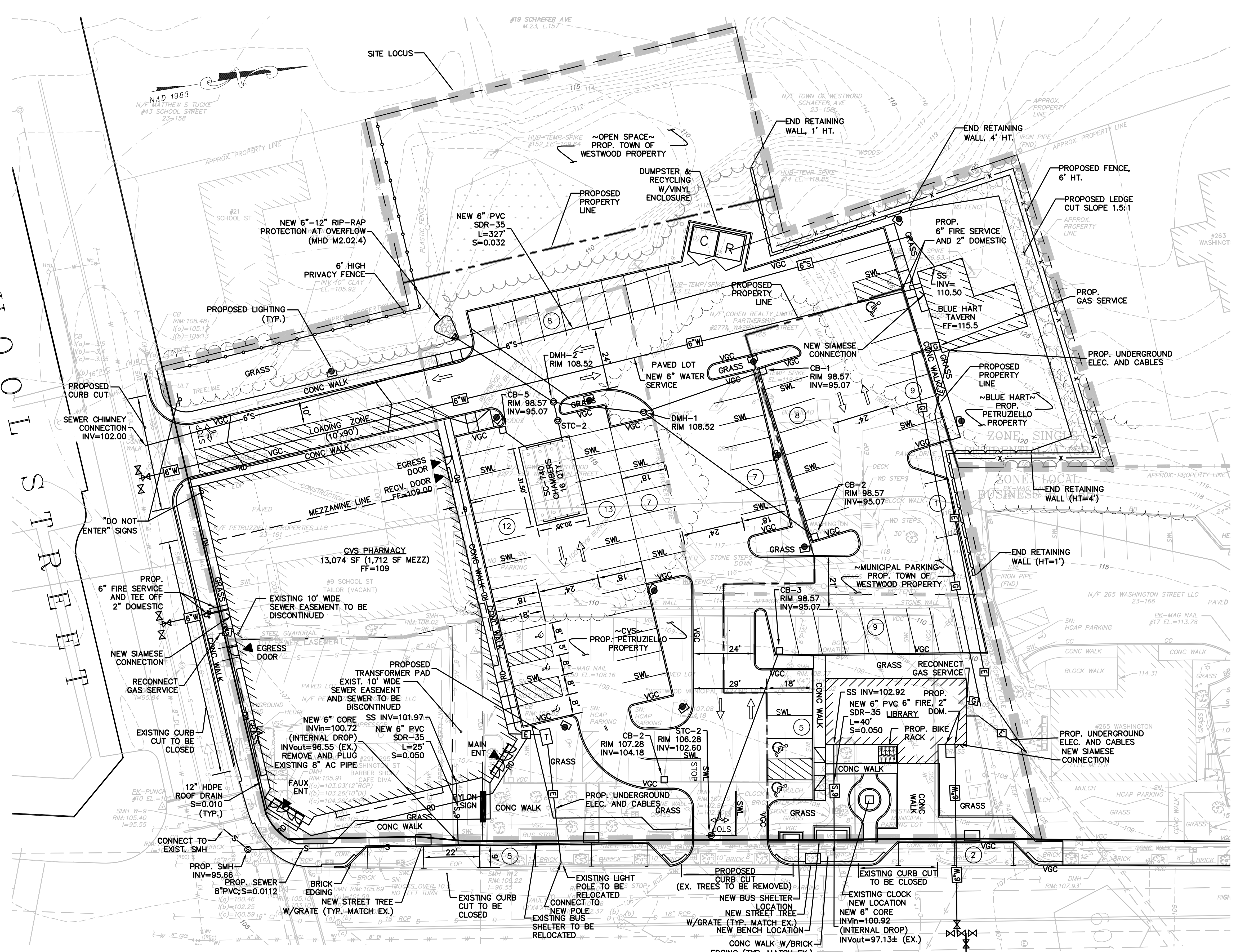
EAST STREET SIDE ASSESSOR'S DESIGNATIONS:
 MAP 23, LOT 187 - PETRUZZIELLO PROPERTIES
 MAP 23, LOT 188 - TOWN OF WESTWOOD
 MAP 23, LOT 189 - TOWN OF WESTWOOD
 MAP 23, LOT 190 - TOWN OF WESTWOOD



EXISTING CONDITIONS SITE PLAN EAST STREET SIDE		
ISLINGTON VILLAGE WESTWOOD, MA NORFOLK COUNTY		
GCG ASSOCIATES, INC.		WILMINGTON MASSACHUSETTS
SCALE: 1"=20'		DATE: DECEMBER 12, 2017
JOB NO. \ FILE NAME: 1753-BASE	DESIGNED BY: S.B.H. DRAWN BY: S.B.H. CHECKED BY: M.J.C.	PLAN NO. 5 of 15



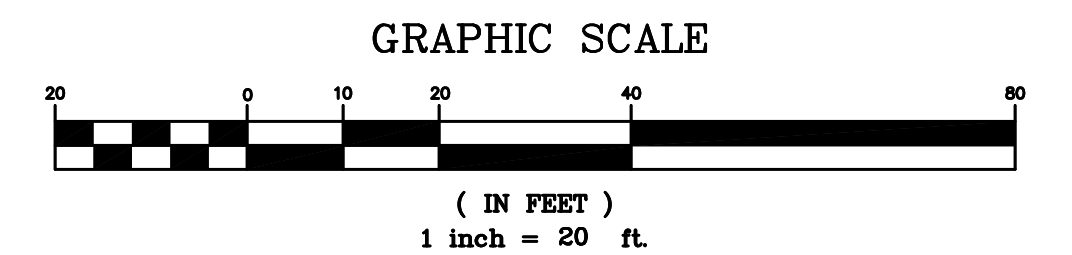
SCHOOL STREET



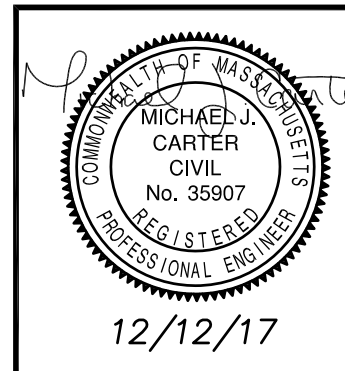
WASHINGTON STREET

(1997 STATE HIGHWAY LAYOUT 7345)

PLAN
SCALE: 1" = 20'



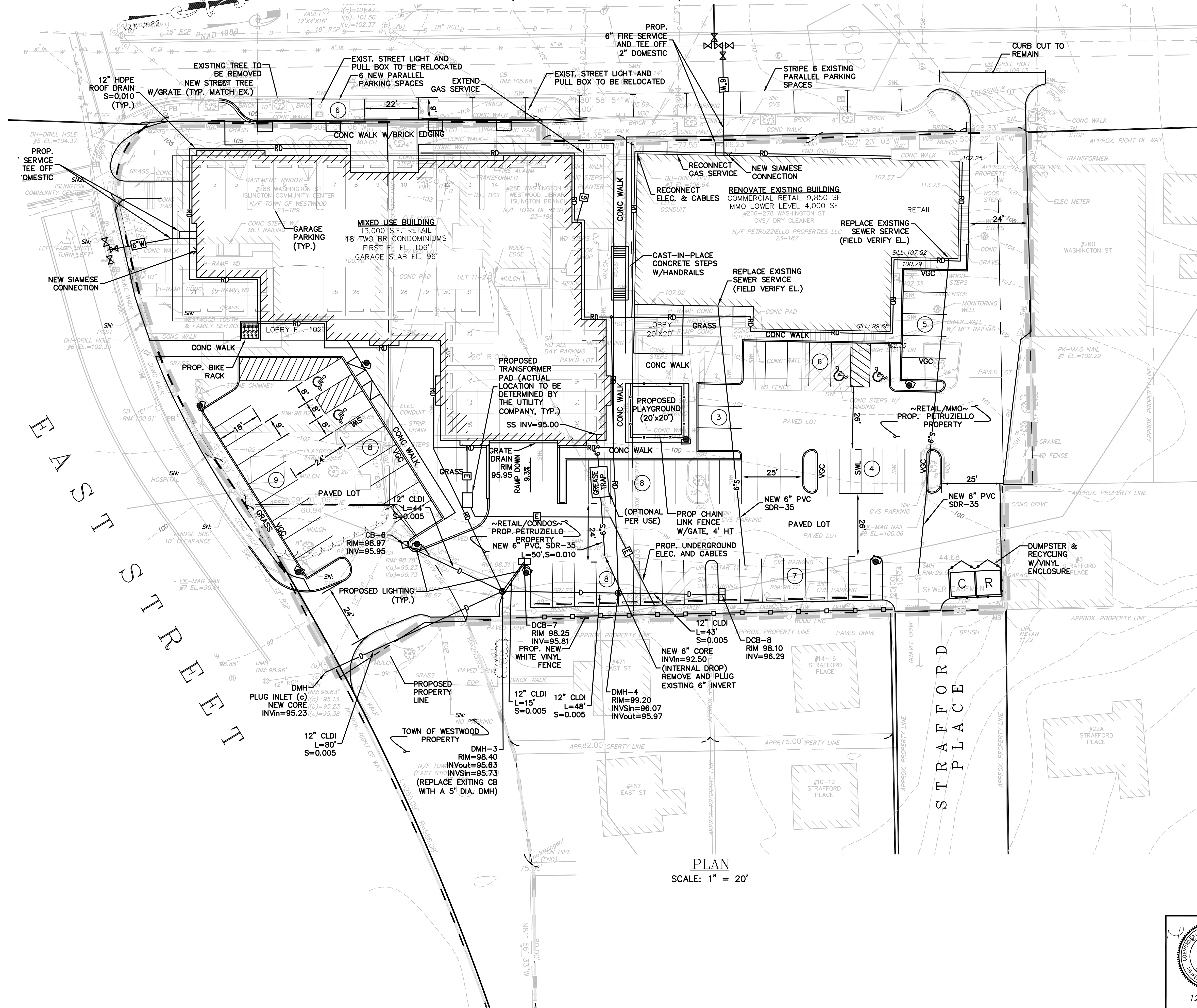
PROPOSED SITE PLAN SCHOOL STREET SIDE ISLINGTON VILLAGE WESTWOOD, MA NORFOLK COUNTY		
GCG ASSOCIATES, INC. WILMINGTON MASSACHUSETTS		
SCALE: 1"=20'	DATE: DECEMBER 12, 2017	
JOB NO./FILE NAME: 1753-DESIGN_SITES	DESIGNED BY: S.B.H. DRAWN BY: S.B.H. CHECKED BY: M.J.C.	PLAN NO. 6 of 15



12/12/17

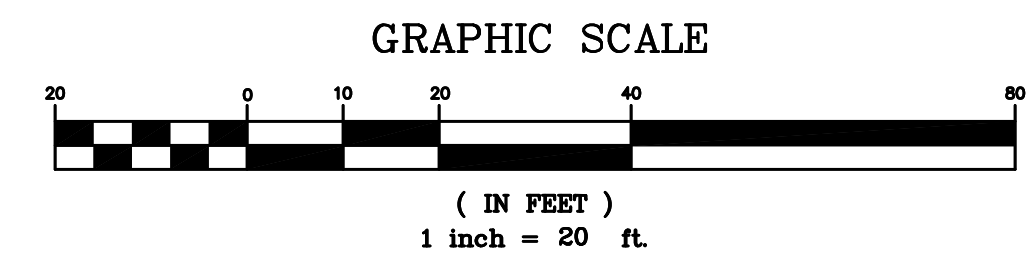
WASHINGTON STREET

(1997 STATE HIGHWAY LAYOUT 7345)



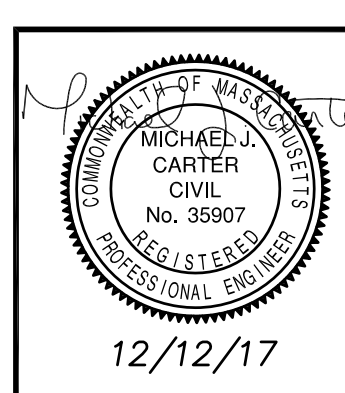
EAST STREET

STRAFFORD PLACE



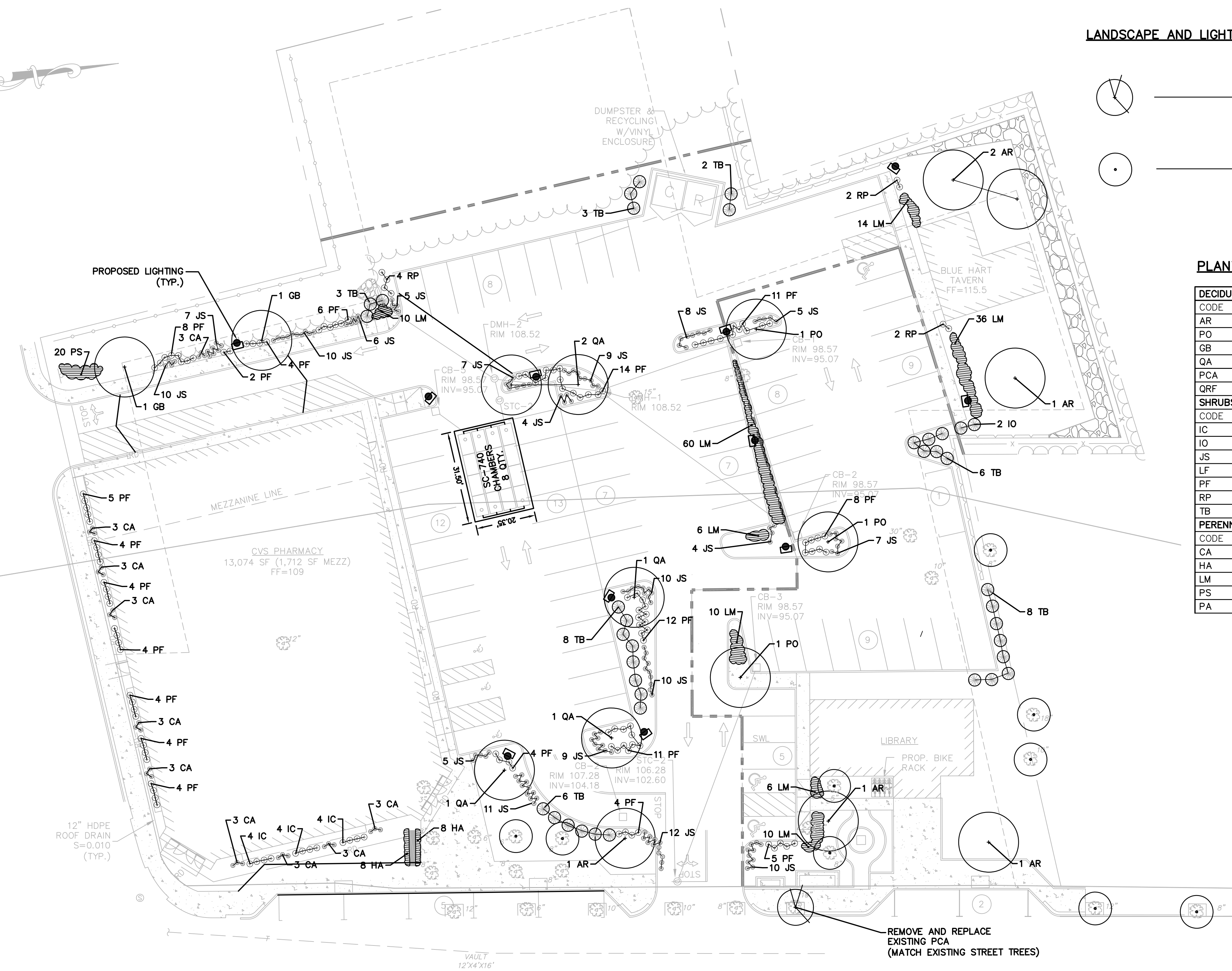
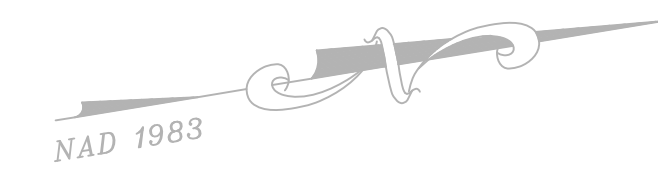
PLAN
SCALE: 1" = 20'

PROPOSED SITE LAYOUT PLAN EAST STREET SIDE		
ISLINGTON VILLAGE WESTWOOD, MA NORFOLK COUNTY		
GCG ASSOCIATES, INC.		
WILMINGTON		MASSACHUSETTS
SCALE: 1"=20'		DATE: DECEMBER 12, 2017
JOB NO./FILE NAME: 1753-DESIGN_SITES	DESIGNED BY: S.B.H. DRAWN BY: S.B.H. CHECKED BY: M.J.C.	PLAN NO. 7 of 15

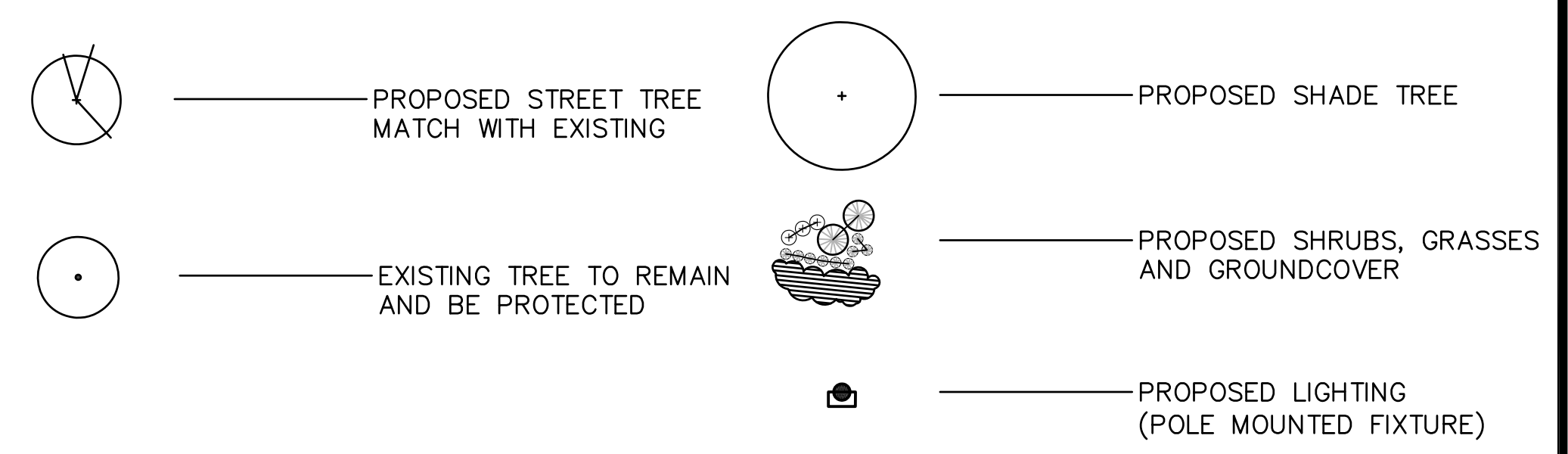


12/12/17

SCHOOL STREET



LANDSCAPE AND LIGHTING LEGEND

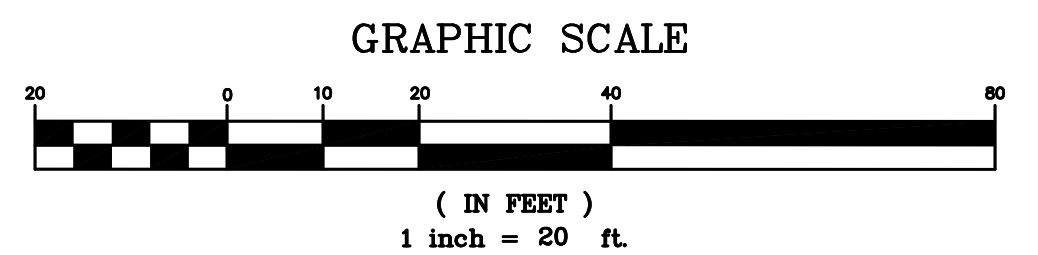


PLANTING ABBREVIATIONS

DECIDUOUS TREES		
CODE	BOTANICAL NAME	COMMON NAME
AR	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE
PO	PRUNUS X INCAME 'OKAME'	OKAME CHERRY-PINK
GB	GINKGO BILOBA	GINKGO
QA	QUERCUS ALBA	WHITE OAK
PCA	PYRUS CALLERYANA 'ARISTOCRAT'	ARISTOCRAT PEAR
QRF	QUERCUS ROBUR 'FASTIGIATA'	FASTIGIATE ENGLISH OAK
SHRUBS		
CODE	BOTANICAL NAME	COMMON NAME
IC	ILEX CRENATA 'HOOGENDORN'	HOOGENDORN JAPANESE HOLLY
IO	ILEX OPACA	AMERICAN HOLLY
JS	JUNIPERUS CHINENSIS 'SEAGREEN'	SEAGREEN CHINESE JUNIPER
LF	LEUCOTHOE FONTANESIANA 'SCARLETTA'	DROOPING LEUCOTHOE
PF	POTENTILLA FRUITCOSA 'TANGERINE'	TANGERINE SHRUBBY CINQUEFOIL
RP	RHODODENDRON 'PURPLE GEM'	PURPLE GEM RHODODENDRON
TB	TAXUS BACCATA	SPREADING ENGLISH YEW
PERENNIALS, GRASSES AND GROUNDCOVERS		
CODE	BOTANICAL NAME	COMMON NAME
CA	CALAMAGROTIS X ACUTIFLORA 'KARL FORESTER'	KARL FORESTER FEATHER REED GRASS
HA	HEMMEROCALLIS X 'APRICOT SPARKLES'	APRICOT SPARKLES DAYLILLY
LM	LIRIOPI MUSCARI 'VARIEGATA'	VARIGATED LILYTURF
PS	PHLOX STOLONIFERA	CREeping PHLOX
PA	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'	LITTLE BUNNY FOUNTAIN GRASS

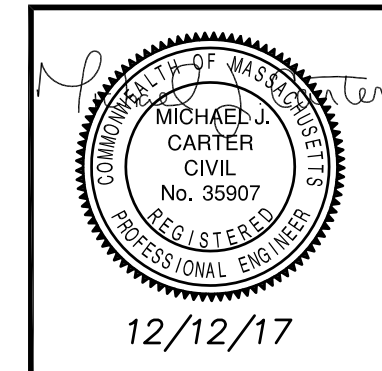
PLANTING NOTES:

1. ALL NEW PLANTING MATERIAL SHALL CONFORM TO THE "AMERICAN STANDARD FOR NURSERY STOCK", LATEST EDITION, PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
2. ALL NEW TREES AND SHRUBS SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN UNLESS OTHERWISE NOTED ON THE PLANT LIST.
3. CONTRACTOR SHALL BE SUPPLY ALL NEW PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SHOWN ON THE DRAWINGS. IF MINOR DISCREPANCIES EXIST BETWEEN THE NUMBER OF PLANTS DRAWN ON THE PLANTING PLAN AND THE NUMBER OF PLANTS IN THE PLANT SCHEDULE, THE PLANTING PLAN SHALL GOVERN.
4. ANY PROPOSED SUBSTITUTIONS OF PLANT SPECIES SHALL BE MADE WITH PLANTS OF EQUIVALENT OVERALL FORM, HEIGHT, BRANCHING HABIT, FLOWER, LEAF, COLOR, FRUIT, AND CULTURE AND MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE.
5. NO TREES SHALL BE PLANTED BEFORE ACCEPTANCE OF ROUGH GRADING. TREES SHALL BEAR SAME RELATIONSHIP TO FINISH GRADE AS THEY BORE TO FINISH BEFORE BEING DUG IN THE NURSERY. PRIOR TO PLANTING, REMOVE THE TOP OF THE BURLAP AND CONFIRM THAT PLANT ROOT CROWS ARE NOT COVERED BY SOIL FROM THE NURSERY.
6. STAKE LOCATION OF ALL PROPOSED PLANTS FOR APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCEMENT OF PLANTING.
7. MULCH TREES AND PLANTING BEDS PER DETAILS AND SPECIFICATIONS.
8. ALL AREAS TO BE SEEDED WITH LAWN MIX SHALL RECEIVE 6" TOPSOIL PRIOR TO SEEDING.
9. SEE DETAIL SHEET FOR PLANTING SCHEDULE AND DETAILS

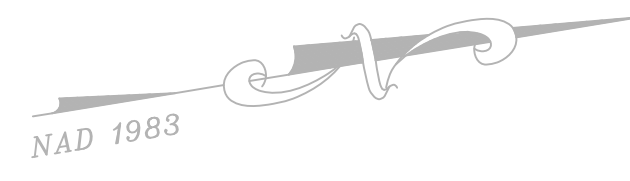


WASHINGTON STREET
(1997 STATE HIGHWAY LAYOUT 7345)

PLAN
SCALE: 1" = 20'

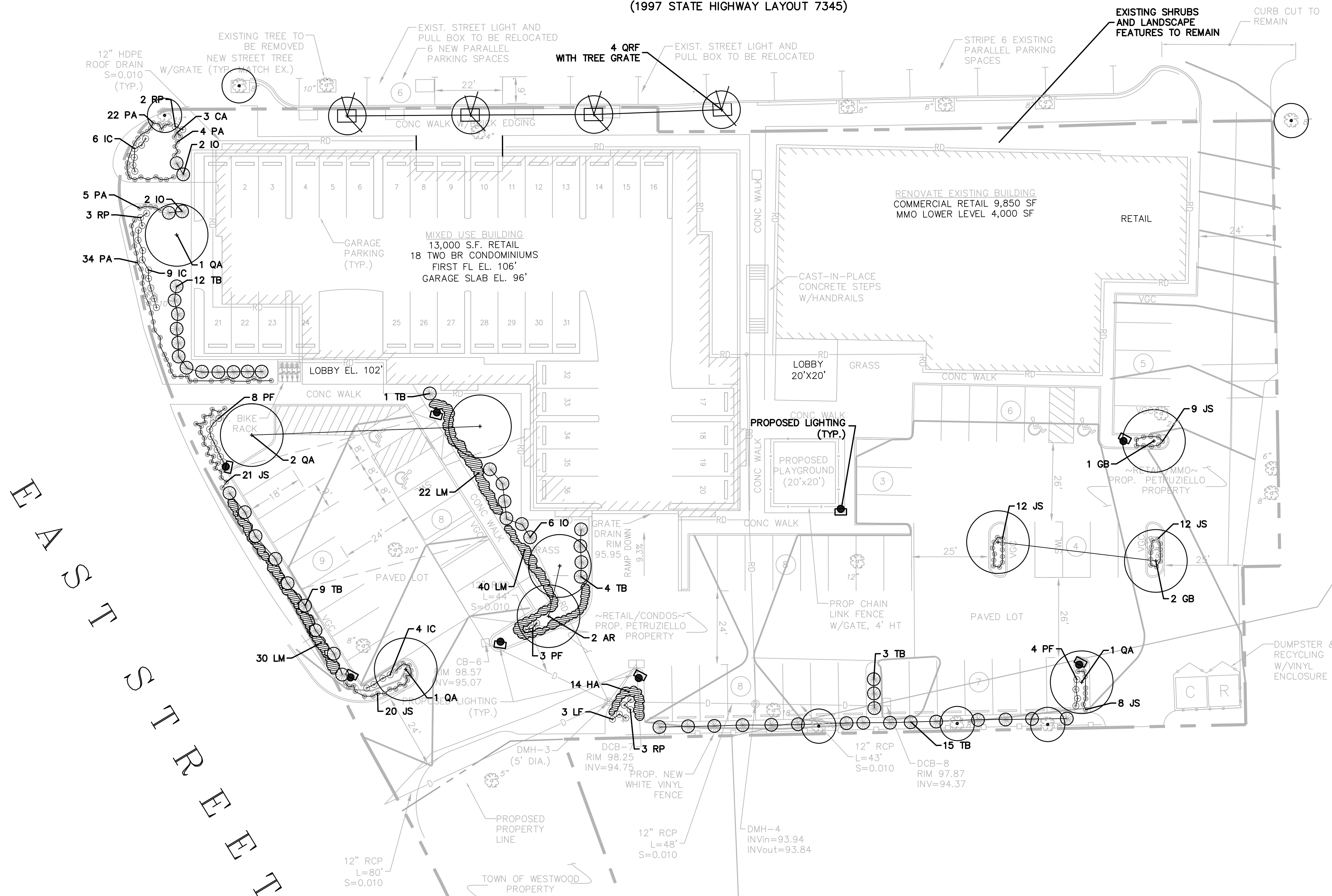


LANDSCAPE AND LIGHTING PLAN SCHOOL STREET SIDE		
ISLINGTON VILLAGE WESTWOOD, MA NORFOLK COUNTY		
GCG ASSOCIATES, INC.		MASSACHUSETTS
WILMINGTON		DATE: DECEMBER 12, 2017
SCALE: 1"=20'		PLAN NO.
JOB NO \ FILE NAME: 1753-DESIGN LANDSCAPE & LIGHTING	DESIGNED BY: A.C.M. DRAWN BY: S.B.H. CHECKED BY: M.J.C.	8 of 15



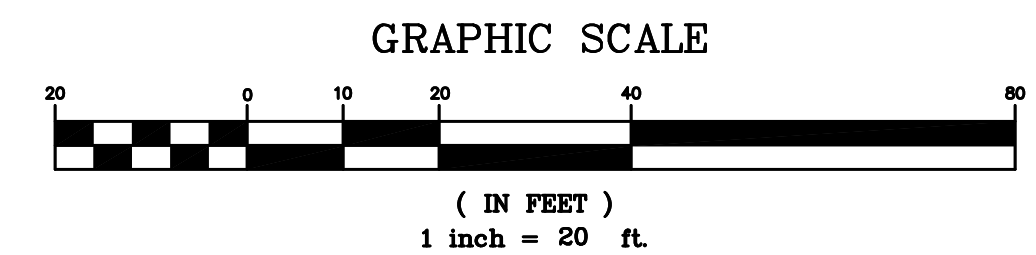
WASHINGTON STREET

(1997 STATE HIGHWAY LAYOUT 7345)

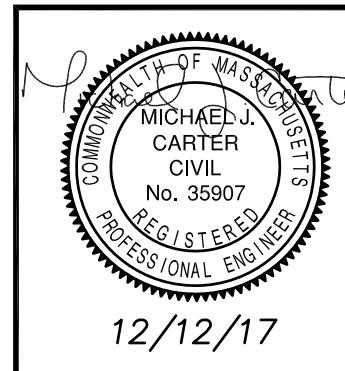


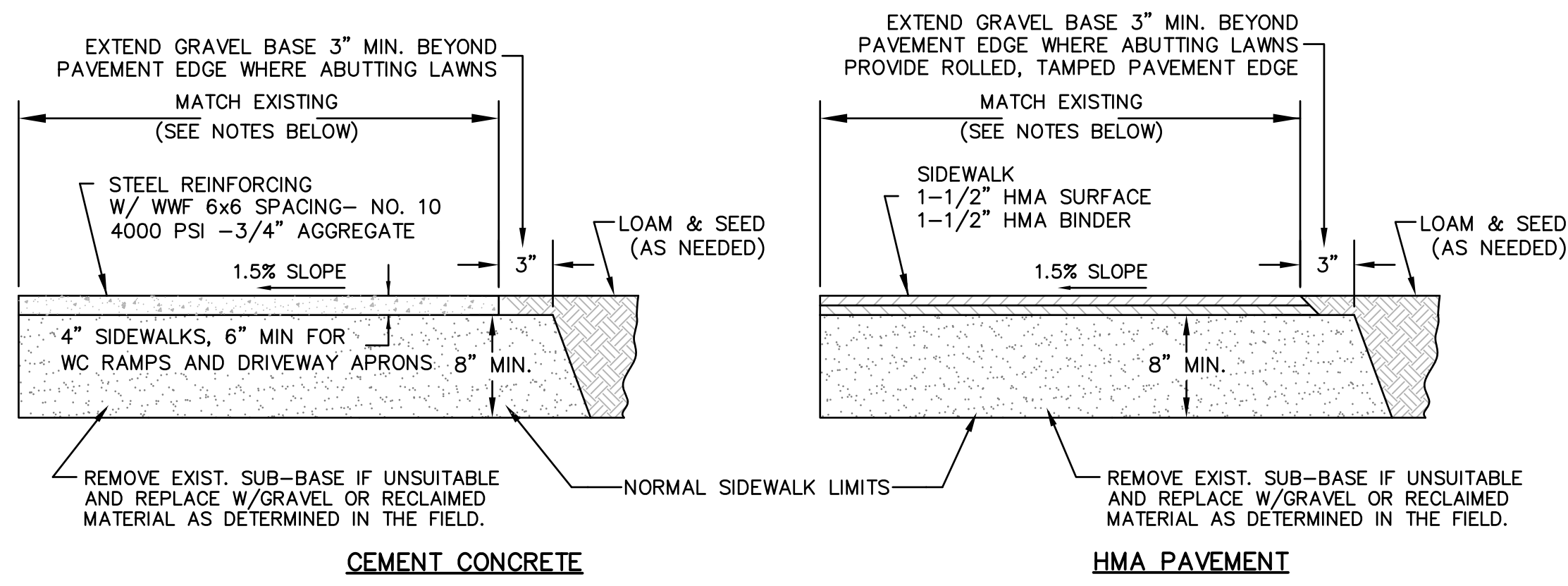
EAST STREET

PLAN
SCALE: 1" = 20'



LANDSCAPE AND LIGHTING PLAN EAST STREET SIDE		
ISLINGTON VILLAGE WESTWOOD, MA NORFOLK COUNTY		
GCG ASSOCIATES, INC.		
WILMINGTON	MASSACHUSETTS	
SCALE: 1"=20'	DATE: DECEMBER 12, 2017	
JOB NO./FILE NAME: 1753-DESIGN LANDSCAPE & LIGHTING	DESIGNED BY: A.C.M. DRAWN BY: S.B.H. CHECKED BY: M.J.C.	PLAN NO. 9 of 15



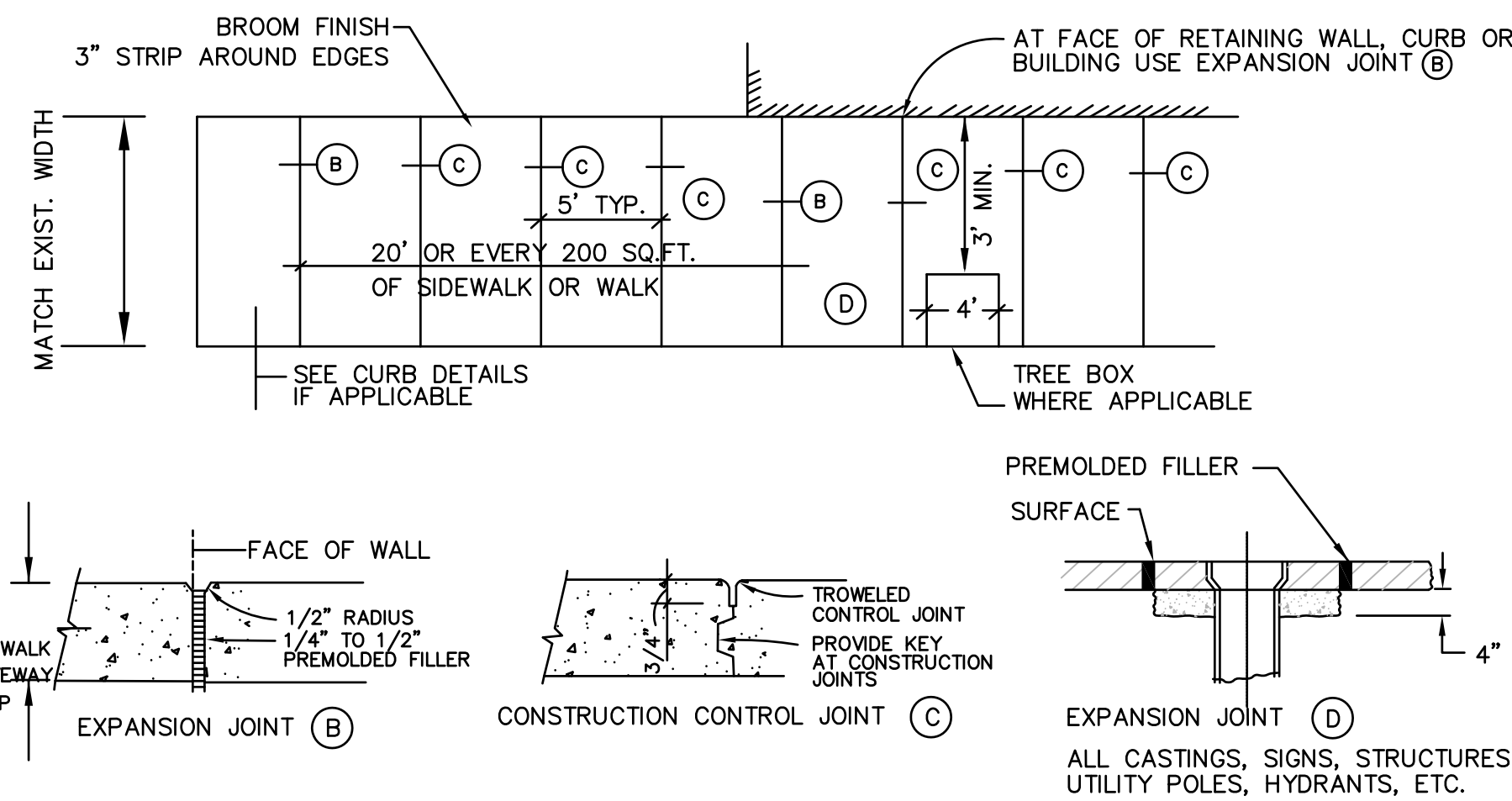


NOTES:

- GRAVEL IN AREAS OF EXISTING SIDEWALKS WHICH ARE BEING REMOVED OR REPLACED IN THE SAME LOCATION SHALL BE REGRADED AND SUPPLEMENTAL GRAVEL ADDED. ADDITIONAL GRAVEL REQUIRED SHALL BE INCLUDED IN THE CONTRACT PRICE.
- EXCAVATION AND PLACEMENT OF GRAVEL REQUIRED FOR NEW SIDEWALKS, WIDENING SIDEWALKS AND PAVED AREA SHALL BE INCLUDED IN THE CONTRACT PRICE. DISPOSAL OF THE EXCAVATED MATERIAL SHALL ALSO BE INCLUDED IN THE CONTRACT PRICE.
- REMOVAL OF STUMPS AND CUTTING AND DISPOSAL OF ROOTS SHALL BE INCLUDED IN THE CONTRACT COST TO CONSTRUCT WALKWAYS.
- PROVIDE JOINT SEALANT WHERE PAVING ABUTS CURBING, WALLS, STEPS, CASTINGS, ETC.

SIDEWALK DETAIL

N.T.S.

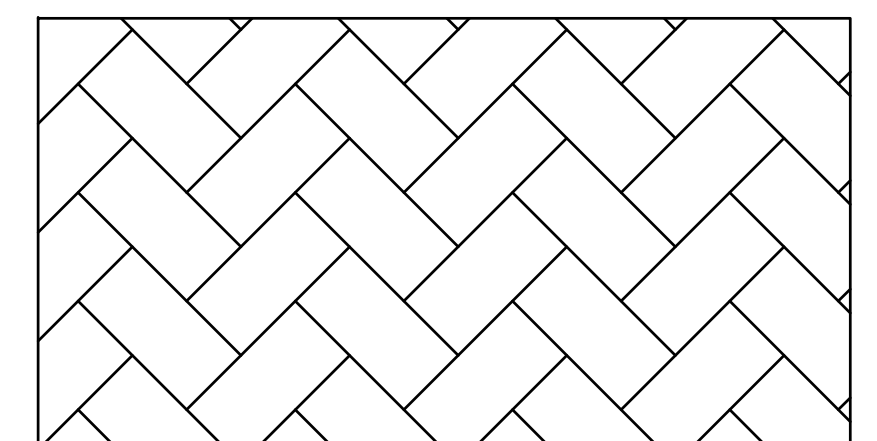


NOTE:

- EXPANSION JOINT PREMOLDED FILLER SHALL BE 1/4" TO 1/2" THICK AND CUT TO APPROPRIATE HEIGHT SO FIELD CUTTING IS NOT REQUIRED.
- SELF-LEVELING SILICONE JOINT SEALANT SHALL BE PLACED AT EXPANSION JOINTS OVER PREMOLDED FILLER.

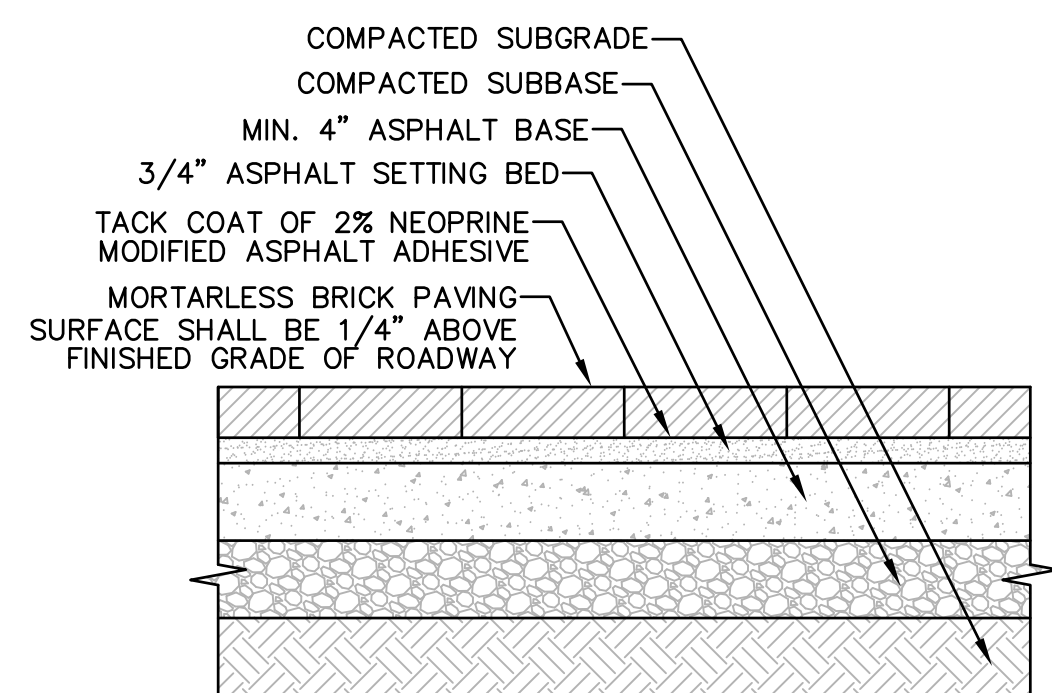
TYPICAL CEMENT CONCRETE SIDEWALK PLAN

N.T.S.



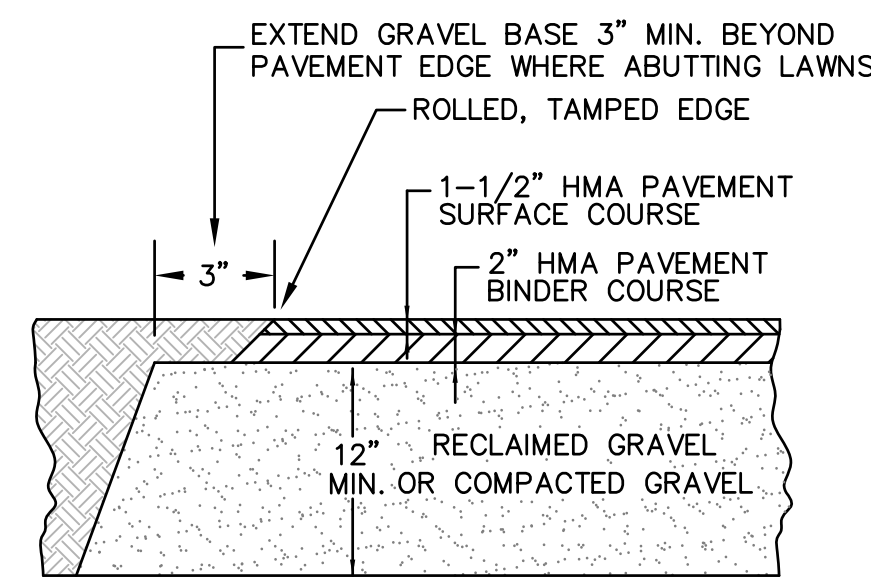
DECORATIVE CROSSWALK BRICK PAVING PATTERN - HERRINGBONE

NOT TO SCALE



DECORATIVE CROSSWALK PAVING DETAIL

NOTE: SEE SPECIFICATIONS

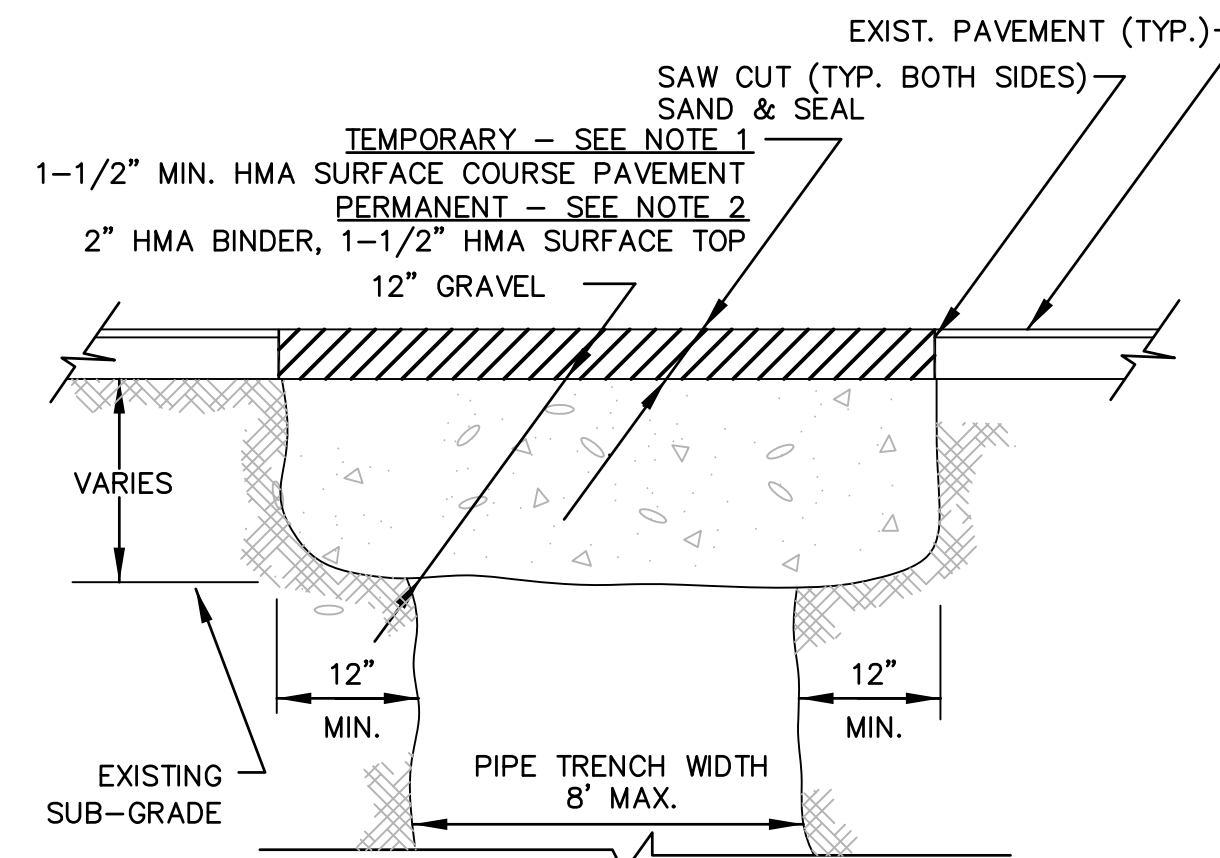


TYPICAL DRIVEWAY & PARKING PAVEMENT SECTION

N.T.S.

NOTES:

- PRIOR TO COMPLETING FINAL GRADING OF THE RECLAIMED BASE COURSE THE ENGINEER SHALL REVIEW GRADES TO DETERMINE THAT SUFFICIENT DRAINAGE PATTERNS AND CURB REVEAL ARE MAINTAINED. IF GRADES NEED TO BE ADJUSTED, THE CONTRACTOR SHALL REGRADE AS DIRECTED. THE COST TO PERFORM THIS WORK SHALL BE INCLUDED IN THE CONTRACT PRICE.
- PROVIDE JOINT SEALANT WHERE PAVING ABUTS CURBING, WALLS, STEPS, CASTINGS, ETC.

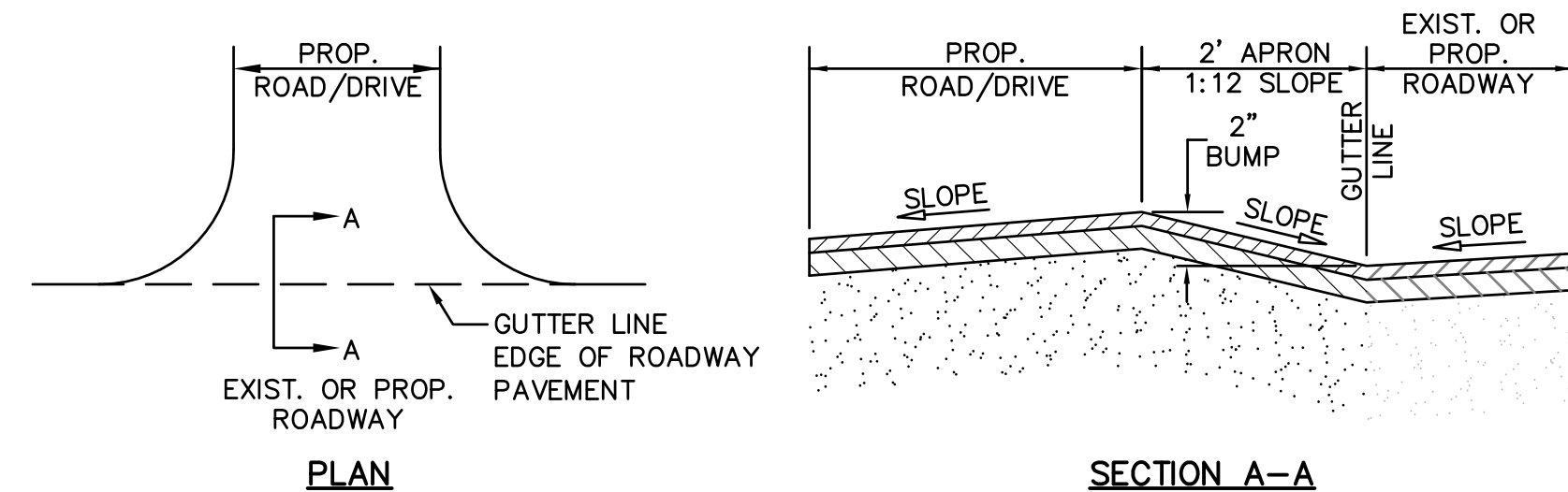


TRENCH DETAIL NOTES:

- TEMPORARY TRENCH PAVEMENT:** 1-1/2" TRENCH PAVEMENT TO BE USED AT THE DISCRETION OF THE ENGINEER TO STABILIZE TRENCHES AS NEEDED THIS WORK SHALL BE INCLUDED IN THE LUMP SUM CONTRACT PRICE.
- PERMANENT TRENCH PAVEMENT:** PAVEMENT TO BE PLACED IN TWO LIFTS - 2" BINDER COURSE AND 1-1/2" SURFACE TOP COURSE. PERMANENT TRENCH PAVEMENT TO BE IMPLEMENTED IN ALL PAVED AREAS NOT BEING RECLAIMED PER THIS CONTRACT. PERMANENT TRENCH SHALL BE PLACED AFTER 60 DAYS OF SETTLEMENT.
- ALL TEMPORARY AND PERMANENT TRENCHES IN EXISTING PAVEMENT ARE TO BE SAW CUT WHERE THE PROPOSED PAVEMENT SHALL MEET TO ALLOW A SMOOTH TRANSITION AFTER PAVING. NO OTHER METHOD OF CUTTING IS ACCEPTABLE. ALL JOINTS SHALL BE SANDED AND SEALED.
- TRENCHES WILL BE JETTED OR MECHANICALLY COMPACTED AS DETERMINED BY THE ENGINEER. ALL TRENCHES WILL BE COMPACTED TO 95% COMPACTION.
- THE CONTRACTOR SHALL REMOVE AND REPLACE OR SUPPORT UTILITY POLES WITHIN 10 FEET OF THE PROPOSED UTILITY PIPE CENTERLINE OR AS DIRECTED BY THE ENGINEER.
- THE CONTRACTOR SHALL BRACE AND SUPPORT ALL UTILITIES CROSSED OR ADJACENT TO THE UTILITY CONSTRUCTION AS NECESSARY.
- THE CONTRACTOR SHALL PAVE AND REPAIR ALL CURBING, SIDEWALKS, PARKING, FENCES AND ROADS DISTURBED DURING CONSTRUCTION.
- THE CONTRACTOR WILL REMOVE AND REPLACE ALL PAVEMENT DAMAGED DURING THE INSTALLATION OF THE PROPOSED UTILITY.
- THE CONTRACTOR SHALL RESTRIPE THE PAVEMENT MARKINGS AS NECESSARY.
- THE CONTRACTOR SHALL LOAM AND SEED ALL DISTURBED AREAS.

TRENCH PAVEMENT DETAIL (TEMPORARY AND PERMANENT)

N.T.S.

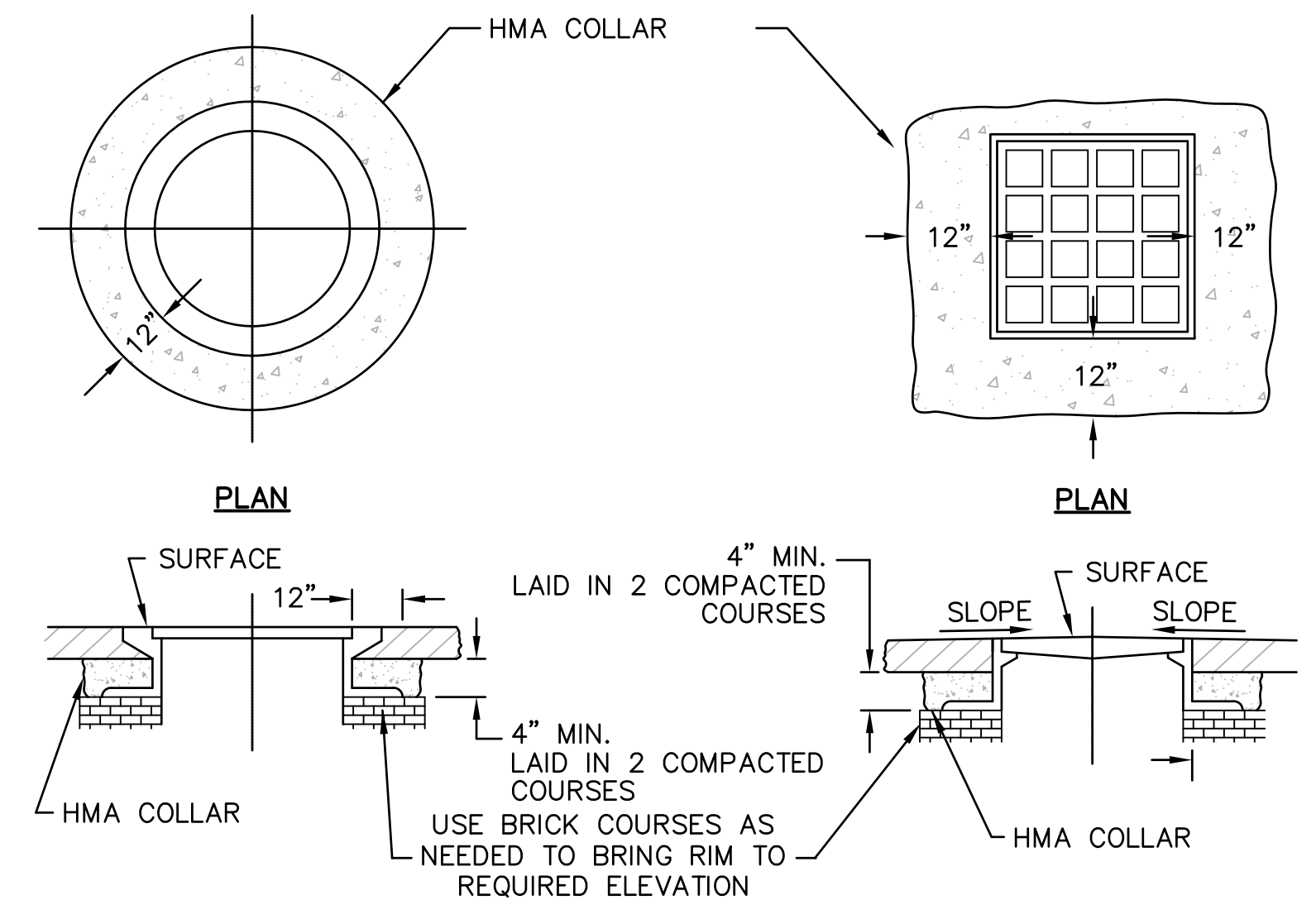


NOTES:

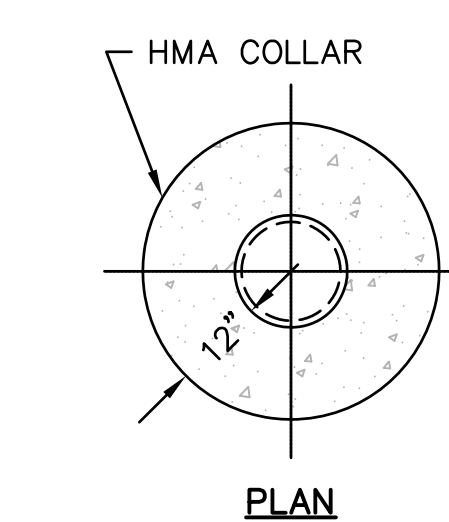
- REPAIR 5' APRON AT EACH EXISTING DRIVEWAY AS NECESSARY.
- SAWCUT PAVEMENT WHERE EXISTING SHALL MEET NEW.
- SAND AND SEAL ALL JOINTS.

DRIVEWAY APRON TREATMENT DETAIL

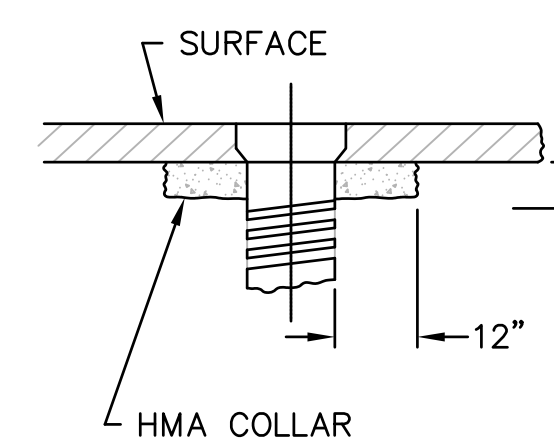
N.T.S.



SECTION MANHOLES

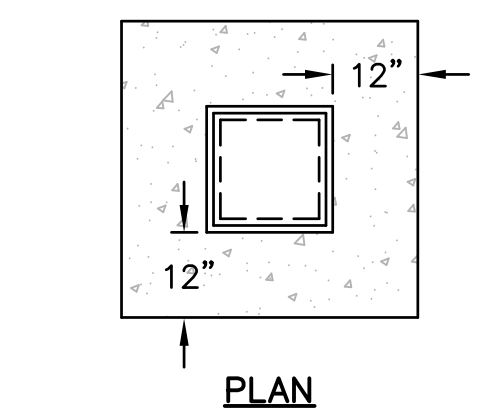


PLAN

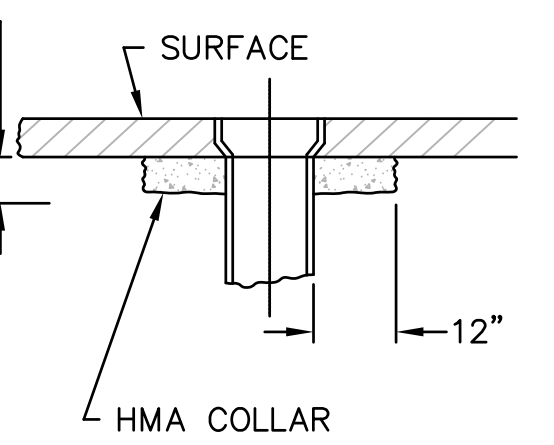


SECTION

SECTION CATCH BASINS



PLAN

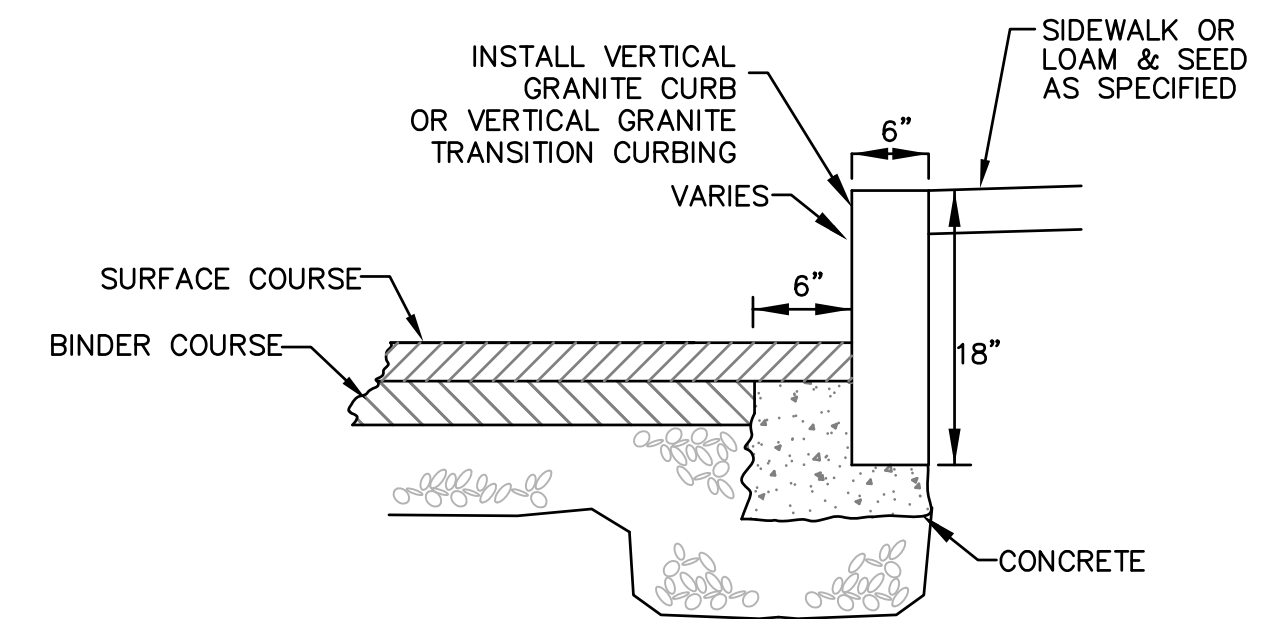


SECTION

WATER SERVICE BOXES

DETAILS FOR RAISING CASTINGS

N.T.S.



VERTICAL GRANITE CURB

N.T.S.

DETAIL SHEET I

ISLINGTON VILLAGE
WESTWOOD, MA
NORFOLK COUNTY

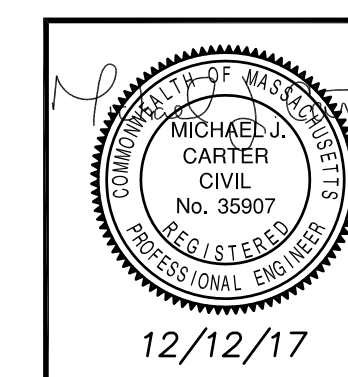
GCG ASSOCIATES, INC.

WILMINGTON MASSACHUSETTS

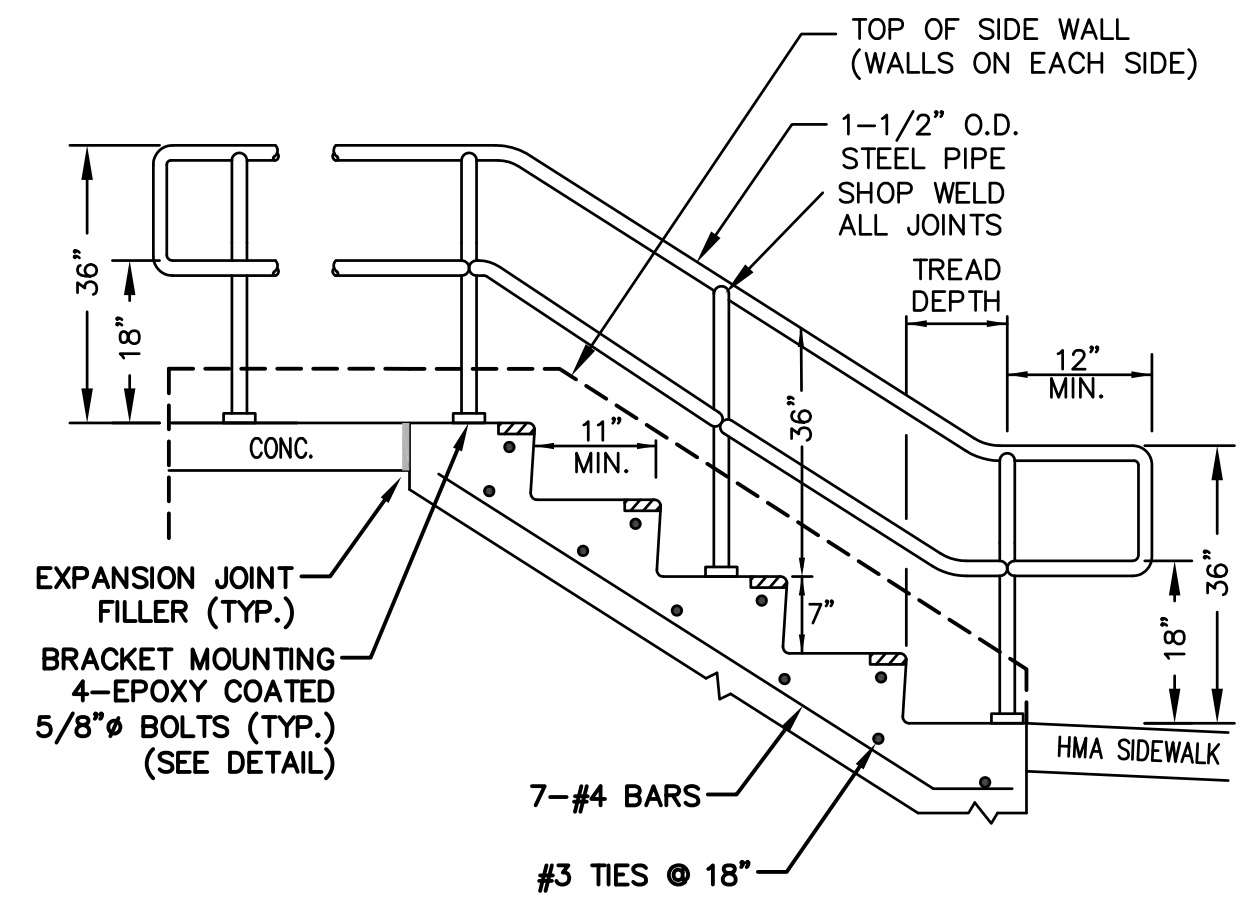
SCALE: N.T.S. DATE: DECEMBER 12, 2017

JOB NO. \ FILE NAME: 1753-COVER_DETAILS
DESIGNED BY: S.B.H.
DRAWN BY: S.B.H.
CHECKED BY: M.J.C.

PLAN NO.
10 of 15

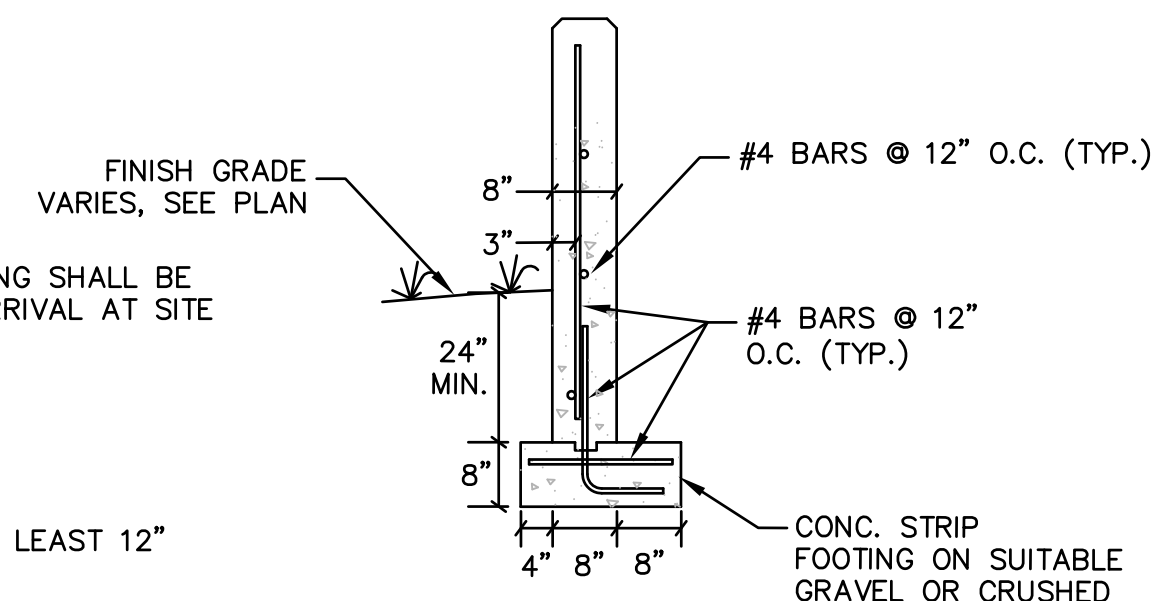


12/12/17

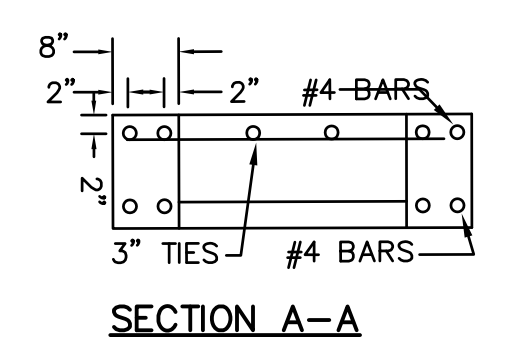


- NOTES:**
1. RAILINGS SHALL BE FABRICATED IN SHOP PRIOR TO SITE DELIVERY. RAILING SHALL BE SEAMLESS PIPE, GALVANIZED, PRIMED AND PAINTED IN SHOP PRIOR TO ARRIVAL AT SITE (FIELD PAINTING SHALL BE TOUCH UP ONLY).
 2. COLOR TO BE DETERMINED BY OWNER.
 3. FIELD MEASURE AND SUBMIT SHOP DRAWINGS PRIOR TO FABRICATION.
 4. HANDRAILS SHALL EXTEND AT LEAST 12" BEYOND THE TOP RISER AND AT LEAST 12" PLUS THE WIDTH OF ON TREAD BEYOND THE BOTTOM RISER.
 5. PROVIDE 12" EXTENSION EXCEPT WHERE THE EXTENSION WILL ENCRONCH ON CITY SIDEWALKS OR WHERE SPACE DOES NOT PERMIT.

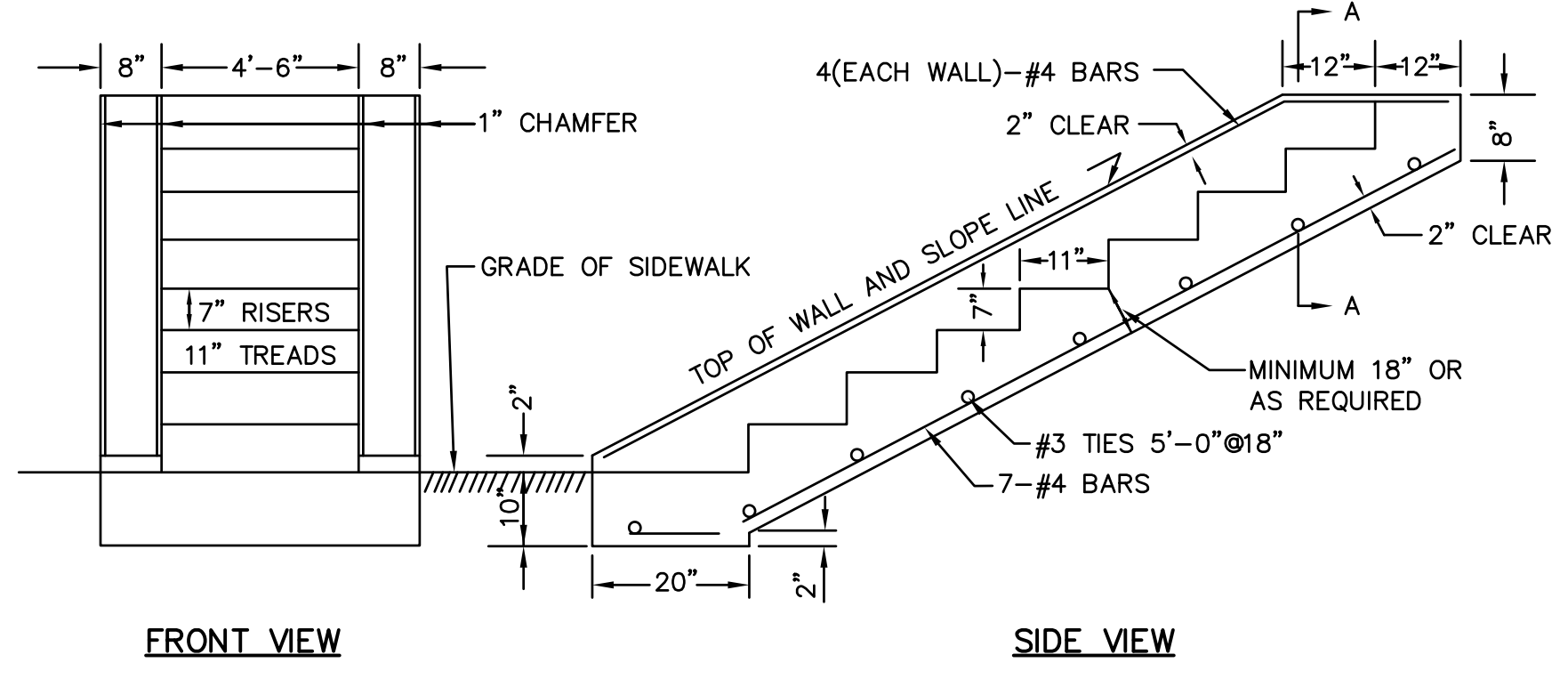
GALVANIZED STEEL PIPE STAIR HAND RAIL
N.T.S.



SECTION OF STAIR SIDEWALK FOOTING
N.T.S.



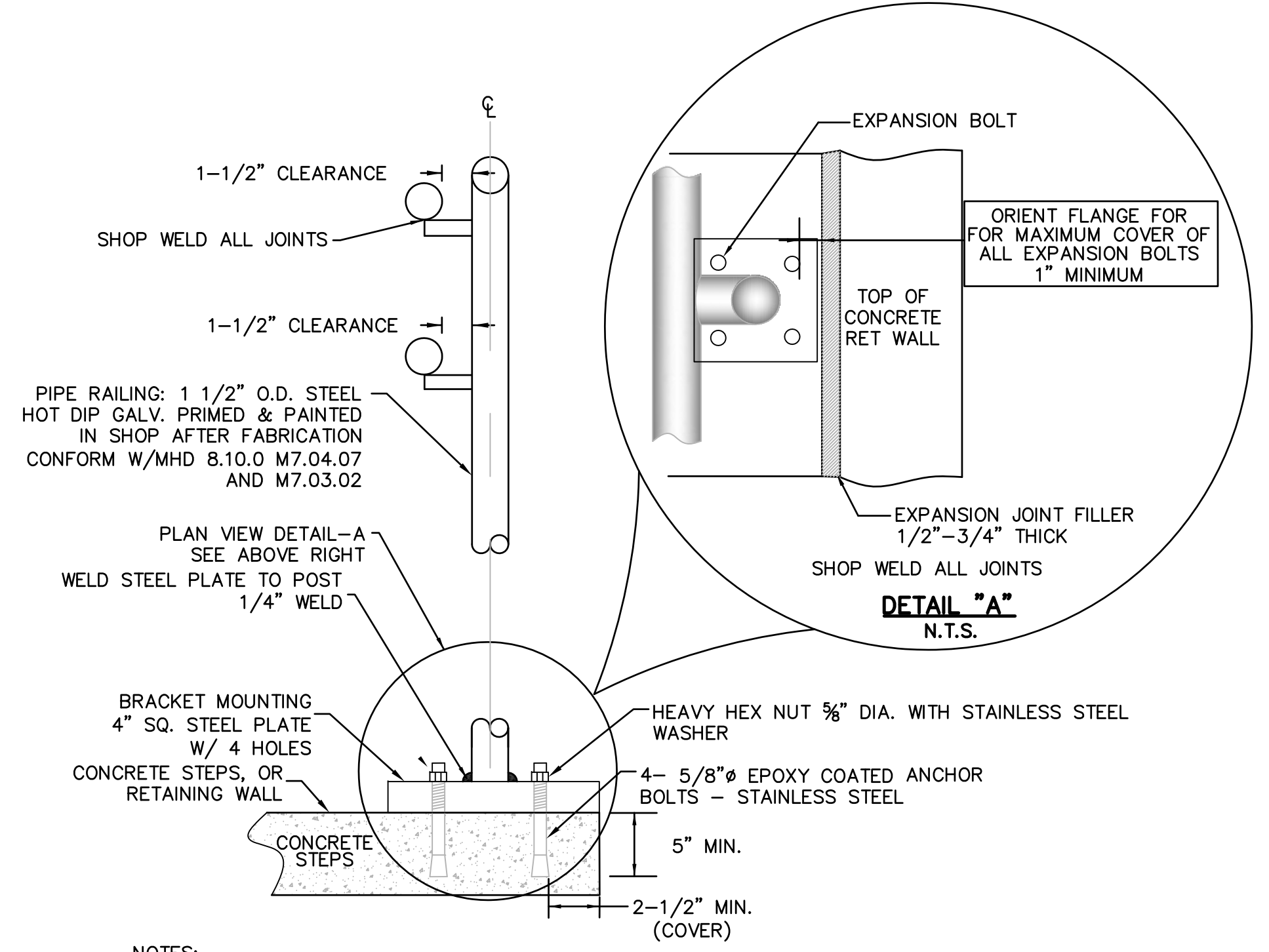
SECTION A-A



FRONT VIEW SIDE VIEW

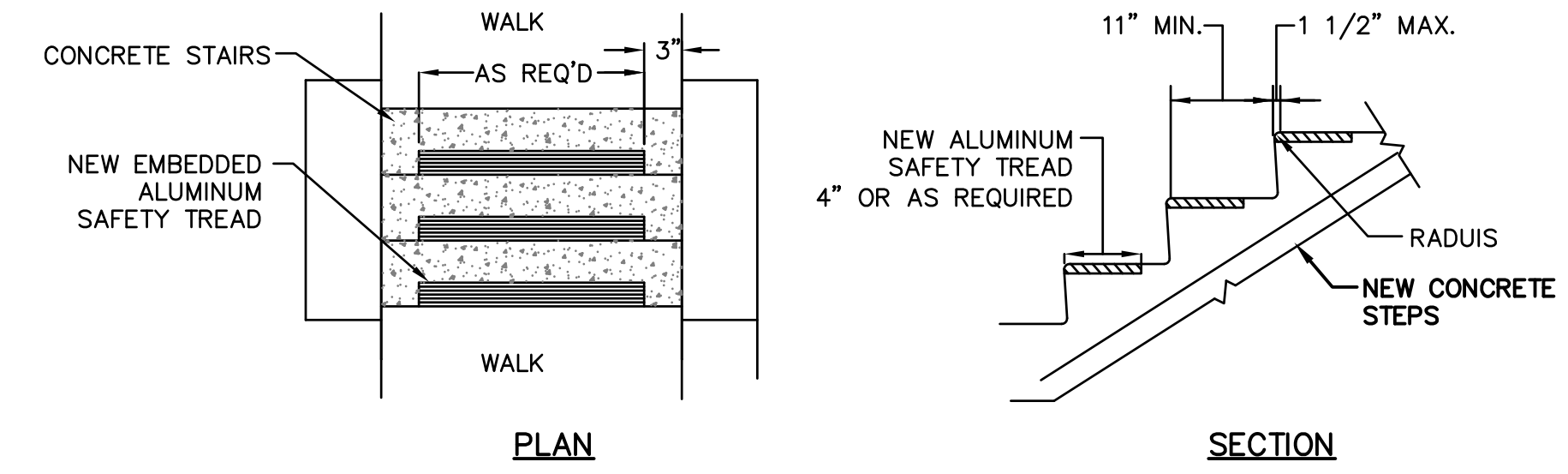
- NOTES:**
1. CONTRACTOR SHALL FILL AND GRADE AS NECESSARY AT ALL STAIR LOCATIONS.

CAST-IN-PLACE SITE STEPS
N.T.S.



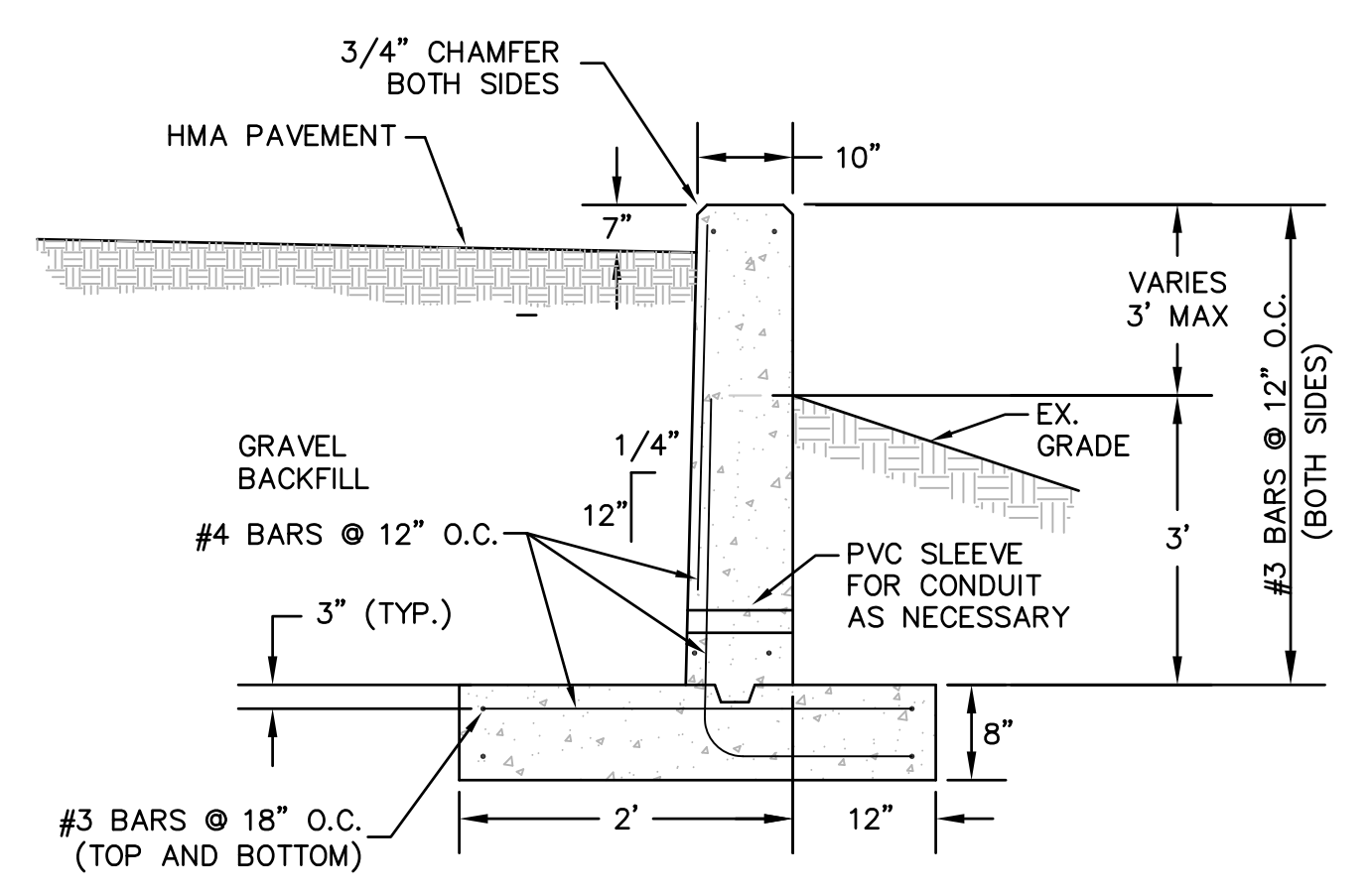
- NOTES:**
- 1.) BOLTS SHALL BE "KWIK BOLT 3" STAINLESS STEEL. 5 1/2" LONG WITH A MINIMUM 3 1/2" EMBEDMENT INTO CONCRETE. FOUR (4) ON EACH FLANGE.
 - 2.) FIELD MEASURE AND SUBMIT SHOP DRAWINGS PRIOR TO FABRICATION.

CONTINUOUS METAL HANDRAIL
N.T.S.



- NOTES:**
1. NEW SAFETY TREAD EMBEDDED IN CAST-IN-PLACE CONCRETE STEPS.
 2. SAFETY TREADS TO BE PLACED ON ALL NEW BUILDING AND SITE STEPS.

STAIR NOSING & STEP SAFETY TREADS
N.T.S.



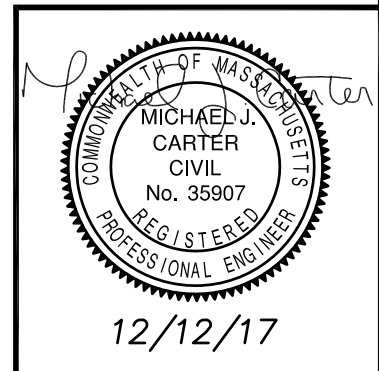
- NOTES:**
1. CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.
 2. REINFORCEMENT ASTM A-615 GRADE 60, 2" MIN COVER.

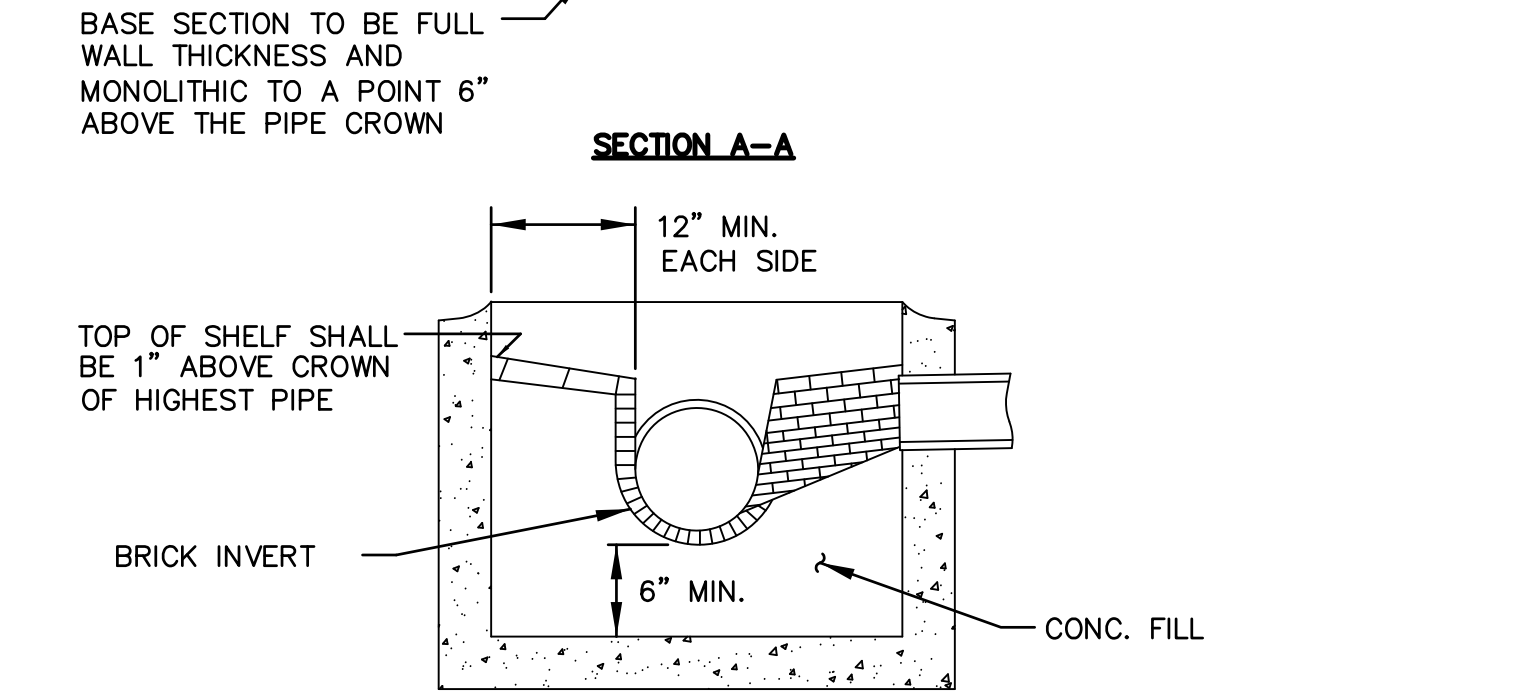
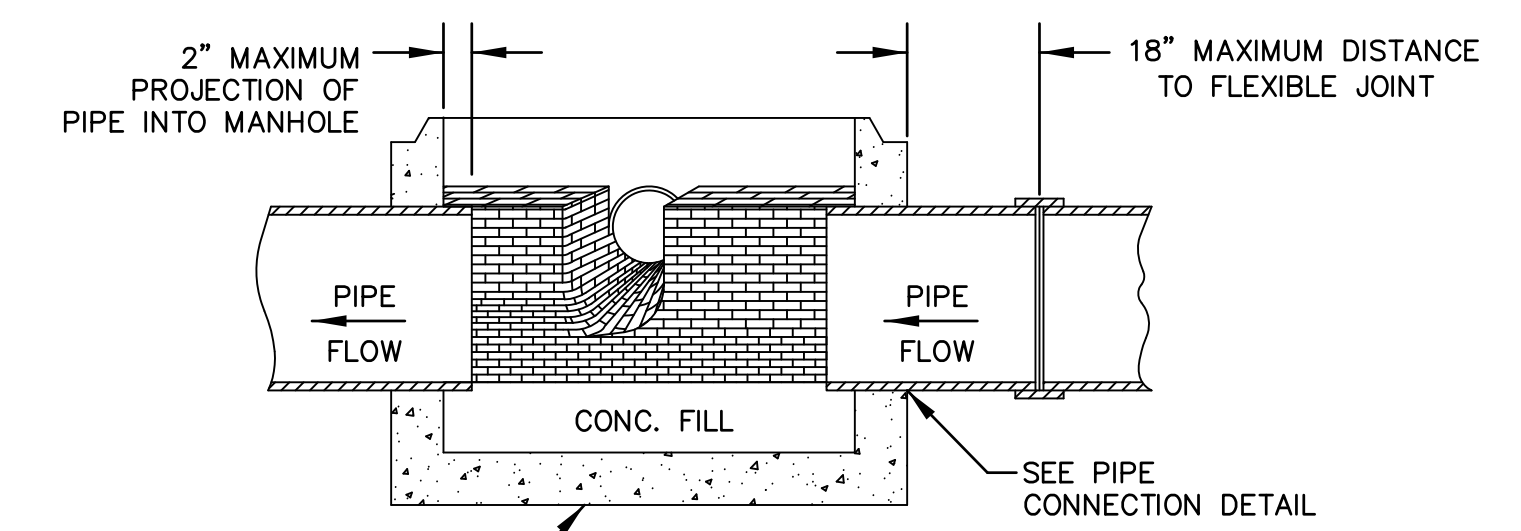
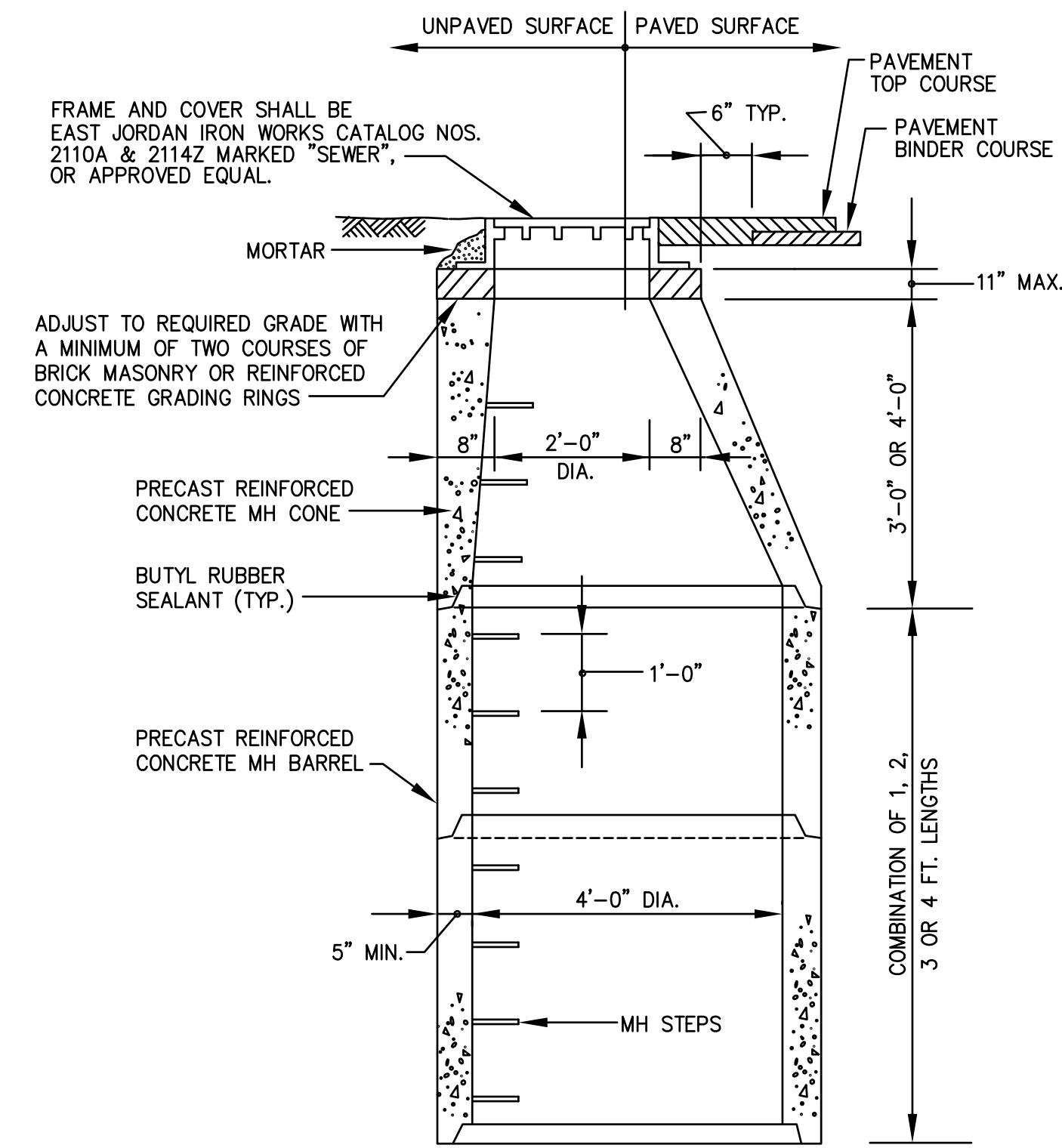
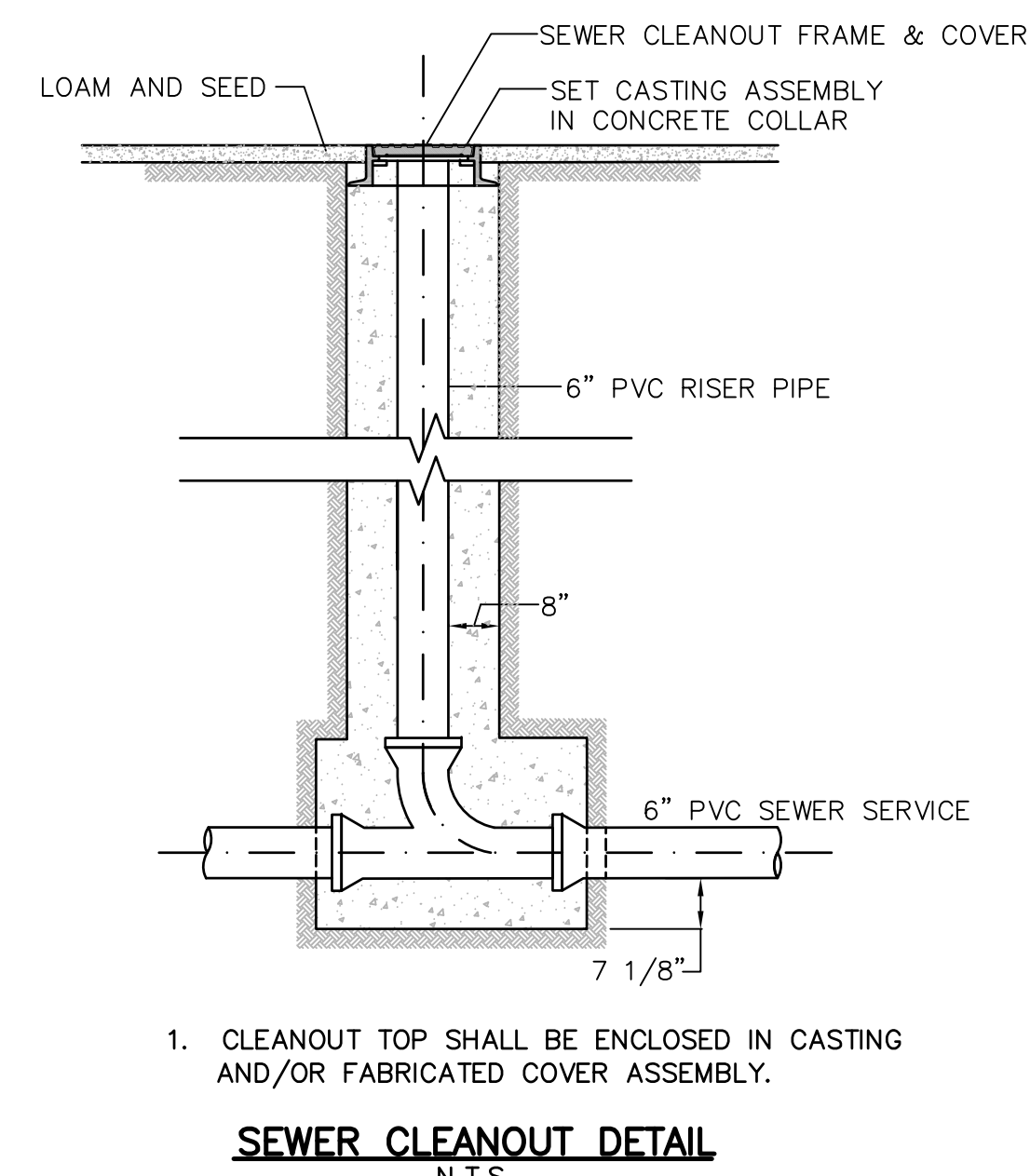
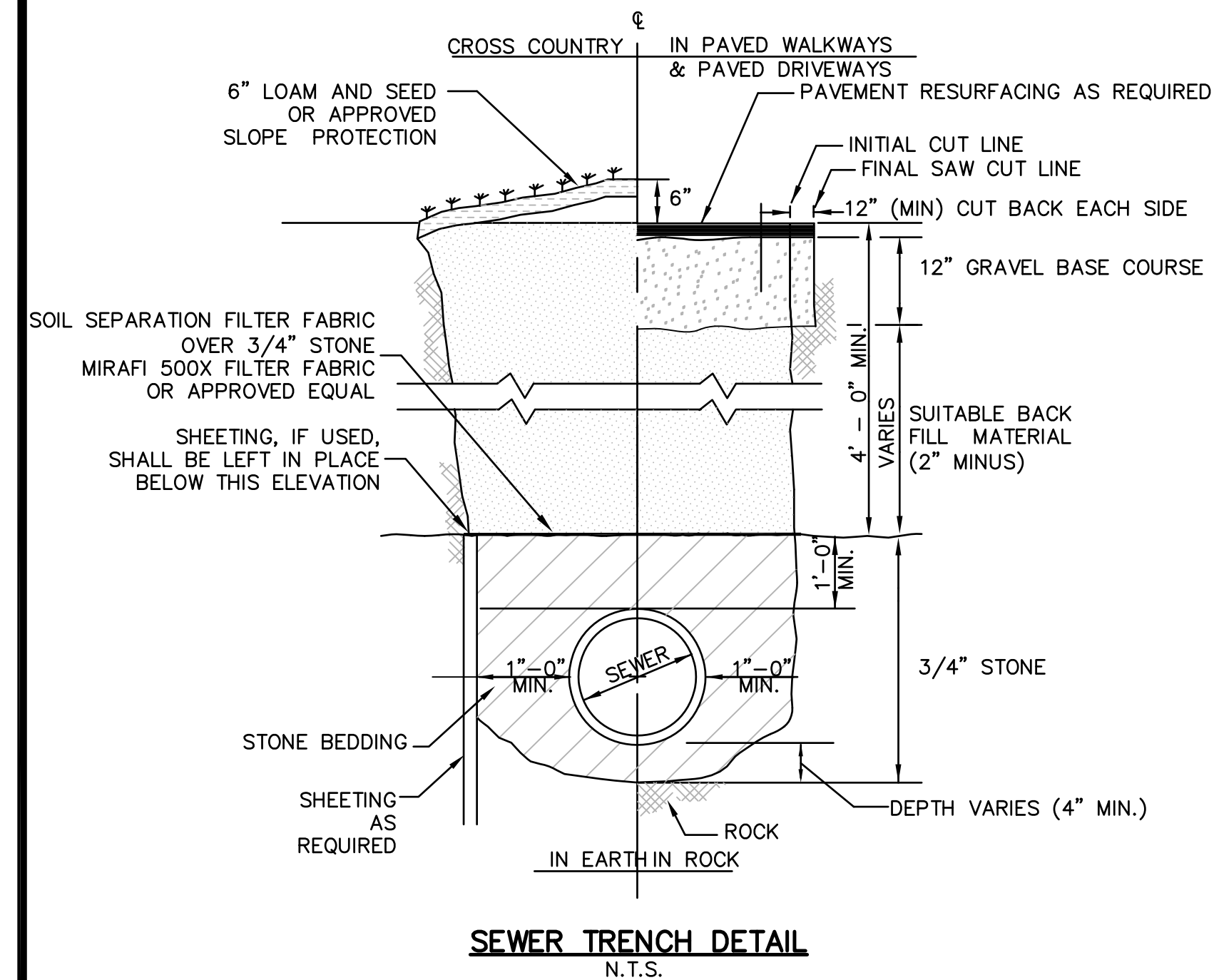
CAST-IN-PLACE RETAINING WALL
N.T.S.

GENERAL NOTES FOR CAST-IN-PLACE CONCRETE STEPS

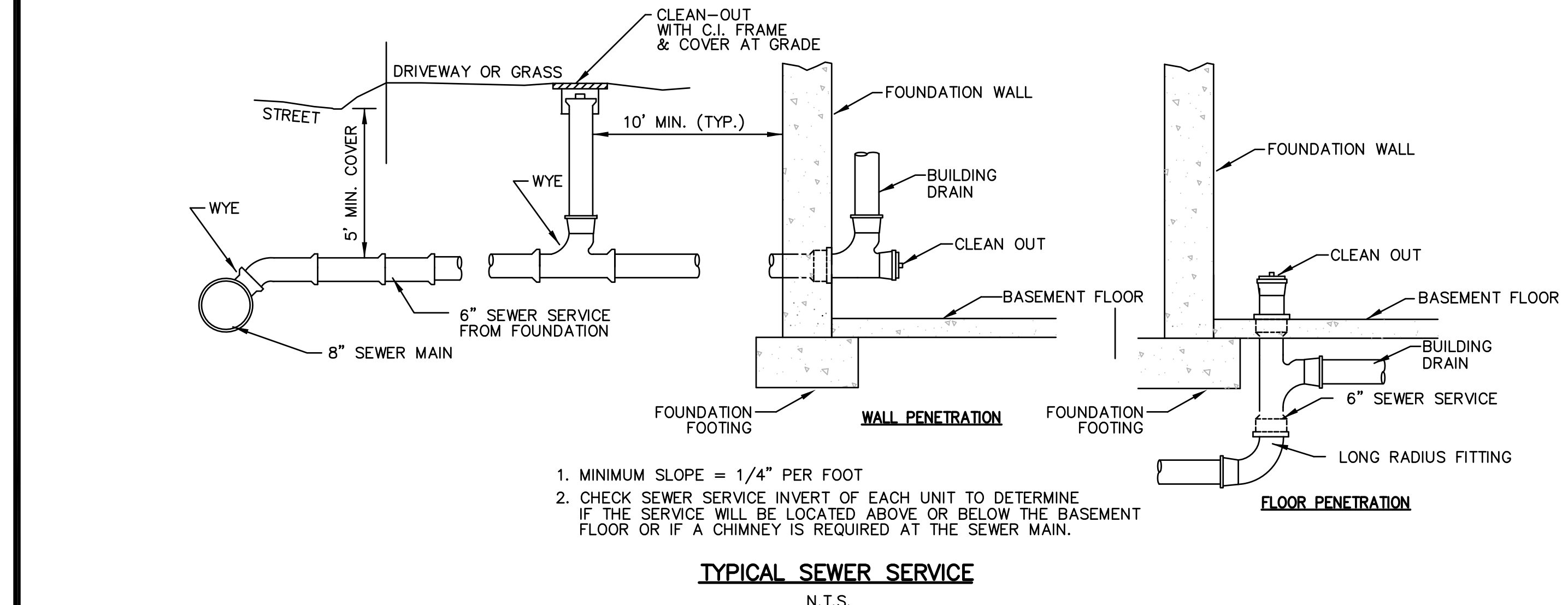
1. THE STEPS TO BE REPLACED SHALL BE 4000 PSI CONCRETE, WITH #4 AT 12" EACH WAY.
2. THE CONCRETE SHALL BE 15" THICK AT RAILING POST LOCATIONS.
3. 6" OF COMPACTED GRAVEL BASE SHALL BE PLACED UNDER ALL CONCRETE POURS.
4. STEPS AND LANDINGS SHALL RECEIVE A BRUSHED FINISH THAT PROVIDES A DURABLE NONSLIP SURFACE.
5. THE CONTRACTOR IS RESPONSIBLE FOR PATCHING EXISTING AREAS IMPACTED BY THE CONSTRUCTION.

DETAIL SHEET III		
ISLINGTON VILLAGE WESTWOOD, MA NORFOLK COUNTY		
GCG ASSOCIATES, INC.		
WILMINGTON		MASSACHUSETTS
SCALE: N.T.S.		DATE: DECEMBER 12, 2017
JOB NO. \ FILE NAME: 1753-COVER_DETAILS	DESIGNED BY: S.B.H. DRAWN BY: S.B.H. CHECKED BY: M.J.C.	PLAN NO. 12 of 15

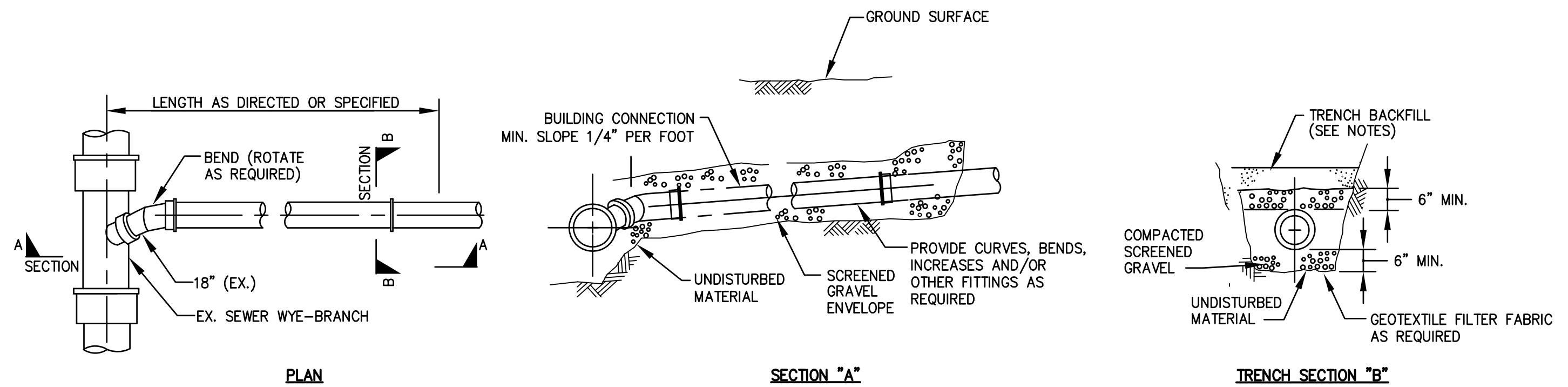
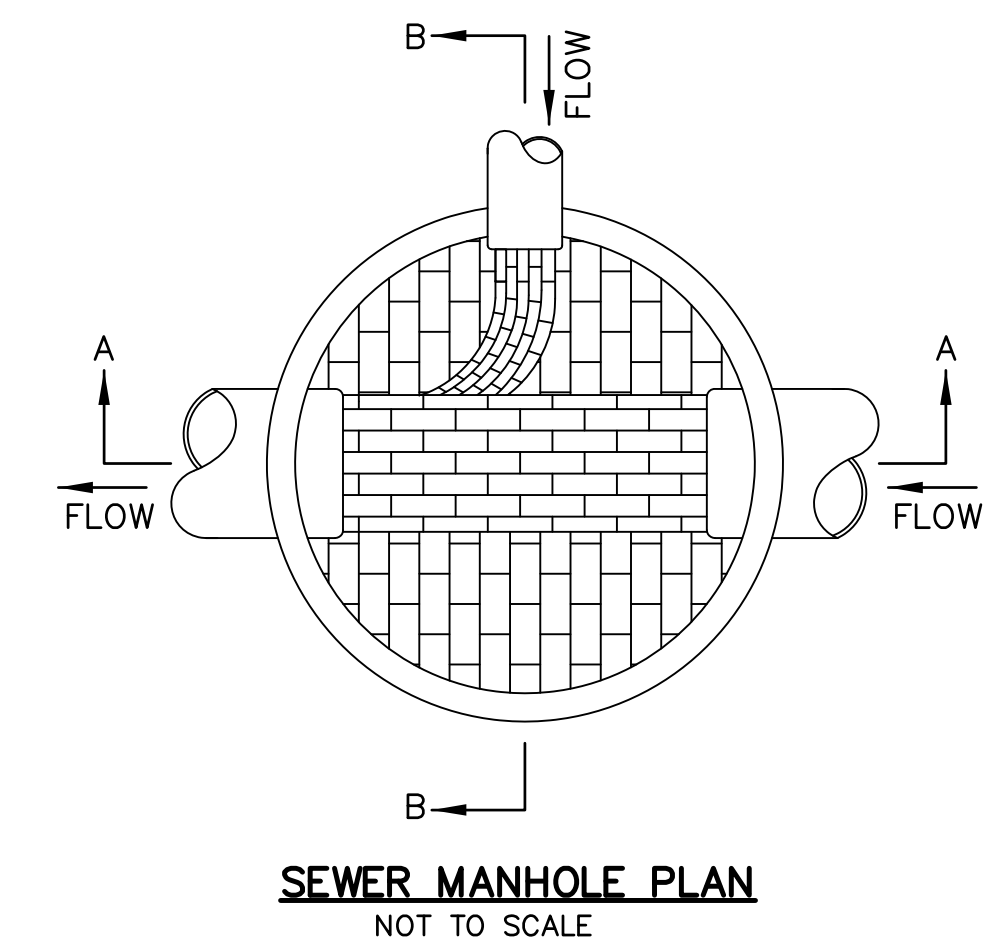
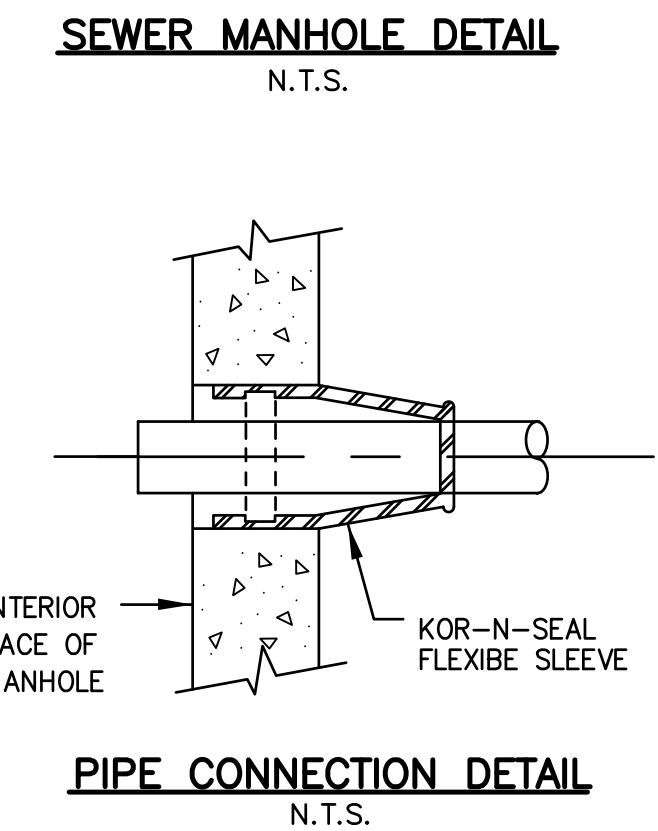




NOTE:
1. CARE SHALL BE TAKEN TO INSURE THAT THE BRICK INVERT IS A SMOOTH CONTINUATION OF THE SEWER INVERT. INVERT BRICKS SHALL BE LAID ON EDGE.
2. INVERT AND SHELF TO BE PLACED AFTER VACUUM TEST.



NOTE:
ALL EXTERIOR SURFACES OF MANHOLE GRADE ADJUSTMENT COURSES SHALL BE COVERED WITH 1/4" TO 3/8" MASONRY CEMENT PLASTER.



- GENERAL SEWER NOTES**
- 1.) ALL MATERIALS FOR SEWER SHALL CONFORM TO THE TOWN OF WESTWOOD SEWER DEPARTMENT REQUIREMENTS.
 - 2.) PROPOSED SEWER SERVICES ARE SHOWN IN THEIR APPROXIMATE LOCATION. THE EXACT LOCATION OF EACH SEWER SERVICE WILL BE DETERMINED BY THE ENGINEER AFTER TEST PITS ARE COMPLETED.
 - 3.) THE CONTRACTOR SHALL BE RESPONSIBLE TO DETERMINE THE LOCATION OF THE EXISTING SEWER SERVICES AT FOR CONNECTION TO THE PROPOSED SEWER.
 - 4.) ALL NEW GRAVITY SANITARY SEWER PIPE AND FITTINGS SHALL BE PVC PIPE, SDR-35 IN CONFORMANCE WITH ASTM D-3034.
 - 5.) EXISTING SEWERS SHALL BE PIPED THROUGH MANHOLES WHERE APPROPRIATE WITH TWO FERNCO COUPLINGS..
 - 6.) SEWER MANHOLES, SEWER PIPE AND ALL OTHER SEWER/SEPTIC/SESPOL COMPONENTS IN THE LOCATION OF ABANDONED SEWER EASEMENT ON ASSESSOR'S PARCEL 23-162 AS WELL AS ANY OTHER ABANDONED SEWER PIPE ON LOCUS PARCELS SHALL BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS.

- PLAN**
- NOTES:**
1. TRENCH BACKFILL TO BE USED WITHIN THE RIGHT-OF-WAY SHALL CONSIST OF EITHER GRAVEL BORROW MEETING MHD SPECIFICATION M1.03.0, TYPE "B" OR PROCESSED GRAVEL BORROW FOR SUBBASE MEETING MHD SPECIFICATION M1.03.1.
 2. WHERE THE REMOVAL OF 100 SQUARE FEET OR LESS OF ASPHALT IS REQUIRED WITHIN THE RIGHT OF WAY, THEN THE TRENCH BACKFILL MATERIAL SHALL CONSIST OF CONTROLLED DENSITY FILL MEETING MHD SPECIFICATION M4.08.0, TYPE "1E" OR "2E".
 3. TRENCH BACKFILL MATERIAL TO BE USED OUTSIDE OF THE RIGHT-OF-WAY MAY CONSIST OF MATERIAL GENERATED DURING EXCAVATIONS PROVIDED ALL STONES GREATER THAN 4" ARE REMOVED PRIOR TO PLACEMENT AND COMPACTION.
 4. GRANULAR TRENCH BACKFILL MATERIAL USED WITHIN THE RIGHT-OF-WAY SHALL BE PLACED IN MAXIMUM 6" LIFTS AND MECHANICALLY COMPACTED TO A MINIMUM OF 95% OF THE MATERIAL'S MAXIMUM DRY DENSITY AND TO 90% ELSEWHERE AS DETERMINED BY ASTM D 1557.

DETAIL SHEET IV

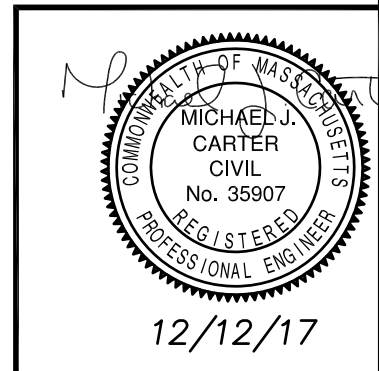
**ISLINGTON VILLAGE
WESTWOOD, MA
NORFOLK COUNTY**

GCG ASSOCIATES, INC.

WILMINGTON MASSACHUSETTS

SCALE: AS NOTED DATE: DECEMBER 12, 2017

JOB NO. \ FILE NAME: 1753-COVER_DETAILS	DESIGNED BY: S.B.H. DRAWN BY: S.B.H. CHECKED BY: M.J.C.	PLAN NO. 13 OF 15
--	---	----------------------



EROSION AND SEDIMENT CONTROL MAINTENANCE

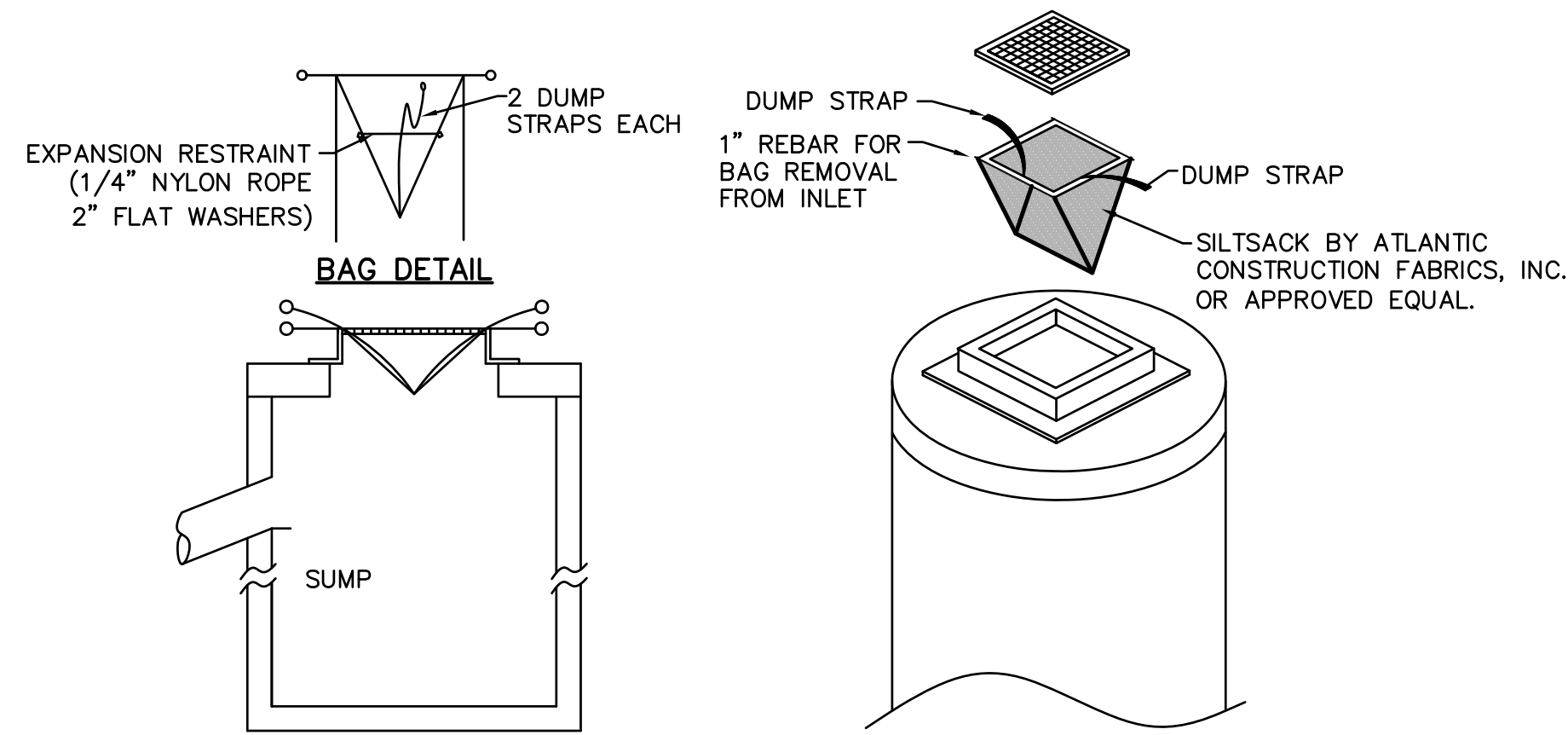
DURING CONSTRUCTION, AS SMALL AN AREA OF SOIL AS POSSIBLE SHOULD BE EXPOSED OR AS SHORT A TIME AS POSSIBLE. AFTER CONSTRUCTION, GRADE, RESPREAD TOPSOIL, AND STABILIZE SOIL BY SEEDING AND MULCHING AS TO PREVENT EROSION.

ALL SEDIMENTATION AND EROSION CONTROL DEVICES SHALL BE INSPECTED DURING CONSTRUCTION ON A DAILY BASIS AND FOLLOWING ALL STORMS BY THE RESIDENT ENGINEER. THE CONTRACTOR SHALL MAINTAIN AND MAKE REPAIRS AND REMOVE SEDIMENT AS REQUESTED BY THE RESIDENT ENGINEER. THIS WORK SHALL BE PERFORMED WITHIN 24 HOURS OF REQUEST.

THE CONTRACTOR SHALL CLEAN SEDIMENT AND DEBRIS FROM ALL DRAINAGE STRUCTURES, AND PIPES AT THE COMPLETION ON CONSTRUCTION, THE CONTRACTOR SHALL REPAIR ALL ERODED AREAS AND ENSURE A GOOD STAND OF TURF IS ESTABLISHED THROUGHOUT. THE CONTRACTOR SHALL REPAIR ALL ERODED OR DISPLACED RIPRAP, AND CLEAN SEDIMENT COVERED STONES.

TRENCHES WITHIN PAVED ROADWAY TO BE CLOSED WITH 3" TEMPORARY PAVEMENT AT THE END OF EACH WORK DAY.

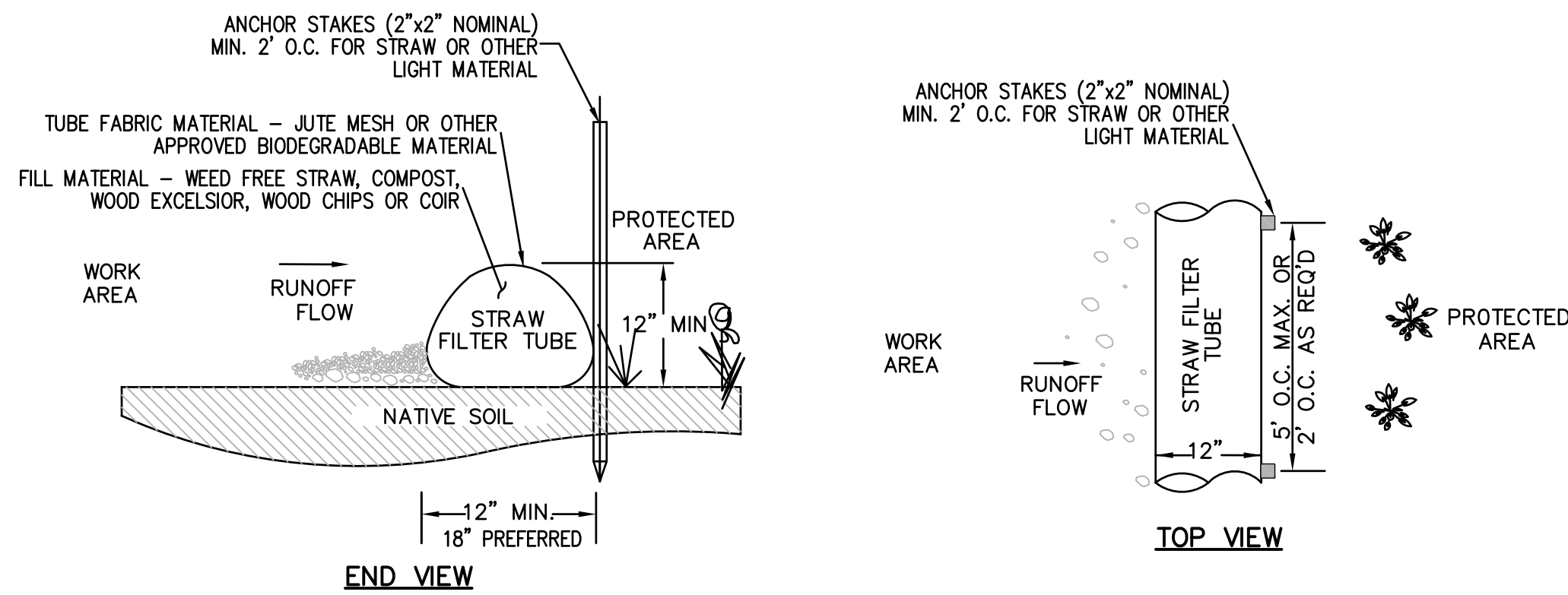
CONTRACTOR TO PERFORM STREET SWEEPING AT THE END OF EACH WORK DAY.



INSTALLATION DETAIL

1. SILT SACKS SHALL BE INSTALLED IN ALL CATCH BASINS DURING CONSTRUCTION PERIOD.
2. INSPECTION SHALL BE WEEKLY AND REPAIR/REPLACEMENT MADE PROMPTLY AS NEEDED.
3. SILT SACKS SHALL BE KEPT CLEAN AND FREE OF DEBRIS.

SILTSACK DETAIL
N.T.S.



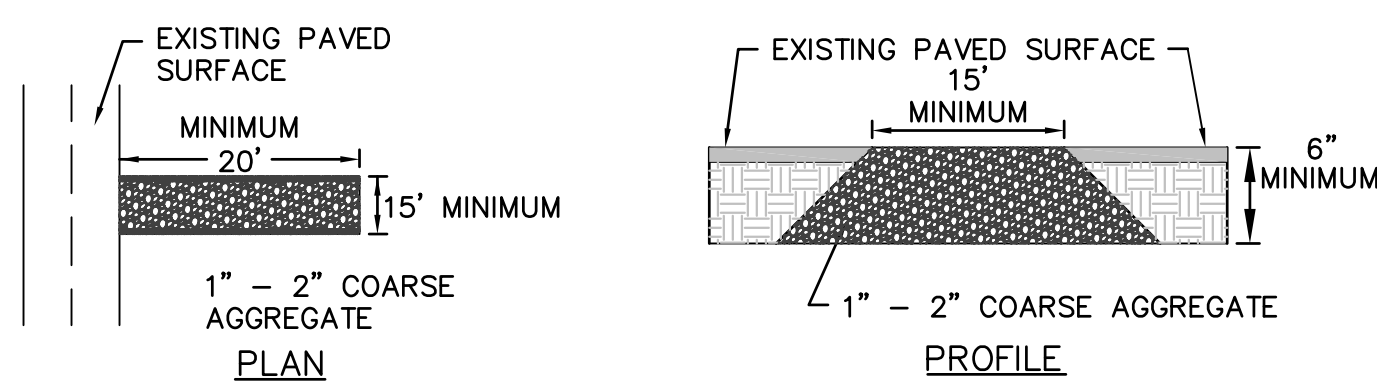
END VIEW

TOP VIEW

NOTES:

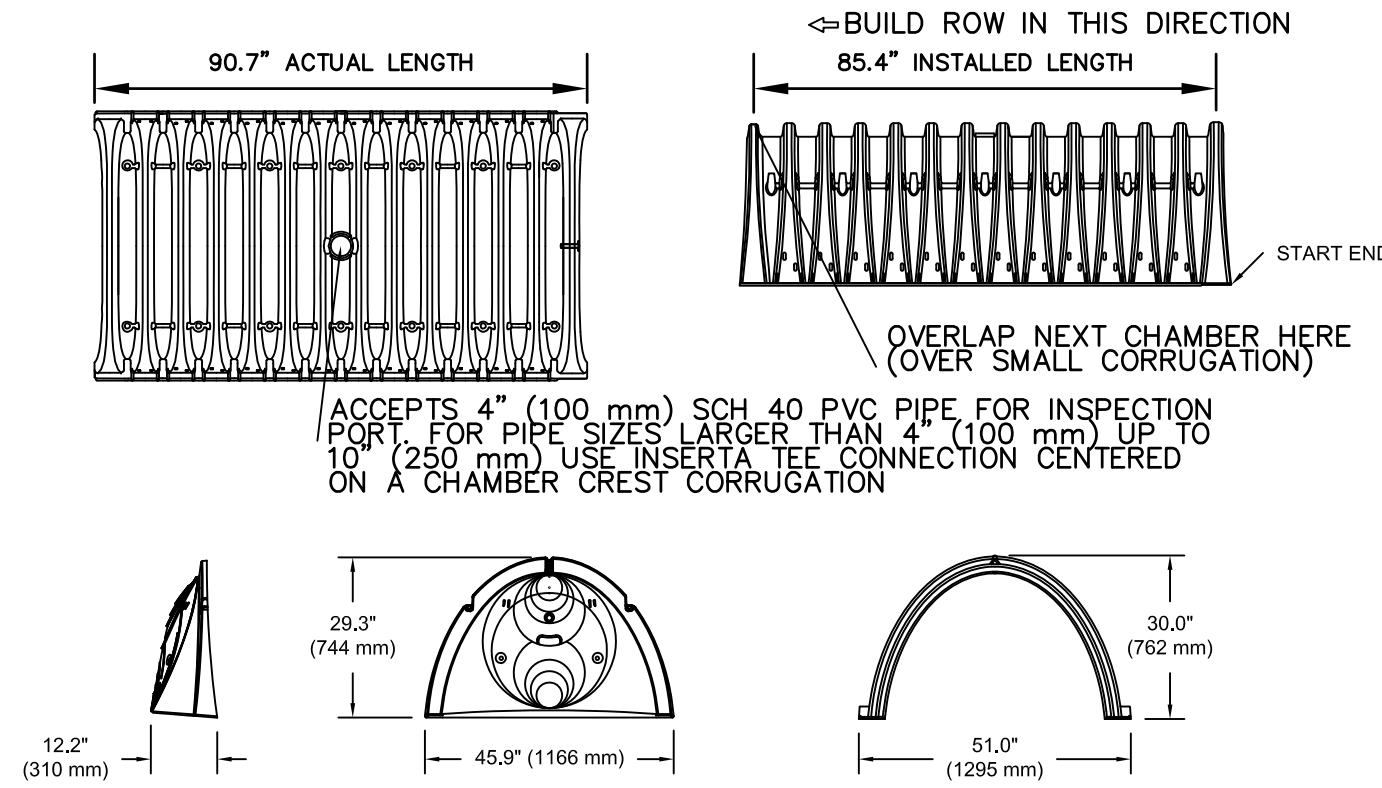
1. TUBES MAY BE FILLED ON SITE OR SHIPPED.
2. ENSURE PROPER LOCATION AT SITE FOR EFFECTIVENESS.
3. TUBES SHALL BE PLACED AND STAKED IN PLACE AS REQUIRED TO ENSURE STABILITY AGAINST WATER FLOWS.
4. TUBES FILLED WITH LIGHT MATERIAL SHALL BE STAKED AT A MAXIMUM OF 2 FEET ON CENTER. FOR HEAVIER MATERIAL, 5 FEET ON CENTER.
5. TUBES SHALL BE TAMPED TO ENSURE GOOD CONTACT WITH SOIL.
6. INSPECT AFTER EACH RAINFALL OR DAILY DURING RAINFALL EVENTS. CORRECT ALL DEFICIENCIES IMMEDIATELY.
7. FAILURE INCLUDES BUT IS NOT LIMITED TO WASHOUT, OVERTOPPING, CLOGGING, AND EROSION. IF OVERTOPPING OR WASHOUT OCCURS, NEW FILTER TUBES WITH ADDITIONAL STAKING OR STRAW MATERIAL SHALL BE INSTALLED AS DIRECTED BY THE ENGINEER.
8. FILTER TUBES SHALL BE REMOVED ONCE SITE WORK IS COMPLETE, SITE IS STABLE, ADEQUATE GROWTH HAS BEEN ESTABLISHED AND AS DIRECTED BY THE ENGINEER. TUBE FABRIC SHALL BE CUT, REMOVED AND DISPOSED OF OFF-SITE BY THE CONTRACTOR AT NO ADDITIONAL COST.

STRAW FILTER TUBE DETAIL
N.T.S.



1. THE STONE USED FOR CONSTRUCTION ENTRANCE SHALL BE 1-2 INCH SIZED COARSE AGGREGATE.
2. THE AGGREGATE SHALL BE AT MINIMUM 6 INCHES THICK.
3. OCCASIONAL REMOVAL AND REINSTALLATION OF STONE WILL BE REQUIRED TO PREVENT TRACKING OF SEDIMENT ONTO PAVED ROADS.

CONSTRUCTION ENTRANCE
N.T.S.

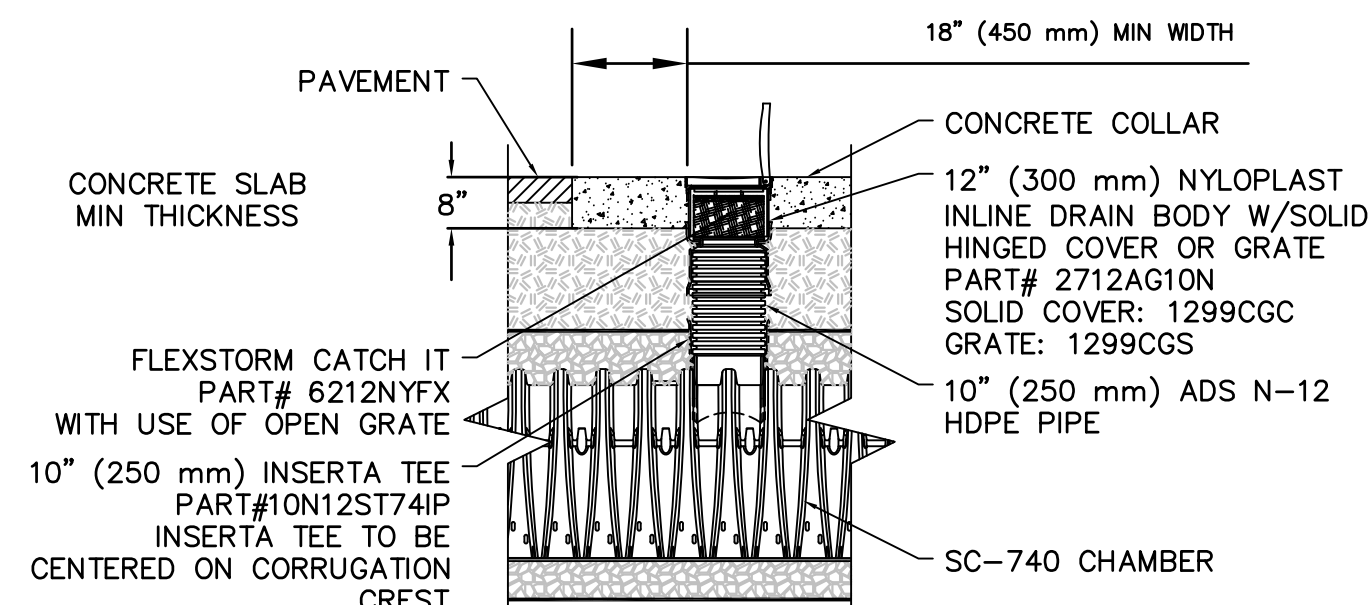


NOMINAL CHAMBER SPECIFICATIONS
 SIZE (W X H X INSTALLED LENGTH) 51.0" X 30.0" X 85.4"
 CHAMBER STORAGE 45.9 CUBIC FEET
 MINIMUM INSTALLED STORAGE* 74.9 CUBIC FEET
 WEIGHT 75.0 lbs.

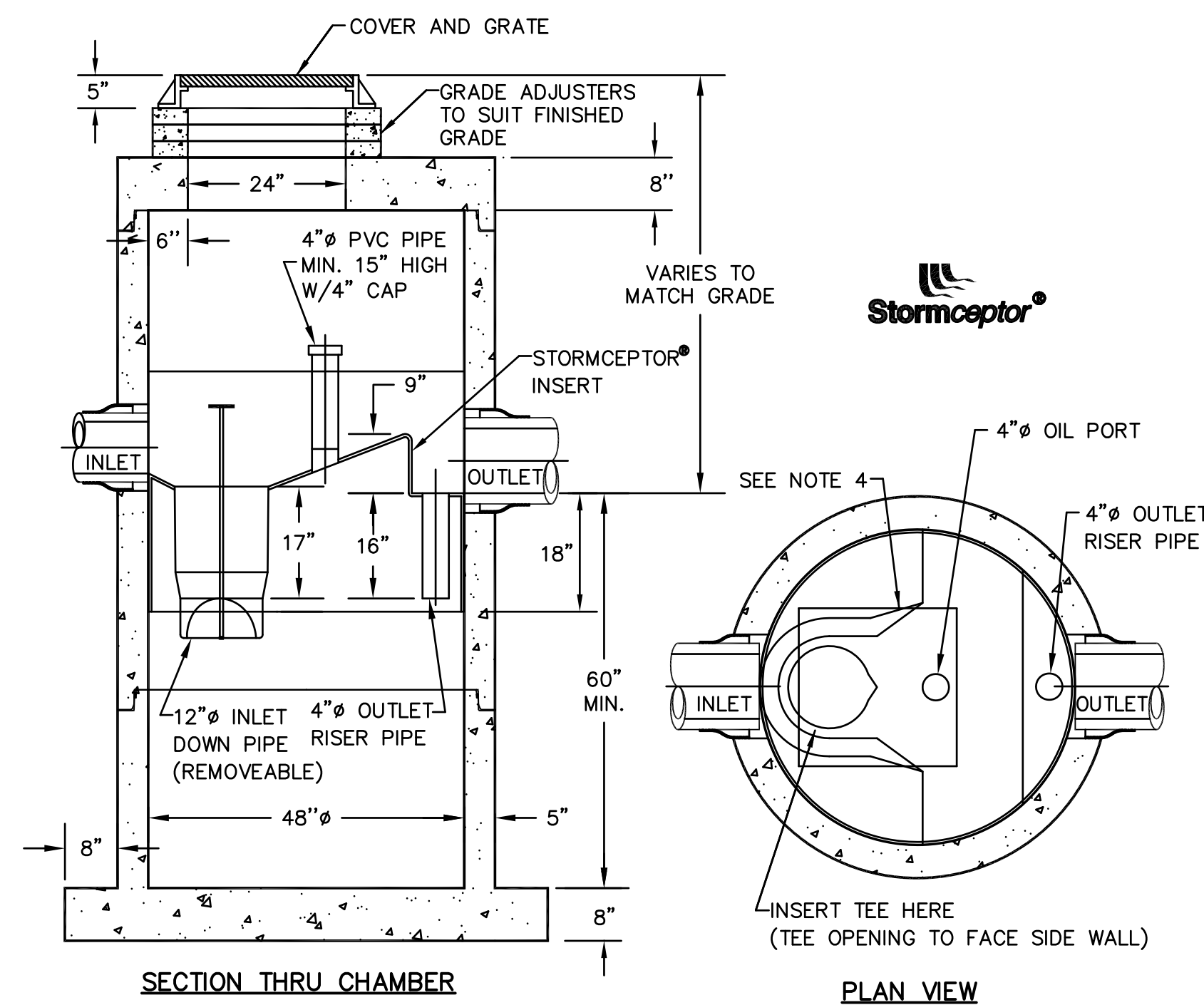
*ASSUMES 6" STONE ABOVE, BELOW, AND BETWEEN CHAMBERS

STUBS AT BOTTOM OF END CAP FOR PART NUMBERS ENDING WITH "B"
 STUBS AT TOP OF END CAP FOR PART NUMBERS ENDING WITH "T"

STORMTECH SC-740 INFILTRATION CHAMBER
N.T.S.



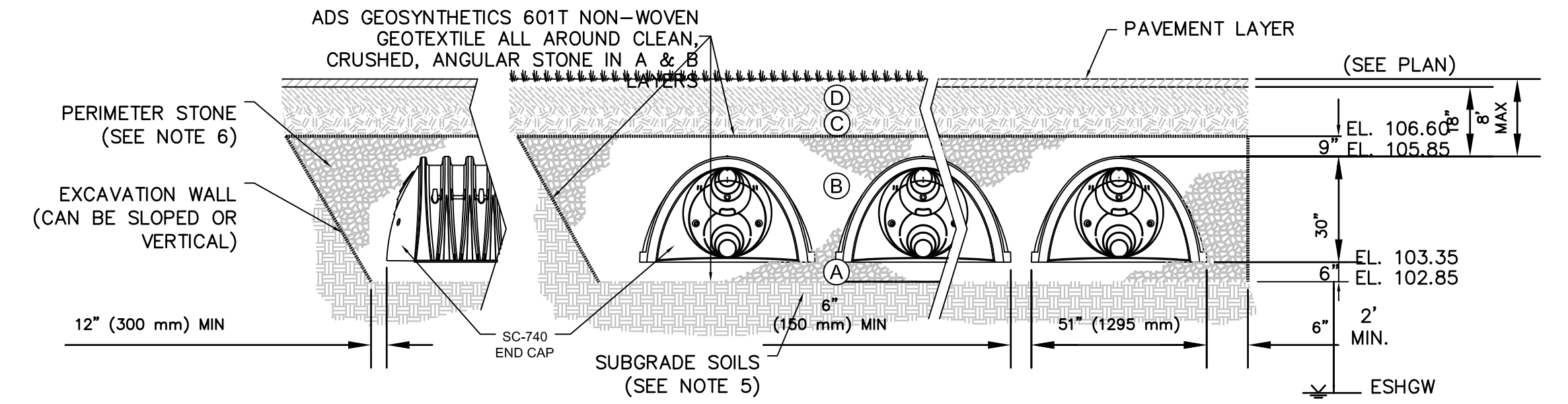
SC-740 INSPECTION PORT DETAIL
N.T.S.



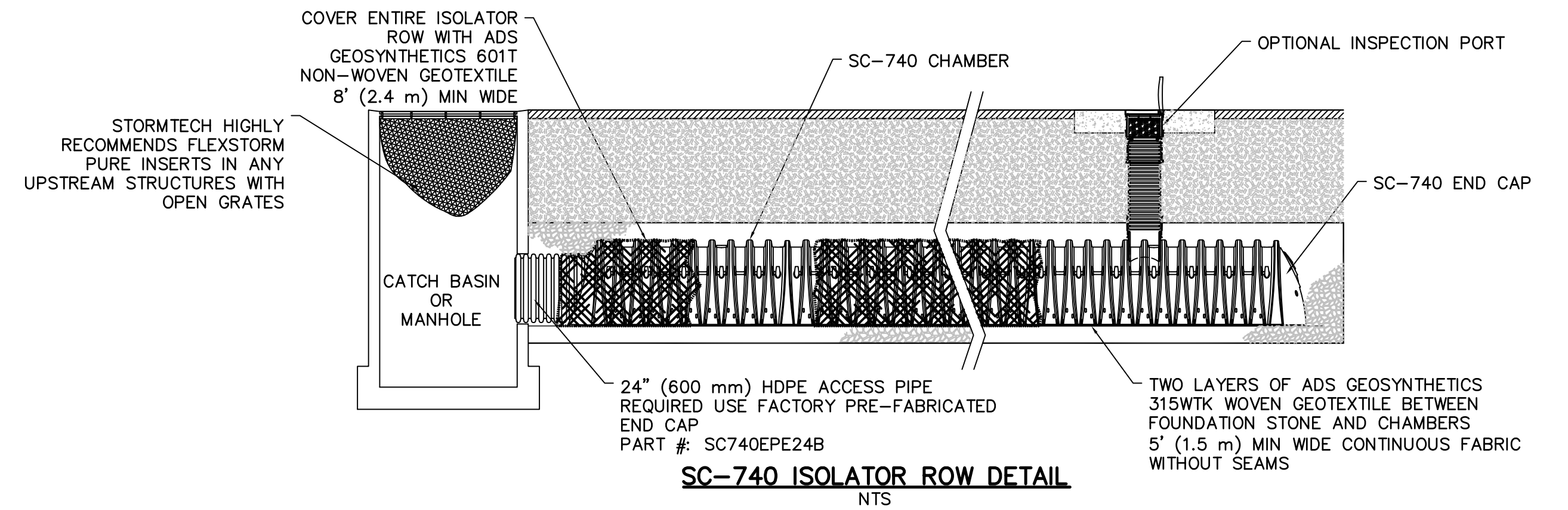
NOTES:

1. STC 450I PRECAST CONCRETE STORMCEPTOR
2. 450 U.S. GALLON CAPACITY
3. THE USE OF FLEXIBLE CONNECTION IS RECOMMENDED AT THE INLET AND OUTLET WHERE APPLICABLE.
4. THE COVER SHOULD BE POSITIONED OVER THE INLET DROP PIPE AND THE OIL PORT.
5. THE STORMCEPTOR SYSTEM IS PROTECTED BY ONE OR MORE OF THE FOLLOWING U.S. PATENTS: #4985148, #5498331, #5725760, #5753115, #5849181, #6068765, #6371690.
6. CONTACT A CONCRETE PIPE DIVISION REPRESENTATIVE FOR FURTHER DETAILS NOT LISTED ON THIS DRAWING.

WATER QUALITY STRUCTURE DETAIL
N.T.S.



STORMTECH SC-740 (INFILTRATION BED)
TYPICAL CROSS SECTION
N.T.S.



SC-740 ISOLATOR ROW DETAIL
N.T.S.

EROSION & SEDIMENT CONTROL NOTES:

1. THE SUBSURFACE INFILTRATION SYSTEMS SHALL BE CONSTRUCTED UNDER CONDITIONS WHICH WILL PRECLUDE THE ENTRANCE OF PRODUCTS OF EROSION AND SHOULD BE BACKFILLED IMMEDIATELY AND THE AREA MADE EROSION RESISTANT.
2. BARRIERS SHALL BE PLACED TO PREVENT VEHICLES FROM DRIVING OVER THE SYSTEM UNTIL THE INFILTRATION AREA IS BUILT AND CONSTRUCTED TO FINAL GRADE TO REDUCE VEHICULAR IMPACT TO THE SYSTEM. TEMPORARY CONSTRUCTION FENCE SHALL BE INSTALLED IN LOCATION AS SHOWN ON THIS PLAN DURING CONSTRUCTION PERIOD. FENCE SHALL BE INSPECTED DAILY AND REPAIRED AS NEEDED DURING CONSTRUCTION PERIOD.
3. CONSTRUCTION PERIOD SILT SACKS SHALL BE USED AT ALL INSTALLED CATCH BASINS. SILT SACKS SHALL BE KEPT FREE OF SEDIMENT AND DEBRIS, INSPECTED WEEKLY AND REPAIRED PROMPTLY.
4. SEDIMENT AND EROSION CONTROL STRAW FILTER TUBES SHALL BE PLACED UPSTREAM OF PROPOSED INFILTRATION SYSTEM LOCATION AS SHOWN ON THIS PLAN DURING CONSTRUCTION PERIOD. EROSION CONTROLS SHALL BE INSPECTED DAILY FOR SEDIMENT BUILDUP, DAMAGED FILTER TUBES AND FOR EVIDENCE OF RUNOFF BY-PASS AND CLEANED OR REPAIRED IMMEDIATELY.
5. ALL SLOPES AND EXCAVATIONS SHALL BE STABILIZED DURING CONSTRUCTION USING JUTE NETTING AND EROSION CONTROL BLANKETS. INSPECT FOR PROPER GROUND CONTACT. REPLACE DETERIORATED BLANKETS AND ADD LOAM AND CHAMBER END AREAS AND RE-STABLE OR PIN FABRIC MATERIAL AS NEEDED.

1. SC-740 CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2418 "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS", OR ASTM F2922 "STANDARD SPECIFICATION FOR POLYETHYLENE (PE) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
2. SC-740 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
3. "ACCEPTABLE FILL MATERIALS" TABLE ABOVE PROVIDES MATERIAL LOCATIONS, DESCRIPTIONS, GRADATIONS, AND COMPACTION REQUIREMENTS FOR FOUNDATION, EMBEDMENT, AND FILL MATERIALS.
4. THE "SITE DESIGN ENGINEER" REFERS TO THE ENGINEER RESPONSIBLE FOR THE DESIGN OF THE STORMTECH CHAMBERS FOR THIS PROJECT.
5. THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
6. PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
7. ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.

DETAIL SHEET V

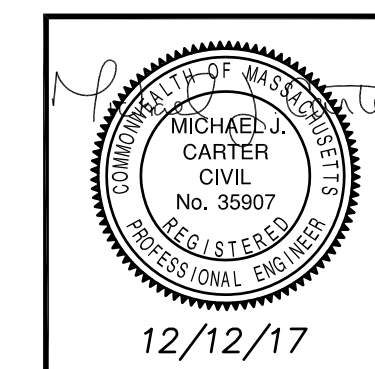
ISLINGTON VILLAGE
WESTWOOD, MA
NORFOLK COUNTY

GCG ASSOCIATES, INC.

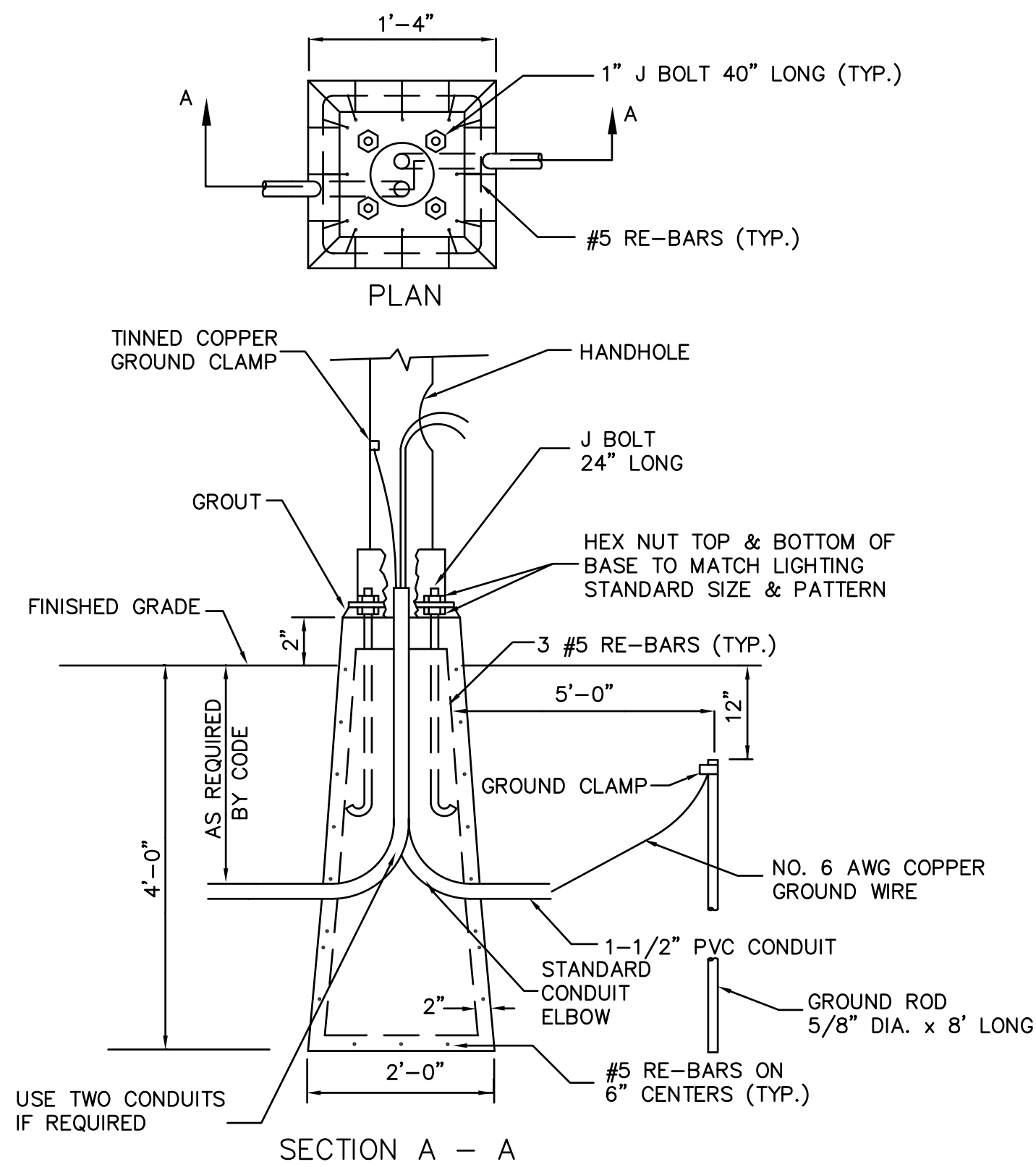
WILMINGTON MASSACHUSETTS

SCALE: AS NOTED DATE: DECEMBER 12, 2017

JOB NO./FILE NAME: 1753-COVER_DETAILS DESIGNED BY: S.B.H. PLAN NO. 14 OF 15
 DRAWN BY: S.B.H.
 CHECKED BY: M.J.C.

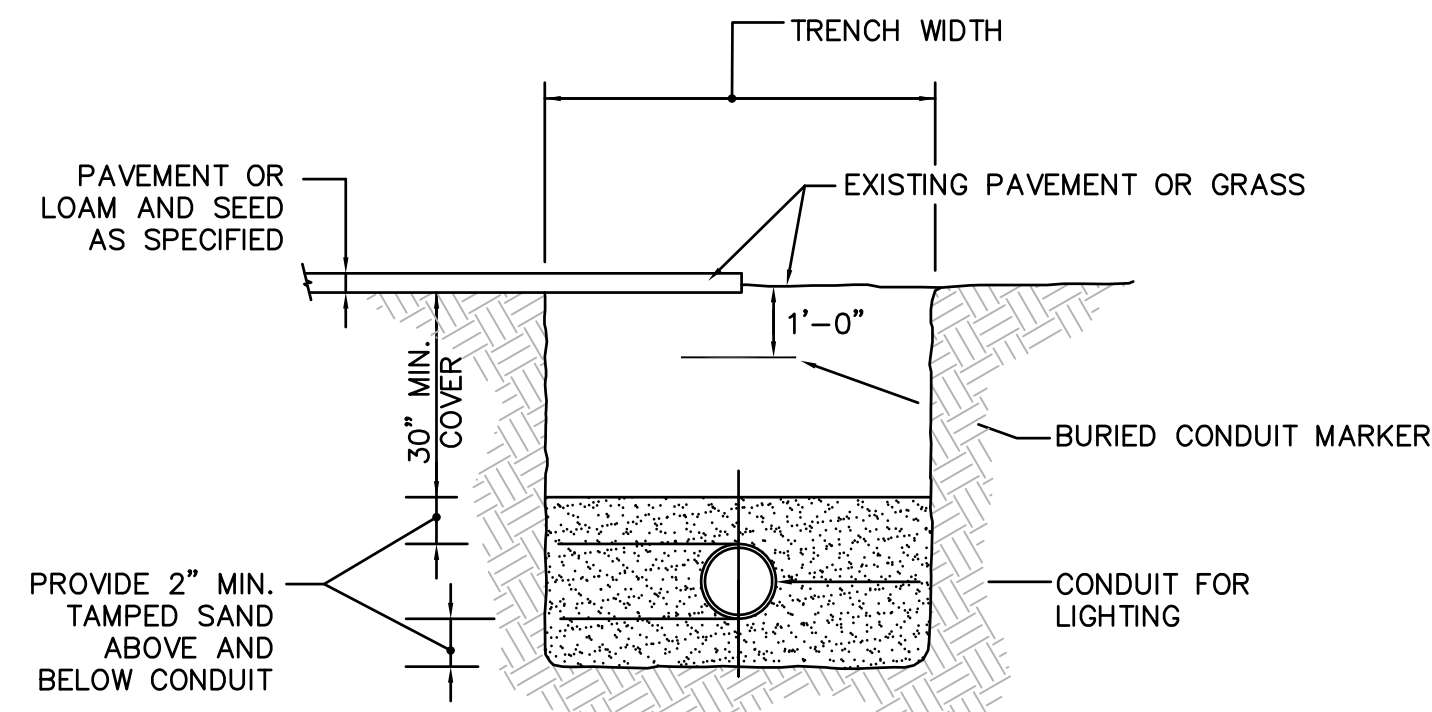


12/12/17



PRECAST LIGHTING FOUNDATION (BASE)
N.T.S.

NOTES:
1. THE LIGHTING FOUNDATION SHOWN IS FOR REFERENCE PURPOSES. THE ACTUAL LIGHT FOUNDATION DESIGN IS SUBJECT TO CHANGE BASED ON FINAL POLE AND FIXTURE SELECTION AND GEOTECHNICAL SITE INVESTIGATION.
2. IF LEDGE IS ENCOUNTERED THE BASE SHALL BE ADJUSTED AND ANCHORED TO THE LEDGE.
3. THE CONTRACTOR MAY SUBSTITUTE A CAST IN PLACE BASE.



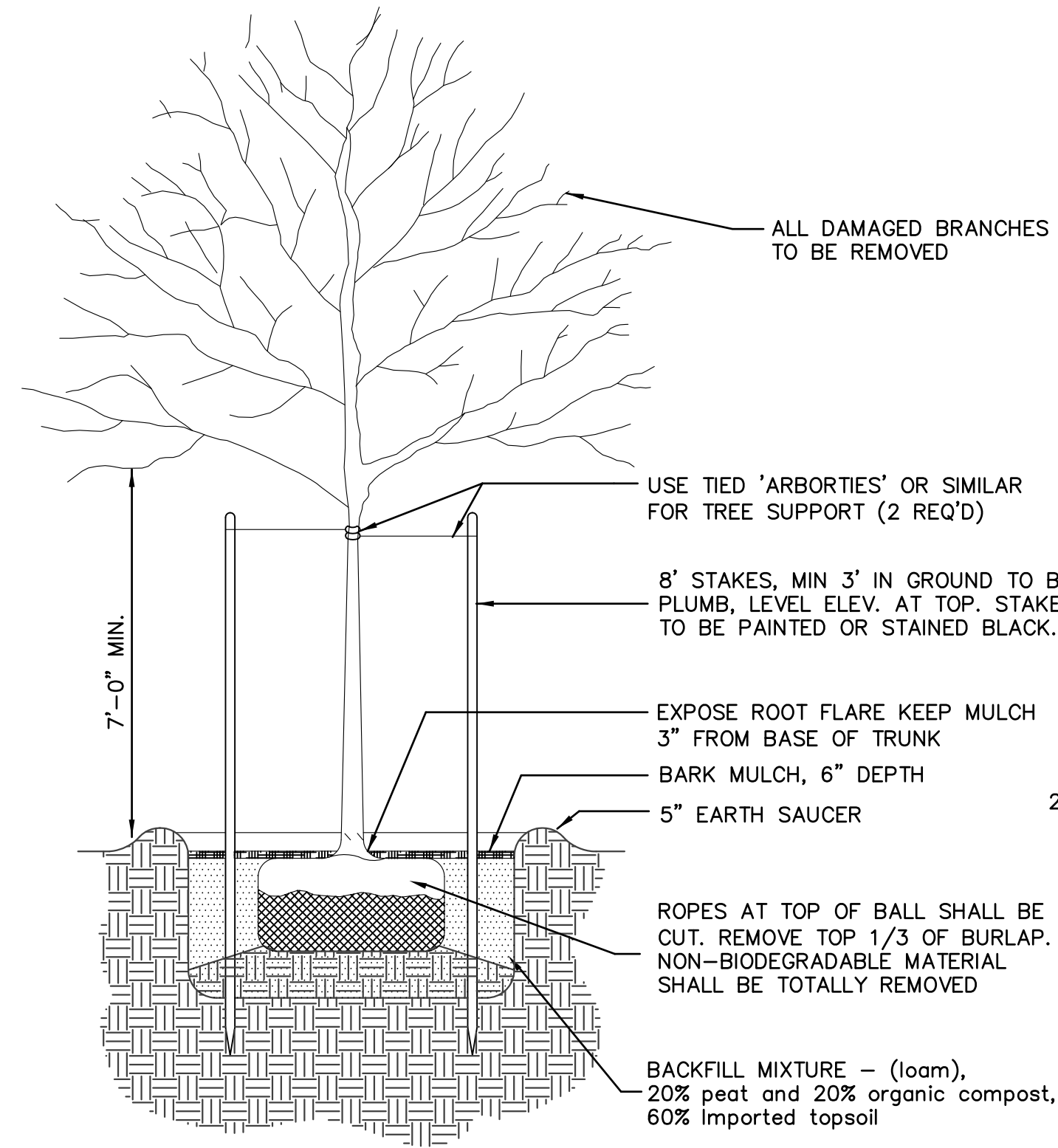
NOTES:
1. THE CONTRACTOR SHALL COORDINATE HIS OPERATIONS WITH THE HOUSING AUTHORITY.

TYPICAL TRENCH DETAIL FOR TELEPHONE AND ELECTRICAL CONDUIT
N.T.S.

SITE LIGHTING SPECIFICATION:

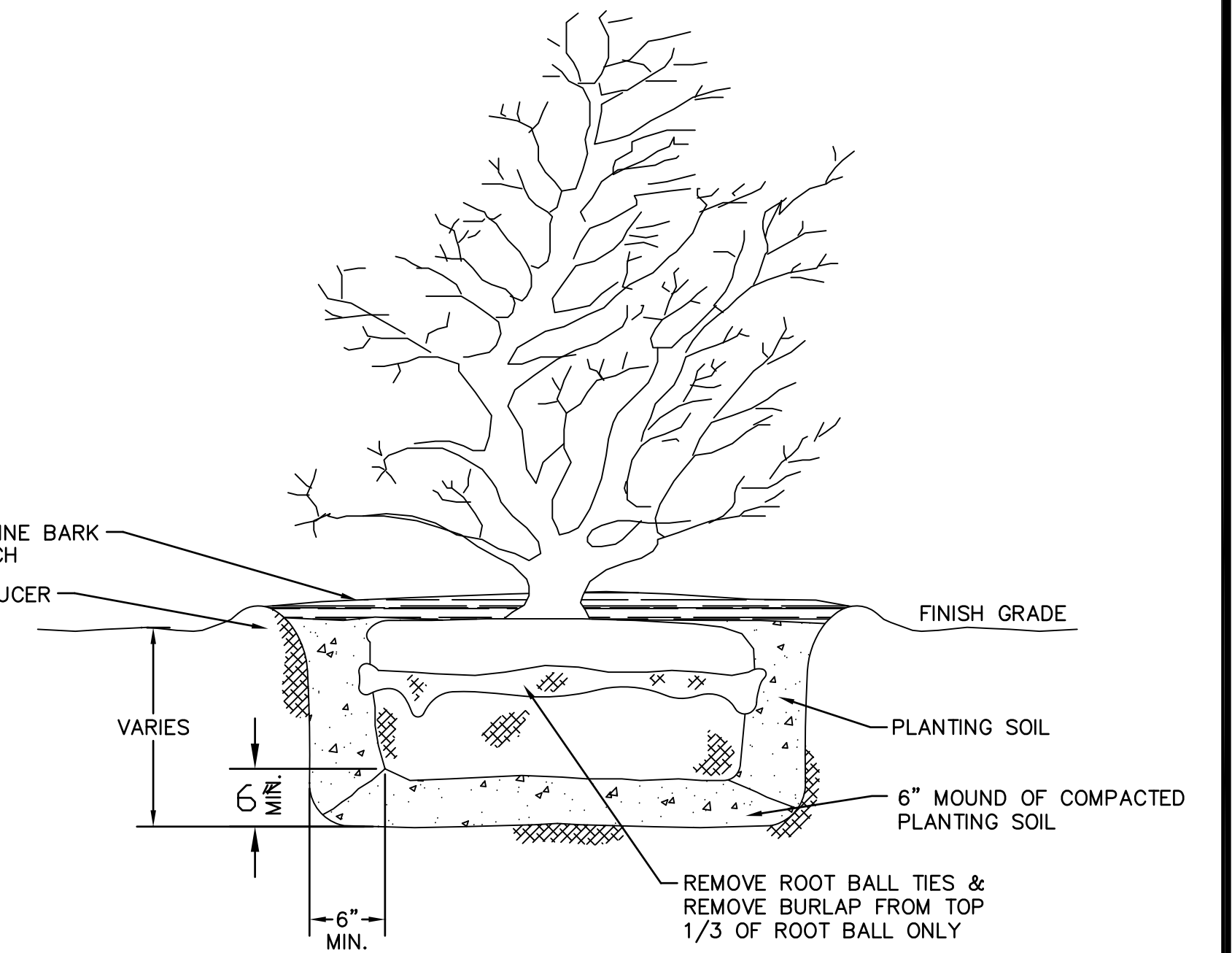
SITE LIGHTING - LAMPS: RAB LIGHTING ALED26/PC
POLES: RAB LIGHTING PS4-11-15D2
STREET LIGHTING - (MATCH EXISTING TOWN OF WESTWOOD LIGHTS, POLES AND BASES)

NOTES:
1) ALL NEW AND RE-USED LIGHTING TO BE MOUNTED IN NEW PRECAST FOUNDATION PER DETAIL.
2) EXISTING LIGHTING FOUNDATION (BASE) TO BE DETACHED FROM POST AND REMOVED FROM GROUND LOCATION.

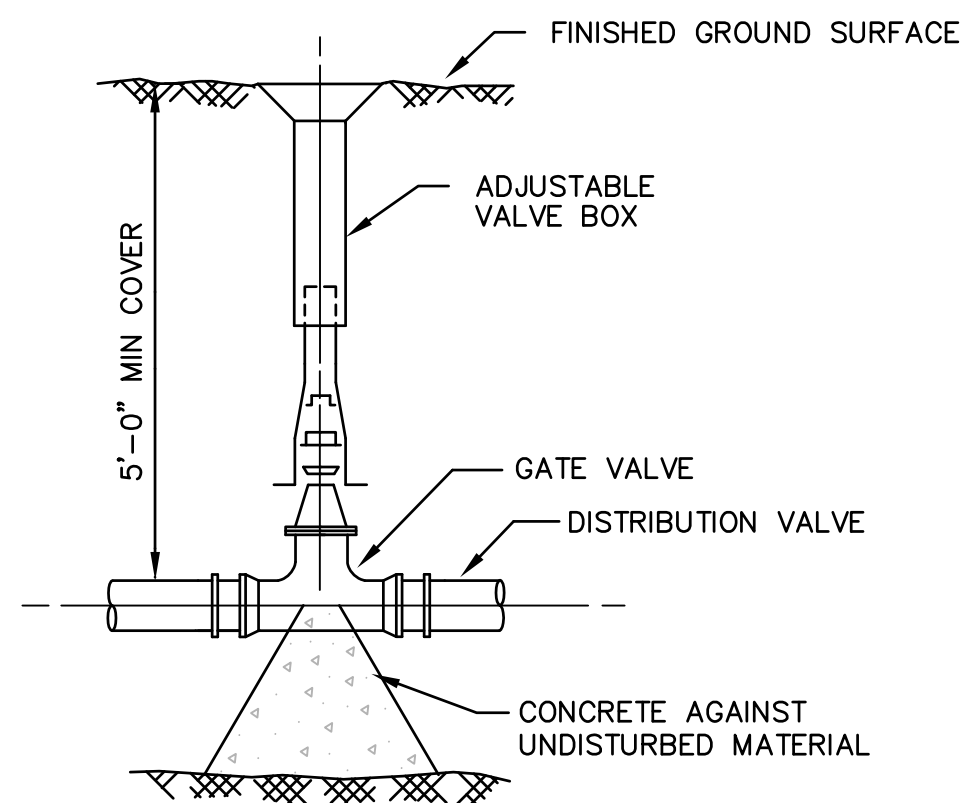


NOTES:
1.) TREE SHALL BEAR SAME RELATION TO FINISHED GRADE AS IT BORE TO PREVIOUS EXISTING GRADE.
2.) NEW TREES TO BE CAPITAL PEAR (PYRUS CALLERYANA), SINGLE STEM, 2-1/2" TO 3" CALIPER.

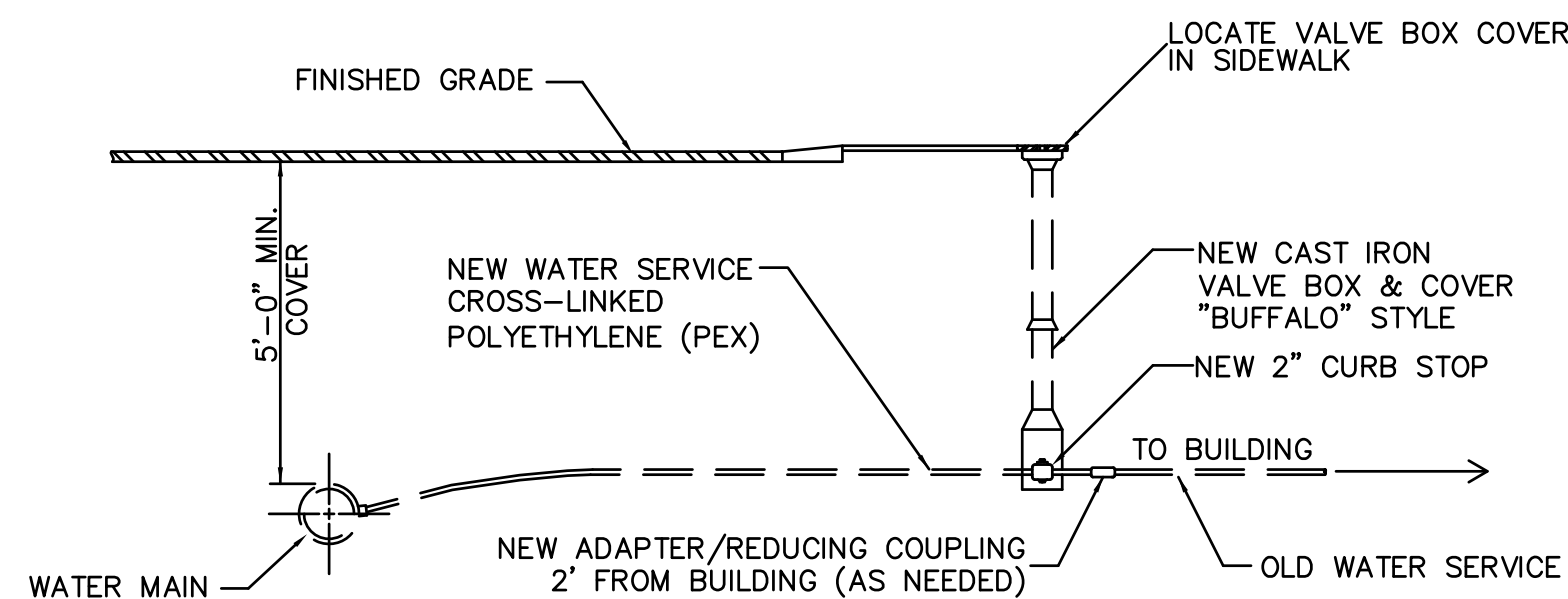
DECIDUOUS TREE PLANTING DETAIL
N.T.S.



TYPICAL SHRUB PLANTING
N.T.S.



WATER VALVE DETAIL
N.T.S.



NOTES:
1. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE WHICH WATER SERVICES ARE LEAD AND IRON PIPE.
2. ALL REPLACEMENT WATER SERVICES SHALL BE LIKE SIZE TO EXISTING.
3. ALL LEAD/IRON SERVICES ARE TO BE REMOVED AND REPLACED.

WATER SERVICE CONNECTION
N.T.S.

GENERAL WATER NOTES

- 1.) ALL MATERIALS FOR WATER SYSTEM SHALL CONFORM TO THE DEDHAM WESTWOOD WATER DEPARTMENT REQUIREMENTS.
- 2.) ALL NEW CORPORATION COCKS, CURB STOPS AND COPPER TUBING FOR EACH NEW SERVICE SHALL BE 2-INCH IN SIZE UNLESS OTHERWISE NOTED OR DIRECTED BY THE ENGINEER.

PLANTING SCHEDULES

DECIDUOUS TREES							
CODE	QNTY	BOTANICAL NAME	COMMON NAME	CAL	HT/SPRD	ROOTBALL	NOTES
AR	8	ACER RUBRUM "OCTOBER GLORY"	OCTOBER GLORY RED MAPLE	2-2.5" CAL		BB	MIN. 6' BRANCHING HT.
PO	3	PRUNUX X INCAME "OKAME"	OKAME CHERRY-PINK	1.5-2" CAL	8-10' HT	BB	MIN. 6' BRANCHING HT.
GB	5	GINKO BILOBA	GINKO	2-2.5" CAL		BB	MIN. 6' BRANCHING HT.
QA	8	QUERCUS ALBA	WHITE OAK	2-2.5" CAL		BB	MIN. 6' BRANCHING HT.
SHRUBS							
CODE	QNTY	BOTANICAL NAME	COMMON NAME	CAL	HT/SPRD	ROOTBALL	NOTES
IC	33	ILEX CRENATA 'HOOGENDORN'	HOOGENDORN JAPANESE HOLLY		18"	2 GAL	COMPACT
IO	12	ILEX OPACA	AMERICAN HOLLY		4'	BB	MIN ONE (1) MALE & ONE (1) FEMALE
JS	168	JUNIPERUS CHINENSIS 'SEAGREEN'	SEAGREEN CHINESE JUNIPER		2'	3 GAL	COMPACT
LF	3	LEUCOTHOE FONTANESIANA 'SCARLETTA'	DROOPING LEUCOTHOE		18"	3 GAL	COMPACT, PURPLE LEAVES
PF	132	POTENILLA FRUITCOSA 'TANGERINE'	TANGERINE SHRUBBY CINQUEFOIL		2'	3 GAL	PALE YELLOW FLOWER
RP	10	RHODODENDRON 'PURPLE GEM'	PURPLE GEM RHODODENDRON		2'	3 GAL	COMPACT, PURPLE FLOWERS
TB	83	TAXUS BACCATA	SPREADING ENGLISH YEW		2.5'	BB	LOW SPREADING
PERENNIALS, GRASSES AND GROUNDCOVERS							
CODE	QNTY	BOTANICAL NAME	COMMON NAME	CAL	HT/SPRD	ROOTBALL	NOTES
CA	33	CALAMAGROTIS X ACUTIFLORA 'KARL FORESTER'	KARL FORESTER FEATHER REED GRASS		12" SPRD	2 GAL	CLUMP FORM, 18" OC SPACING
HA	30	HEMMEROCALLIS X 'APRICOT SPARKLES'	APRICOT SPARKLES DAYLILLY		12" SPRD	2 GAL	APRICOT/PEACH COLOR, CONTINUOUS BLOOMER
LM	178	LIRIOPIS MUSCARI 'VARIEGATA'	VARIATED LILYTURF		9" SPRD	1 GAL	10" OC SPACING
PS	20	PHLOX STOLONIFERA	CREeping PHLOX		9" SPRD	1 GAL	MIN. 6' BRANCHING HT.
PA	19	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'	LITTLE BUNNY FOUNTAIN GRASS		9" SPRD	1 GAL	CLUMP FORM, COMPACT, 12" OC SPACING

DETAIL SHEET VI

ISLINGTON VILLAGE
WESTWOOD, MA
NORFOLK COUNTY

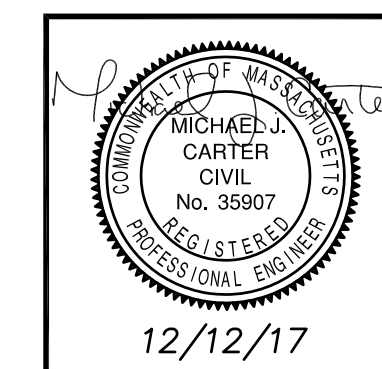
GCG ASSOCIATES, INC.

WILMINGTON MASSACHUSETTS

SCALE: N.T.S. DATE: DECEMBER 12, 2017

JOB NO. \FILE NAME: 1753-COVER_DETAILS
DESIGNED BY: T.C.M.
DRAWN BY: S.B.H.
CHECKED BY: M.J.C.

PLAN NO.
15 of 15



12/12/17

**PROPOSED MIXED USE BUILDING
CORNER OF WASHINGTON
AND EAST STREET
ISLINGTON, MA
12.12.17**



WASHINGTON STREET

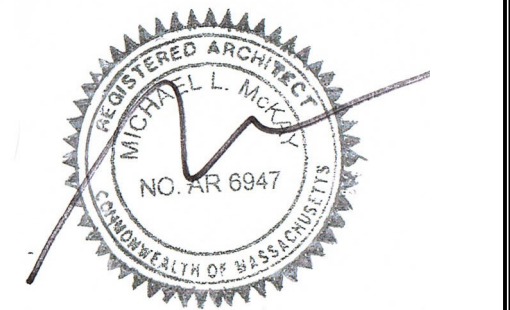
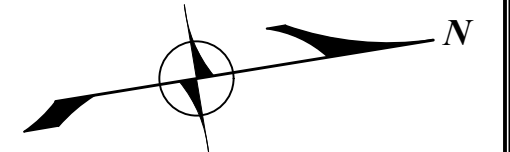
PROPOSED MIXED
USE BUILDING

WASHINGTON
AND
EAST STREET
ISLINGTON, MA

OWNER

architects
mckay

35 Bryant Street
Dedham, MA 02026
ph.781.326.5400
www.mckayarchitects.net



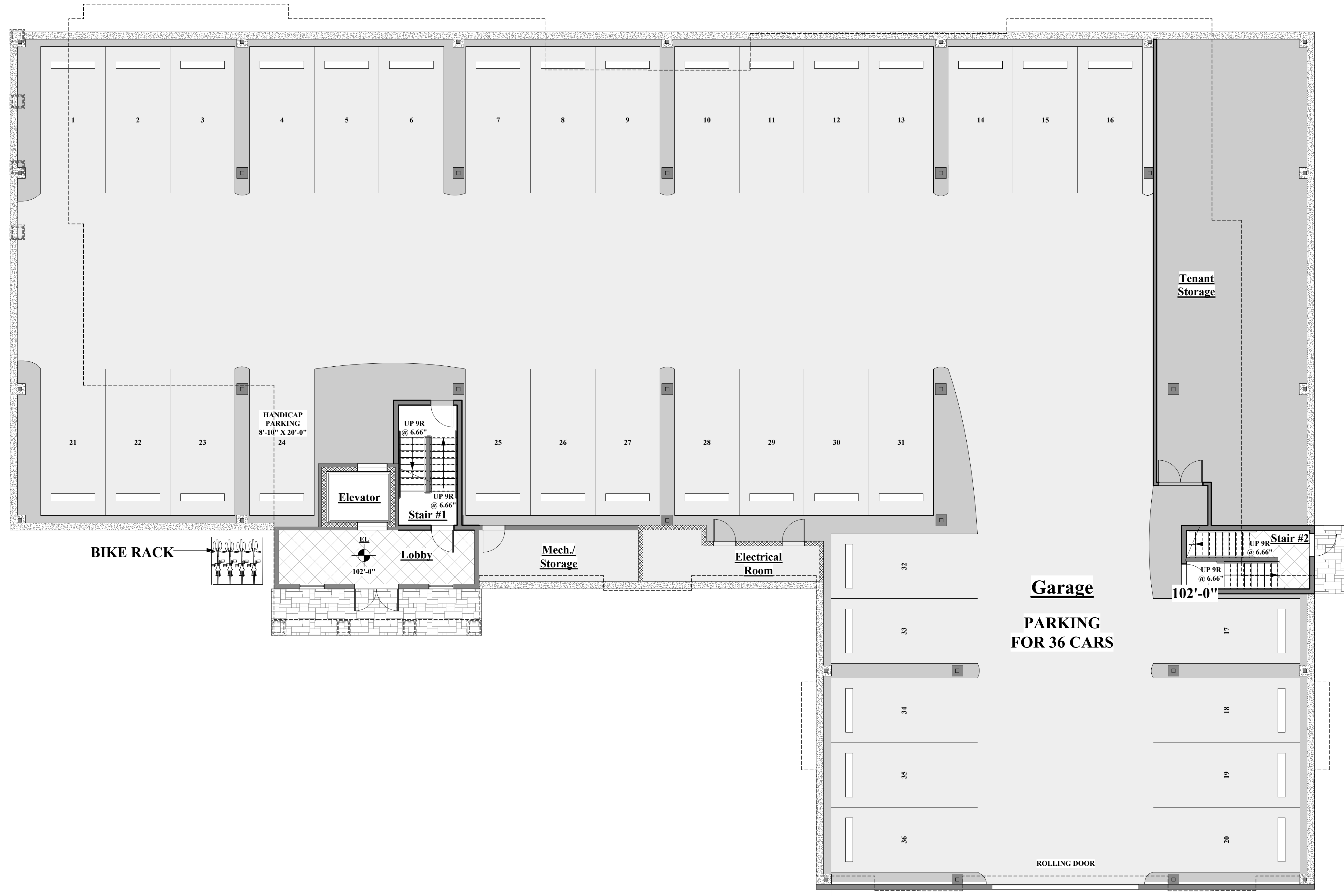
REV #	DATE	ISSUANCE

OWNERSHIP & USE OF DOCUMENTS
These drawings and specifications are the property and copyright of McKay Architects and shall not be used in whole or in part, or shall be assigned to a third party without the express written permission of McKay Architects.
Contractor to verify all information and dimensions in the field prior to start of construction and is to notify McKay Architects of any discrepancies

Garage Plan

JOB NO	
DATE	12.12.17
DWG BY	EAL
CKD BY	MLM
SCALE	1/8" = 1'-0"

A-1.1



1 Garage Plan 16,000 GSF
A-1.2 1/8" = 1'-0"

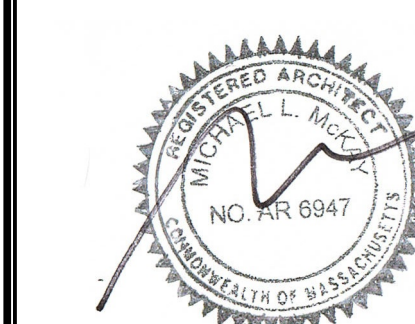
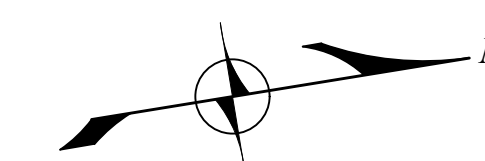
**PROPOSED MIXED
USE BUILDING**

**WASHINGTON
AND
EAST STREET
ISLINGTON, MA**

OWNER

mckay architects

35 Bryant Street
Dedham, MA 02026
ph.781.326.5400
www.mckayarchitects.net



REV #	DATE	ISSUANCE

OWNERSHIP & USE OF DOCUMENTS

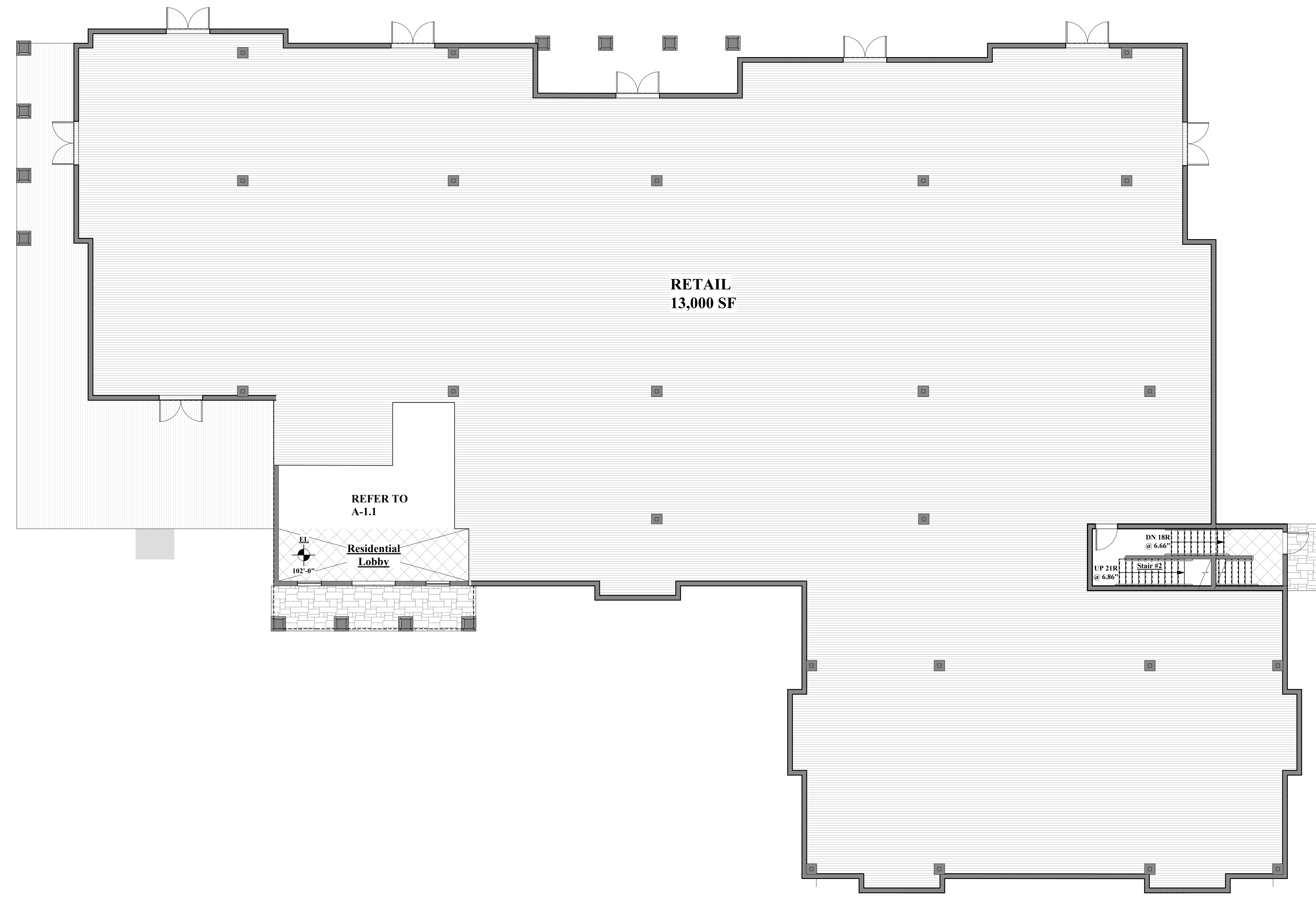
These drawings and specifications are the property and copyright of McKay Architects and shall not be used in whole or in part, or shall be assigned to a third party without the express written permission of McKay Architects.

Contractor to verify all information and dimensions in the field prior to start of construction and is to notify McKay Architects of any discrepancies.

**First Floor
Plan**

JOB NO	
DATE	12.12.17
DWG BY	EAL
CKD BY	MLM
SCALE	1/8" = 1'-0"

A-1.2



1 First Floor Plan 13,757 GSF
A-1.2 1/8" = 1'-0"

SUMMARY

SECOND FLOOR (1) 2 BR UNITS
 THIRD FLOOR (7) 2 BR UNITS

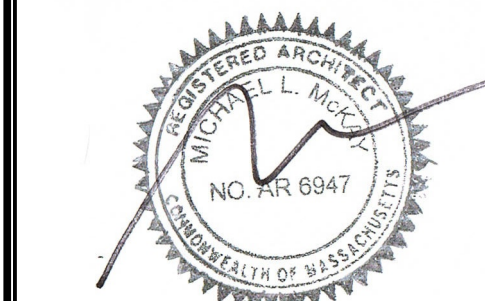
PROPOSED MIXED USE BUILDING

WASHINGTON AND EAST STREET ISLINGTON, MA

OWNER

mckay architects

35 Bryant Street
 Dedham, MA 02026
 ph.781.326.5400
 www.mckayarchitects.net



REV # DATE ISSUANCE

REV #	DATE	ISSUANCE

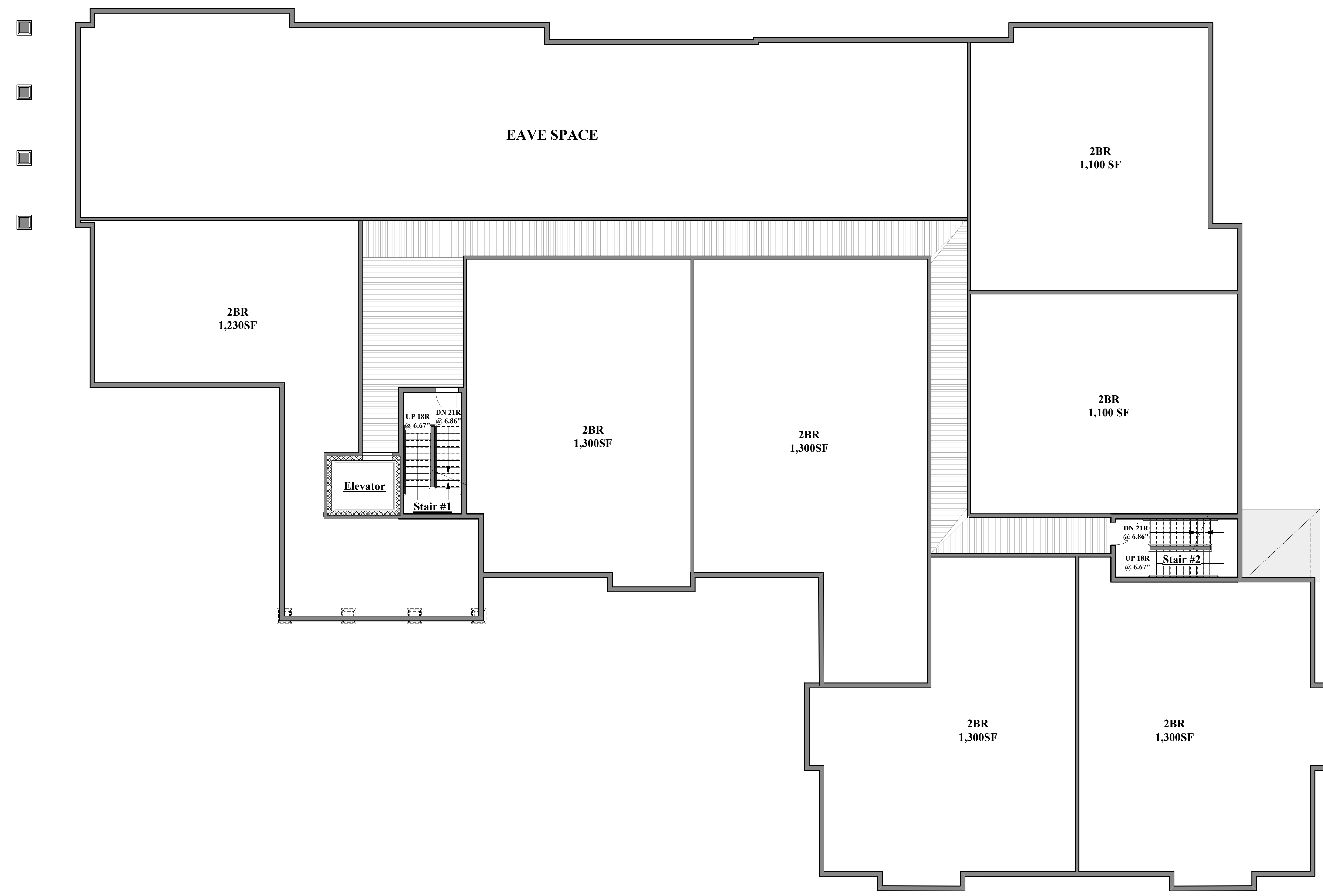
OWNERSHIP & USE OF DOCUMENTS

These drawings and specifications are the property and copyright of McKay Architects and shall not be used in whole or in part, or shall be assigned to a third party without the express written permission of McKay Architects.
 Contractor to verify all information and dimensions in the field prior to start of construction and is to notify McKay Architects of any discrepancies

Third Floor Plan

JOB NO	
DATE	12.12.17
DWG BY	EAL
CKD BY	MLM
SCALE	1/8" = 1'-0"

A-1.4



1 Third Floor Plan 10,000 SF
 A-1.3 1/8" = 1'-0"

7 TWO BEDROOM CONDOMINIUMS

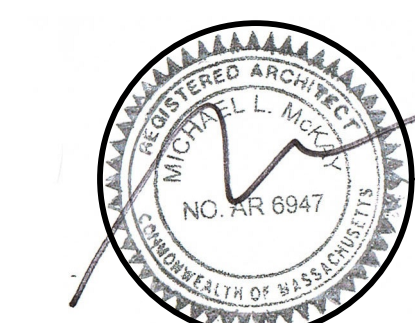
**Proposed
Mixed Use
Building**

**Washington
& East Street
Islington, MA**

OWNER

mckay architects

35 Bryant Street
Dedham, MA 02026
ph:781.326.5400
www.mckayarchitects.net



REV #	DATE	ISSUANCE

OWNERSHIP & USE OF DOCUMENTS
 These drawings and specifications are the property and copyright of McKay Architects and shall not be used in whole or in part, or shall be assigned to a third party without the express written permission of McKay Architects.
 Contractor to verify all information and dimensions in the field prior to start of construction and is to notify McKay Architects of any discrepancies.

Front Elevation

JOB NO	0198	A-2.1
DATE	12.11.17	
DWG BY	MLM	
CKD BY	MLM	
SCALE	1/8" = 1'-0"	



1 Front Elevation
 A-2.1 1/8" = 1'-0"

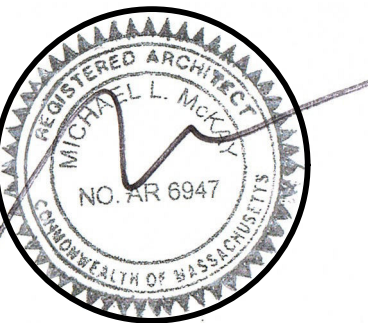
**Proposed
Mixed Use
Building**

**Washington
& East Street
Islington, MA**

OWNER

architects
mckay

35 Bryant Street
Dedham, MA 02026
ph.781.326.5400
www.mckayarchitects.net



REV #	DATE	ISSUANCE

OWNERSHIP & USE OF DOCUMENTS

These drawings and specifications are the property and copyright of McKay Architects and shall not be used in whole or in part, or shall be assigned to a third party without the express written permission of McKay Architects.
Contractor to verify all information and dimensions in the field prior to start of construction and is to notify McKay Architects of any discrepancies

Rear Elevation

JOB NO	0198
DATE	12.11.17
DWG BY	MLM
CKD BY	MLM
SCALE	1/8" = 1'-0"

A-2.2



1 Rear Elevation
A-2.2 1/8" = 1'-0"

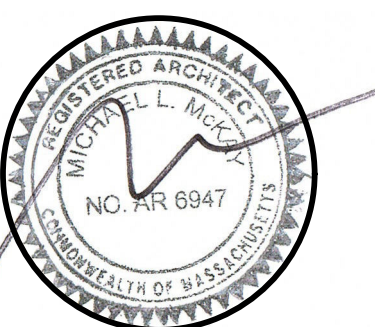
**Proposed
Mixed Use
Building**

**Washington
& East Street
Islington, MA**

OWNER

mckay architects

35 Bryant Street
Dedham, MA 02026
ph:781.326.5400
www.mckayarchitects.net



REV #	DATE	ISSUANCE

OWNERSHIP & USE OF DOCUMENTS

These drawings and specifications are the property and copyright of McKay Architects and shall not be used in whole or in part, or shall be assigned to a third party without the express written permission of McKay Architects.
Contractor to verify all information and dimensions in the field prior to start of construction and is to notify McKay Architects of any discrepancies

East St Elevation

JOB NO	0198
DATE	12.11.17
DWG BY	MLM
CKD BY	MLM
SCALE	1/8" = 1'-0"

A-2.3



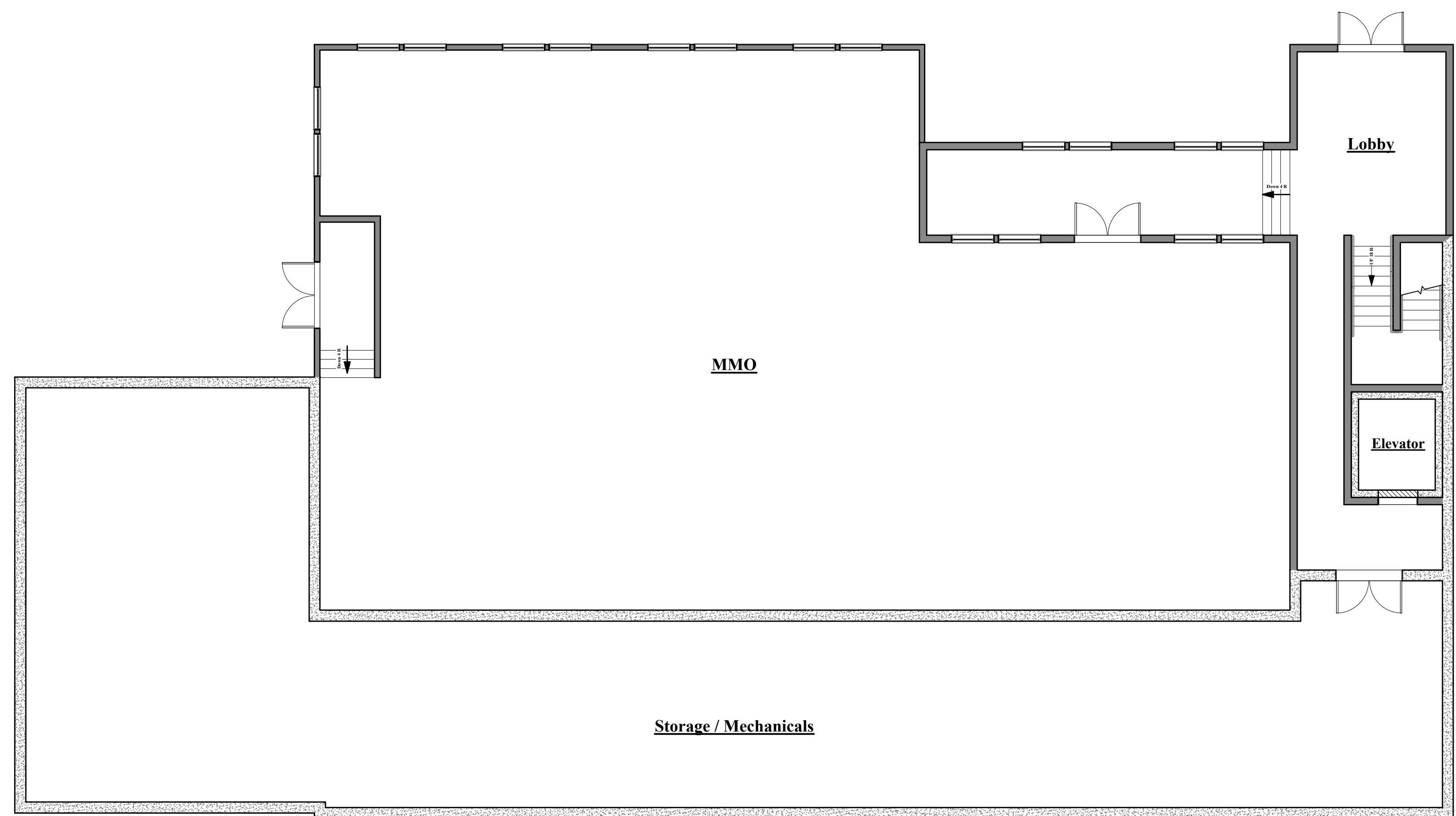
2 East Street Elevation
A-2.3 1/8" = 1'-0"



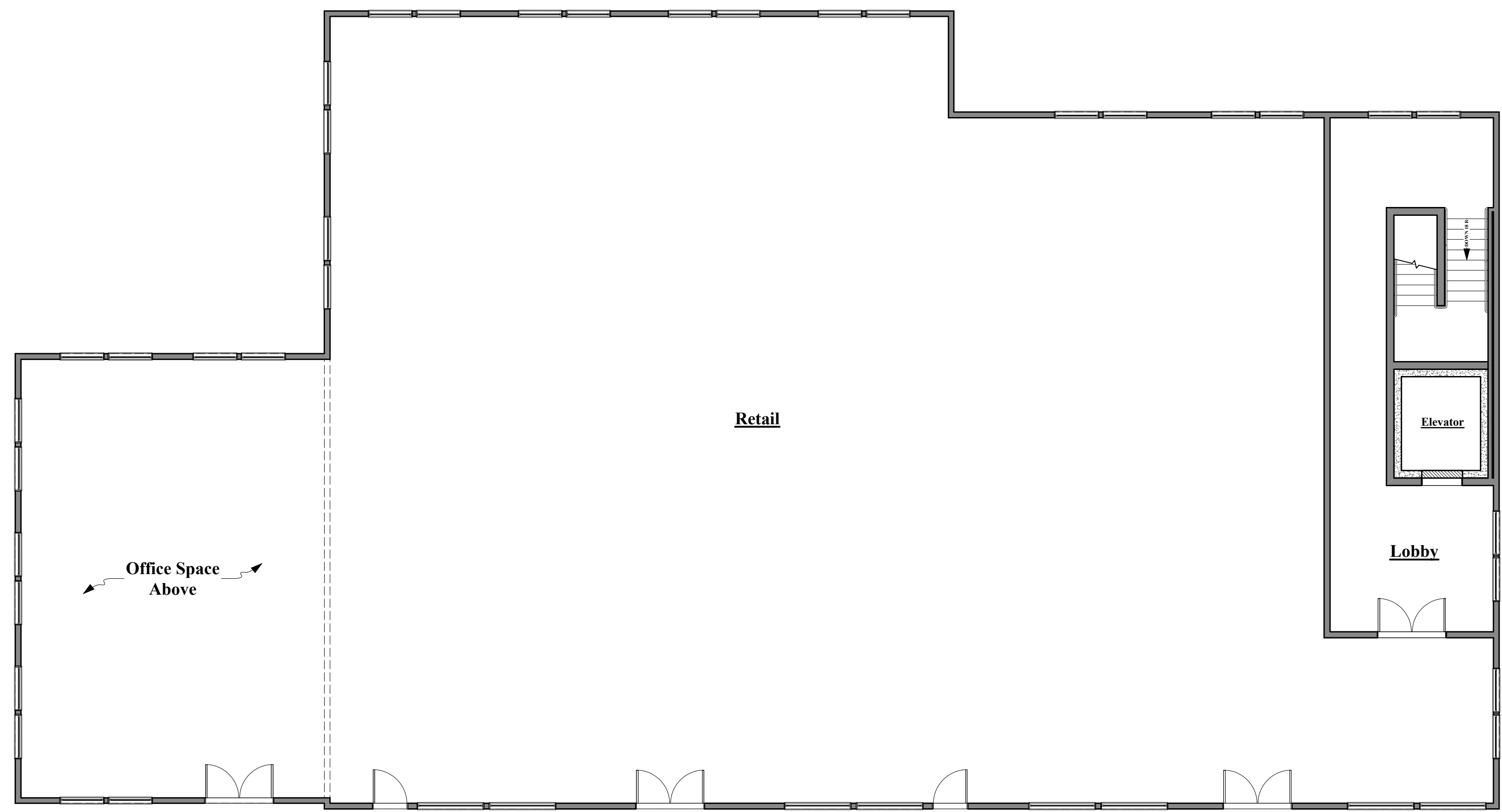
PROPOSED RENDERING
NEW CVS
CORNER OF WASHINGTON AND
SCHOOL STREETS
ISLINGTON, MA
12.11.17



**PROPOSED RENOVATION TO
EXISTING CVS AND RETAIL BUILDING
266-278 WASHINGTON STREET
ISLINGTON, MA
12.12.17**



1 Lower Level Floor Plan
A-1.1 1/8" = 1'-0" (4,000 SF)



1 Street Level Floor Plan
A-1.2 1/8" = 1'-0" (8,750 SF)

Washington Street

Washington Street

Renovation

Existing
CVS Building

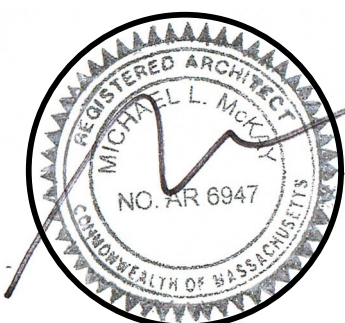
266-278 Washington Street
Islington, MA

OWNER

Petruzziello
Properties

mckay
architects

38 Bryant Street
Dorham, MA 02026
ph.781.326.5400
www.mckayarchitects.net



REV #	DATE	ISSUANCE

OWNERSHIP & USE OF DOCUMENTS

These drawings and specifications are the property and copyright of McKay Architects and shall not be used in whole or in part, or shall be assigned to a third party without the express written permission of McKay Architects.
Contractor to verify all information and dimensions in the field prior to start of construction and is to notify McKay Architects of any discrepancies.

Floor Plans

JOB NO

DATE

12.11.17

DWG BY

JB

CKD BY

MLM

SCALE

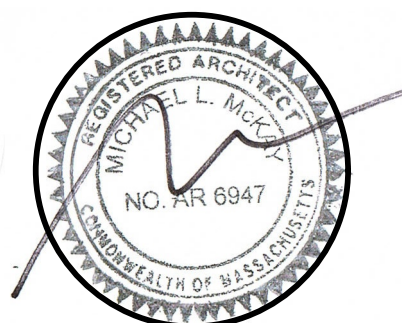
A-1.1

Renovation
Existing
CVS Building

266-278 Washington Street
Islington, MA

OWNER
Petruzziello
Properties

mckay architects
38 Bryant Street
Dedham, MA 02026
ph.781.326.5400
www.mckayarchitects.net

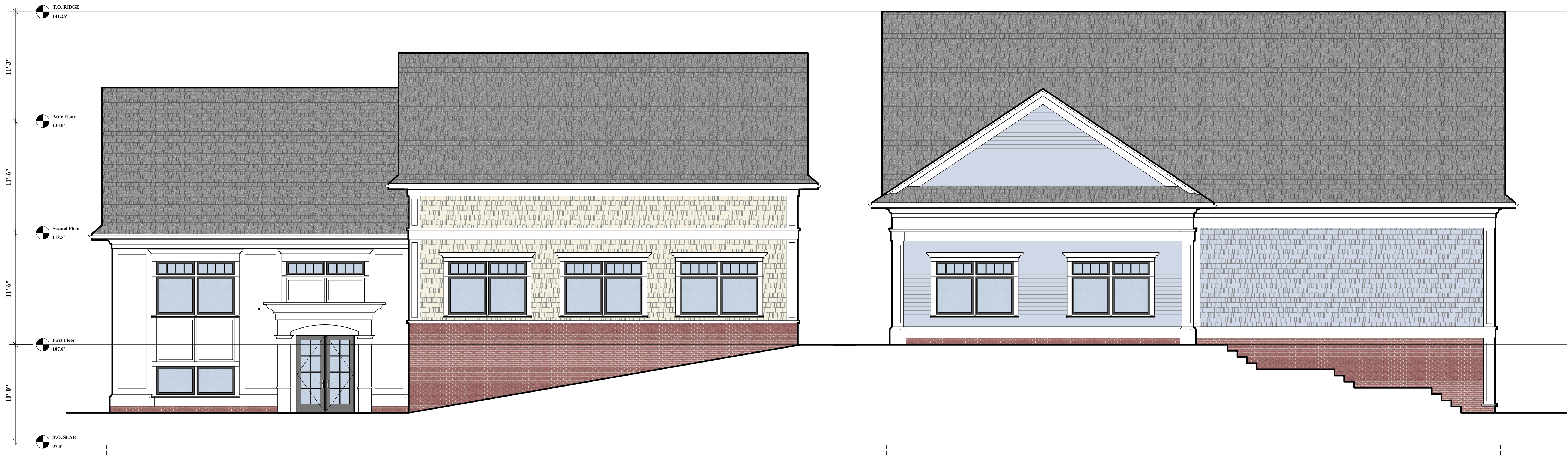


REV #	DATE	ISSUANCE

OWNERSHIP & USE OF DOCUMENTS
These drawings and specifications are the property and copyright of McKay Architects and shall not be used in whole or in part, or shall be assigned to a third party without the express written permission of McKay Architects.
Contractor to verify all information and dimensions in the field prior to start of construction and is to notify McKay Architects of any discrepancies

Left and Right
Side Elevations

JOB NO	A-2.2
DATE	
DWG BY	
CKD BY	
SCALE	



2 **Left Side Elevation**
A-2.2 3/16" = 1'-0"

1 **Right Side Elevation**
A-2.2 3/16" = 1'-0"

Renovation

**Existing
CVS Building**

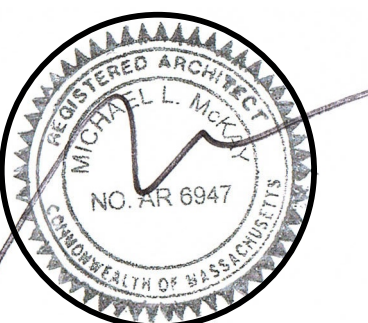
266-278 Washington Street
Islington, MA

OWNER

**Petruzziello
Properties**

mckay architects

38 Bryant Street
Dedham, MA 02026
ph.781.326.5400
www.mckayarchitects.net



REV # DATE ISSUANCE

REV #	DATE	ISSUANCE

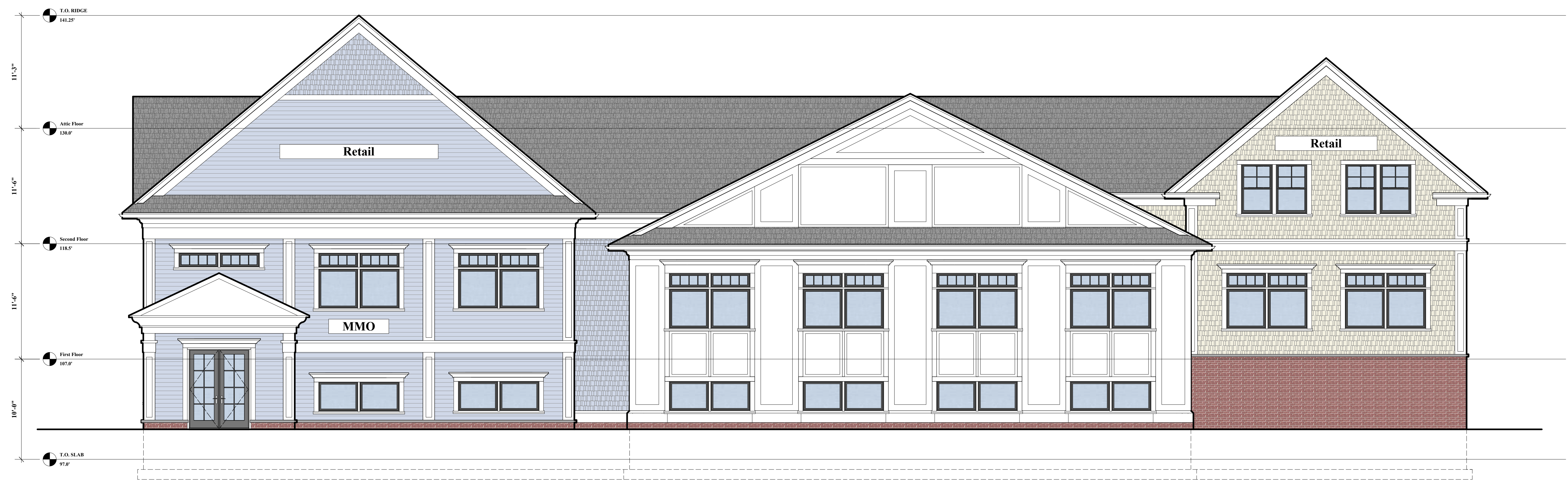
OWNERSHIP & USE OF DOCUMENTS

These drawings and specifications are the property and copyright of McKay Architects and shall not be used in whole or in part, or shall be assigned to a third party without the express written permission of McKay Architects.
Contractor to verify all information and dimensions in the field prior to start of construction and is to notify McKay Architects of any discrepancies.

Rear Elevation

JOB NO	
DATE	12.11.17
DWG BY	JB
CKD BY	MLM
SCALE	

A-2.3



1 **Rear Elevation**
A-2.3 3/16" = 1'-0"