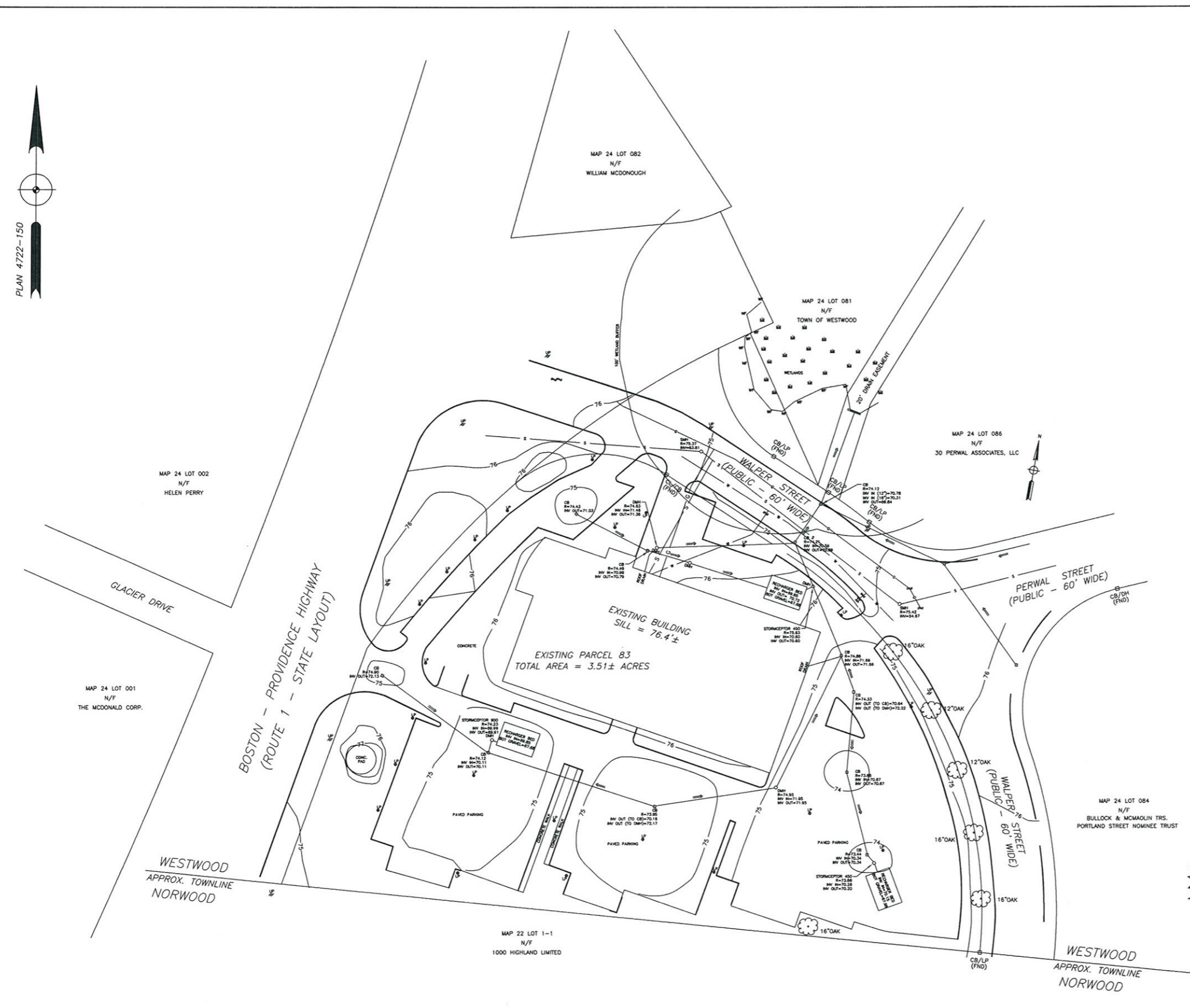
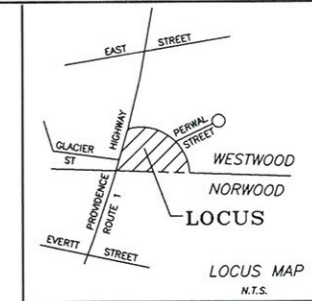




PLAN 4722-150



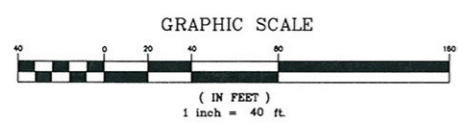
**TABLE OF CONTENTS**

- SHEET ONE - EXISTING CONDITIONS PLAN
- SHEET TWO - LOTTING PLAN
- SHEET THREE - DEMOLITION PLAN
- SHEET FOUR - GRADING & UTILITIES
- SHEET FIVE - PROFILE
- SHEET SIX - CROSS SECTIONS
- SHEET SEVEN - EROSION CONTROL PLAN
- SHEET EIGHT - CONSTRUCTION DETAILS 1
- SHEET NINE - CONSTRUCTION DETAILS 2
- SHEET TEN - CONSTRUCTION DETAILS 3

- NOTES:**
1. LOCUS IS SHOWN ON WESTWOOD ASSESSORS MAP 24 AS PARCEL 83.
  2. OWNER OF RECORD: JOSEPH FEDERICO. DEED REFERENCE: 18328-562, RECORD PLAN #166 OF 1971.
  3. LOCUS IS NOT WITHIN A SPECIAL FLOOD HAZARD AREA AS SHOWN OF FEMA PANEL #25021C0183E, DATED 7/17/2012.
  4. LOCUS IS ZONED - HIGHWAY BUSINESS (HB)  
 MIN. LOT AREA = 10,000 S.F.  
 MIN. LOT FRONTAGE = 100'  
 MIN. LOT WIDTH = 100'  
 FRONT SETBACK = 50'  
 SIDE & REAR SETBACK = 15'
  5. ELEVATION DEPICTED ON THESE PLANS ARE IN REFERENCE TO THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD 1929)



*Michael A. Coleman*  
 8/31/2015  
*Joseph E. Danubio III*  
 8/31/15



REVISIONS		
REV.	COMMENTS	DATE

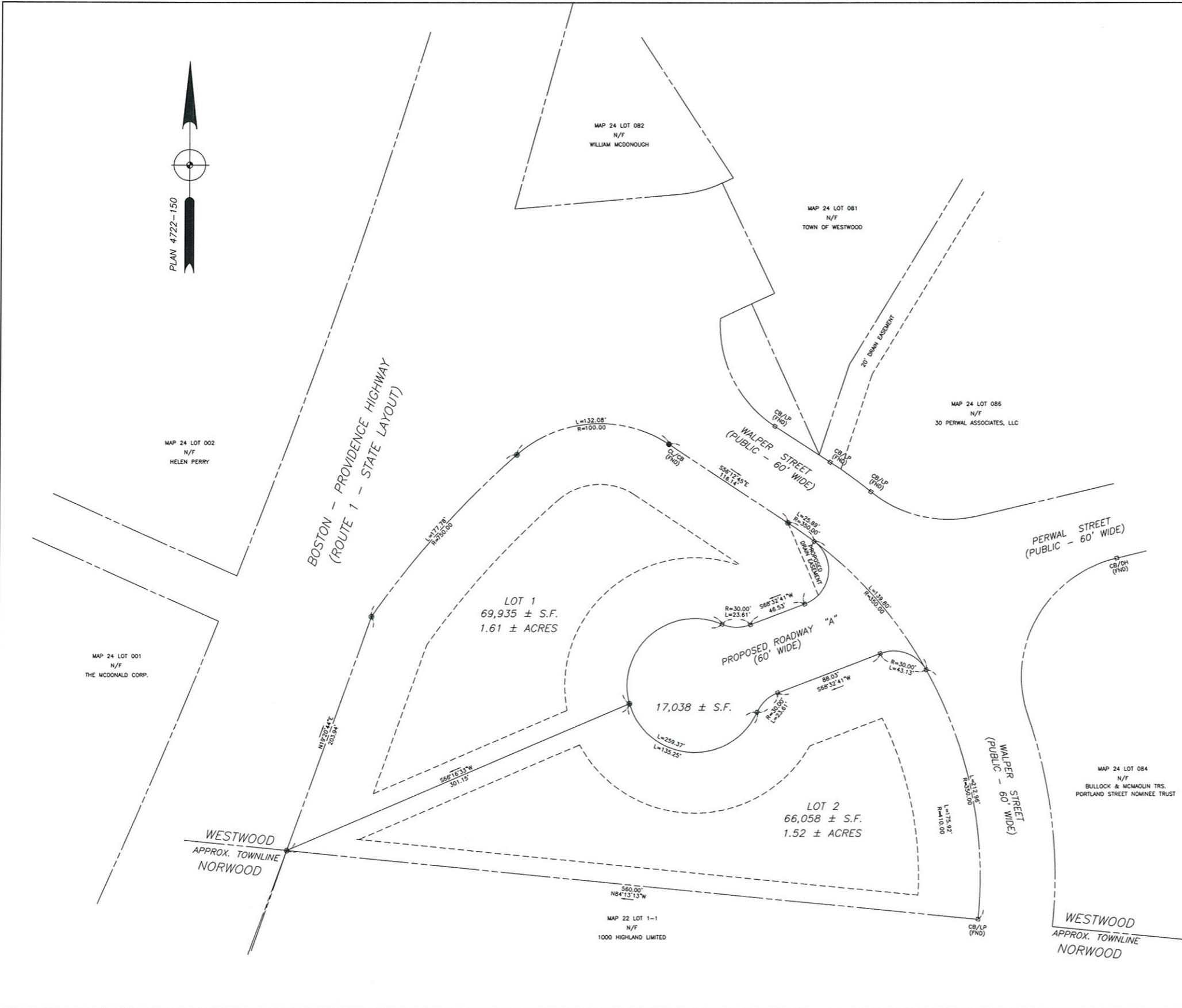
PREPARED BY:  
**A-PLUS CONSTRUCTION SERVICES CORPORATION**  
 17 ACCORD PARK DRIVE, UNIT 102 NORWELL, MASS.  
 TEL. (781) 681-6667 FAX. (781) 681-6673

FIELD CHIEF: JBS    DES/COMP: JBS    DRAFTED BY: JBS    CHECKED BY: MC  
 DATE: AUGUST 31, 2015    SCALE: 1"=40'    JOB#: 3518

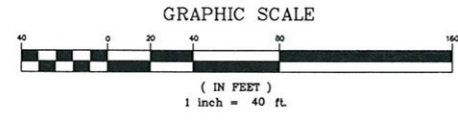
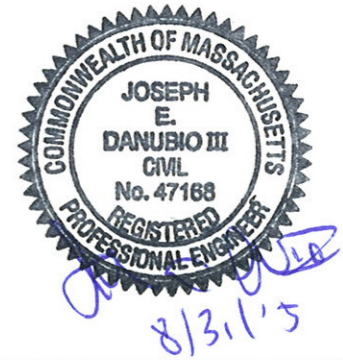
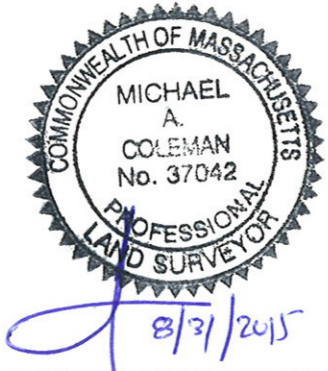
DEFINITIVE PLAN  
 420 PROVIDENCE HIGHWAY  
 EXISTING CONDITIONS PLAN  
 WESTWOOD, MA  
 PREPARED FOR:  
 420 PROVIDENCE HIGHWAY REALTY TRUST

SHEET  
**1 of 10**  
 REV.0





- NOTES:**
- LOCUS IS SHOWN ON WESTWOOD ASSESSORS MAP 24 AS PARCEL 83.
  - OWNER OF RECORD: JOSEPH FEDERICO, JR. TRUSTEE, 420 PROVIDENCE HIGHWAY REALTY TRUST. DEED REFERENCE: 18328-562, RECORD PLAN #166 OF 1971.
  - LOCUS IS NOT WITHIN A SPECIAL FLOOD HAZARD AREA AS SHOWN OF FEMA PANEL #25021C0183E, DATED 7/17/2012.
  - LOCUS IS ZONED - HIGHWAY BUSINESS (HB)  
 MIN. LOT AREA = 10,000 S.F.  
 MIN. LOT FRONTAGE = 100'  
 MIN. LOT WIDTH = 100'  
 FRONT SETBACK = 50'  
 SIDE & REAR SETBACK = 15'
  - ELEVATION DEPICTED ON THESE PLANS ARE IN REFERENCE TO THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD 1929)



REVISIONS		
REV.	COMMENTS	DATE

PREPARED BY:  
**A-PLUS CONSTRUCTION SERVICES CORPORATION**  
 17 ACCORD PARK DRIVE, UNIT 102 NORWELL, MASS.  
 TEL. (781) 981-6667 FAX. (781) 681-6673

FIELD CHIEF: JBS    DES/COMP: JBS    DRAFTED BY: JBS    CHECKED BY: MC  
 DATE: AUGUST 31, 2015    SCALE: 1"=40'    JOB#: 3518

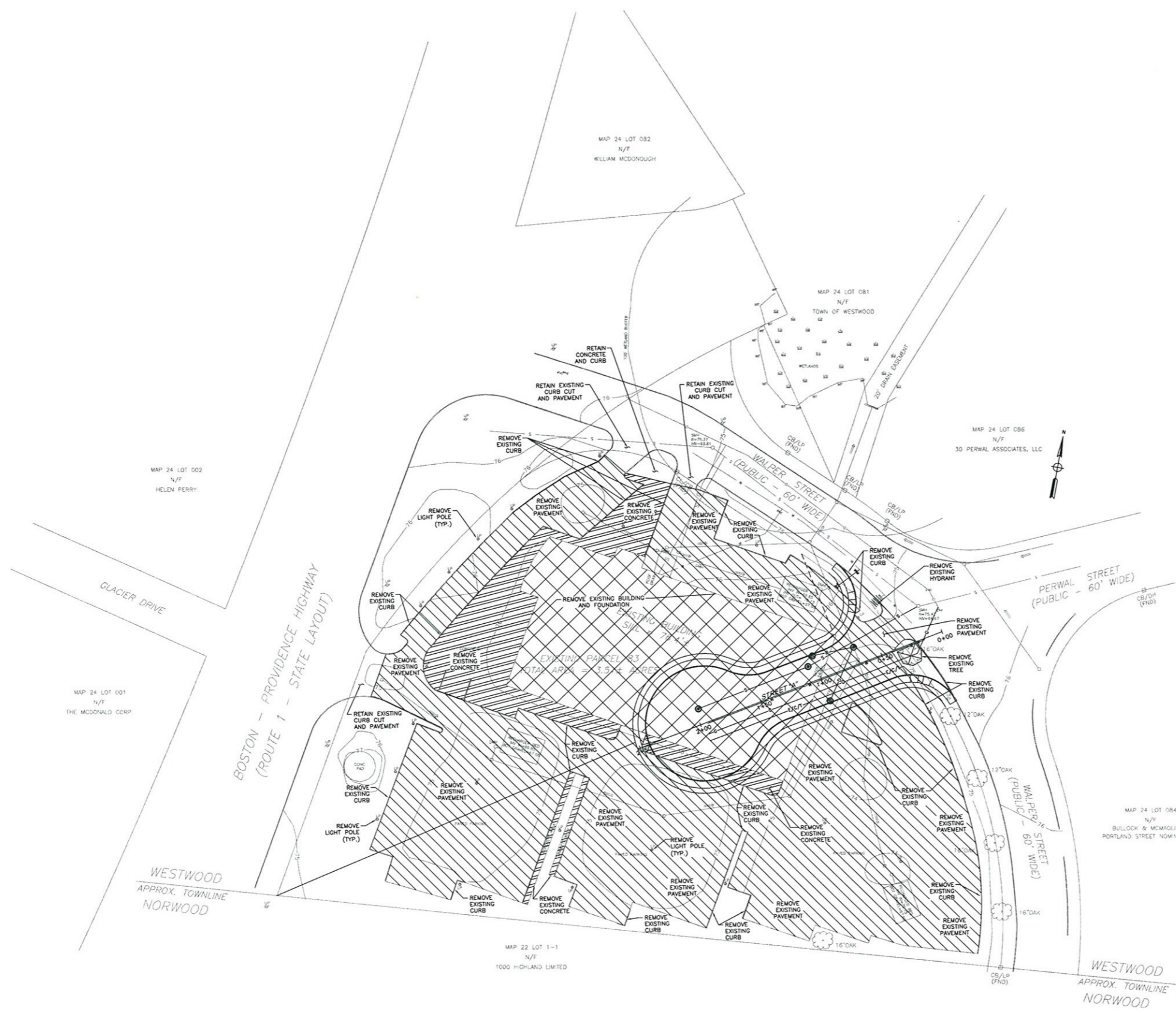

DEFINITIVE PLAN  
 420 PROVIDENCE HIGHWAY  
 LOTTING PLAN  
 WESTWOOD, MA  
 PREPARED FOR:  
 420 PROVIDENCE HIGHWAY REALTY TRUST

SHEET  
**2 of 10**  
 REV.0

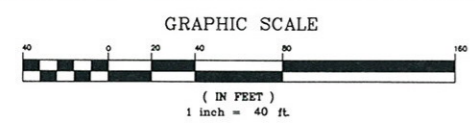


**DEMOLITION NOTES:**

1. CONTRACTOR SHALL ARRANGE PRE-CONSTRUCTION MEETING WITH ENGINEER AND CONSERVATION AGENT ON SITE PRIOR TO COMMENCING WORK.
2. EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION ACTIVITY.
3. ALL DEMOLITION ACTIVITY SHALL COMPLY WITH FEDERAL, STATE, AND LOCAL BY-LAWS AND REGULATIONS.
4. CONTRACTOR SHALL NOTIFY DIG-SAFE PRIOR TO ANY EXCAVATIONS.
5. CONTRACTOR SHALL PROTECT ALL EXISTING UTILITES WHILE COMPLETING THE WORK.
6. REMOVE ALL BUILDING ROOF DRAIN CONNECTIONS. PLUG AT CONNECTING DRAIN STRUCTURE.
7. DISPOSAL OF EXCESS SOILS, PAVEMENT, CURBING, CATCH BASIN STRUCTURES, CATCH BASIN FRAMES AND GRATES, OR ANY OTHER EXCAVATED MATERIALS OR MATERIALS TO BE DISPOSED OF AS A RESULT OF THE CONTRACT DESIGN SHALL BE DISPOSED OF BY THE CONTRACTOR IN CONFORMITY WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS.



*Handwritten signature and date: 8/31/15*  
 PROFESSIONAL ENGINEER



REVISIONS		
REV.	COMMENTS	DATE

PREPARED BY:  
**A-PLUS CONSTRUCTION SERVICES CORPORATION**  
 17 ACCORD PARK DRIVE, UNIT 102 NORWELL, MASS.  
 TEL. (781) 681-6667 FAX. (781) 681-6673

ORIGINAL FULL SIZE DRAWING=4"  
 REPRODUCTIONS MAY BE REDUCED SIZE

FIELD CHIEF: JBS    DES/COMP: JED    DRAFTED BY: JED    CHECKED BY: MC  
 DATE: AUGUST 31, 2015    SCALE: 1"=40'    JOB#: 3518    FILE: 420 PROVIDENCE HGWY.DWG


**DEFINITIVE PLAN**  
**420 PROVIDENCE HIGHWAY**  
**DEMOLITION PLAN**  
 WESTWOOD, MA  
 PREPARED FOR:  
**420 PROVIDENCE HIGHWAY REALTY TRUST**

SHEET  
**3 of 10**  
 REV.0



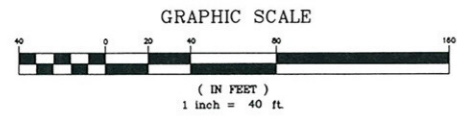


- GRADING AND UTILITIES NOTES:**
1. CONTRACTOR SHALL ARRANGE PRE-CONSTRUCTION MEETING WITH ENGINEER AND CONSERVATION AGENT ON SITE PRIOR TO COMMENCING WORK.
  2. CONTRACTOR SHALL NOTIFY DIG-SAFE PRIOR TO ANY EXCAVATIONS.
  3. CONTRACTOR RESPONSIBLE FOR CONSTRUCTION LAYOUT OF PROJECT.
  4. CONTRACTOR SHALL PROTECT ALL EXISTING UTILITES WHILE COMPLETING THE WORK.
  5. CONTRACTOR SHALL BE RESPONSIBLE FOR DEWATERING AREAS THAT REQUIRE DEWATERING FOR INSTALLATION OF WORK AS SHOWN ON PLAN. WATER TABLE ELEVATIONS MAY VARY THROUGHOUT THE YEAR. CONTRACTOR IS RESPONSIBLE FOR VERIFYING WATER TABLE CONDITIONS PRIOR TO BIDDING ON WORK. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ANY PERMITS REQUIRED FOR DEWATERING ACTIVITIES ON THE SITE.
  6. CONTRACTOR SHALL COMPLY WITH CURRENT ADA STANDARDS IN THE CONSTRUCTION OF SIDEWALKS.
  7. DISPOSAL OF EXCESS SOILS, PAVEMENT, CURBING, CATCH BASIN STRUCTURES, CATCH BASIN FRAMES AND GRATES, OR ANY OTHER EXCAVATED MATERIALS OR MATERIALS TO BE DISPOSED OF AS A RESULT OF THE CONTRACT DESIGN SHALL BE DISPOSED OF BY THE CONTRACTOR IN CONFORMITY WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS.
  8. PROPOSED UTILITY CONNECTIONS TO STREET "A" TO BE COORDINATED WITH UTILITY COMPANIES OR OWNERS OF UTILITIES.
  9. PROPOSED UTILITY CONNECTIONS TO EACH INDIVIDUAL LOT TO BE DETERMINED UPON LOT BUILDOUT.
  10. ALL UTILITY CONSTRUCTION SHALL CONFORM TO RULES AND REGULATIONS GOVERNING THE SUBDIVISION OF LAND IN THE TOWN OF WESTWOOD, MASSACHUSETTS.

**SNOW REMOVAL NOTE:**  
 THE TOWN OF WESTWOOD IS NOT REQUIRED TO PLOW SNOW ON A STREET THAT HAS NOT BEEN ACCEPTED BY TOWN MEETING.



*Handwritten signature and date: JED 8/31/15*  
 PROFESSIONAL ENGINEER



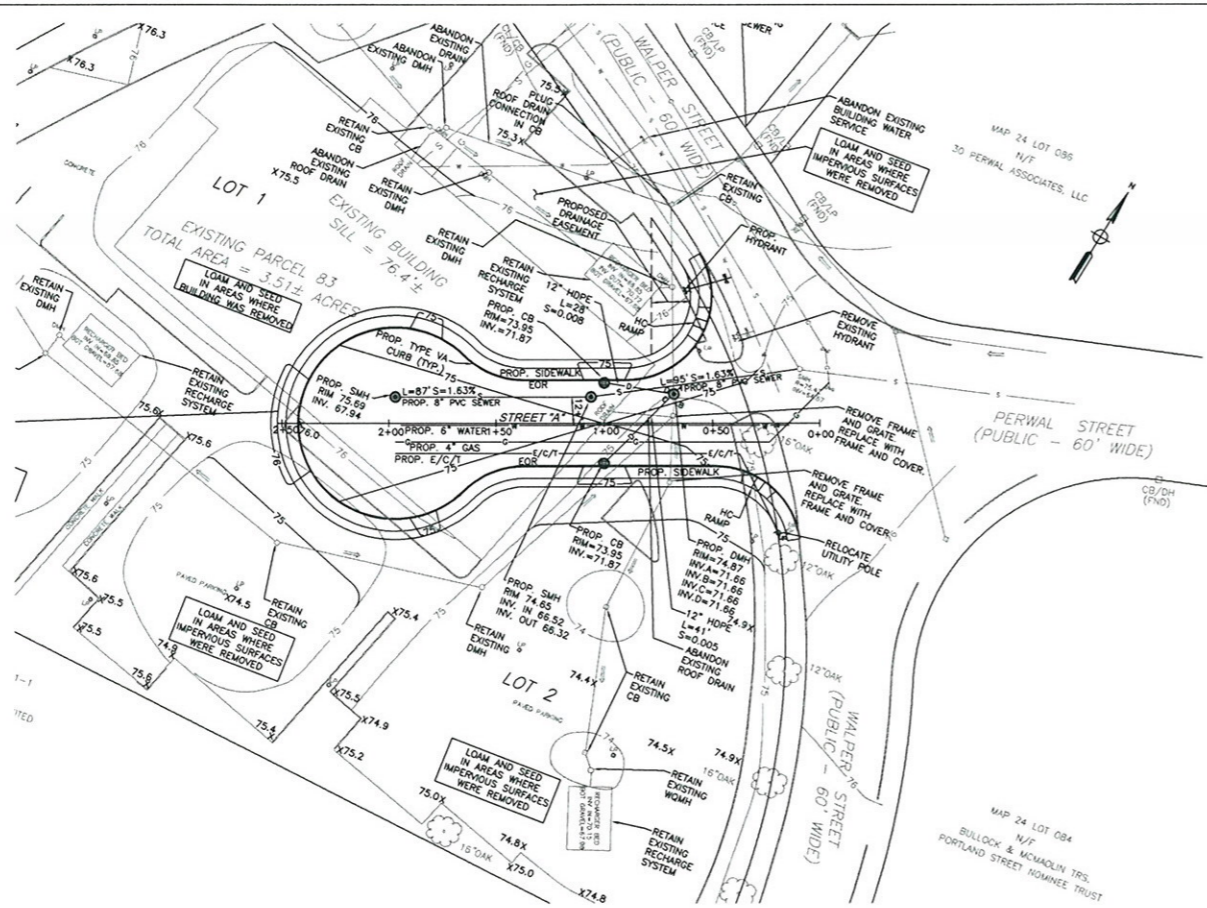
REVISIONS		
REV.	COMMENTS	DATE

PREPARED BY:  
**A-PLUS CONSTRUCTION SERVICES CORPORATION**  
 17 ACCORD PARK DRIVE, UNIT 102 NORWELL, MASS.  
 TEL. (781) 681-6667 FAX. (781) 681-6673

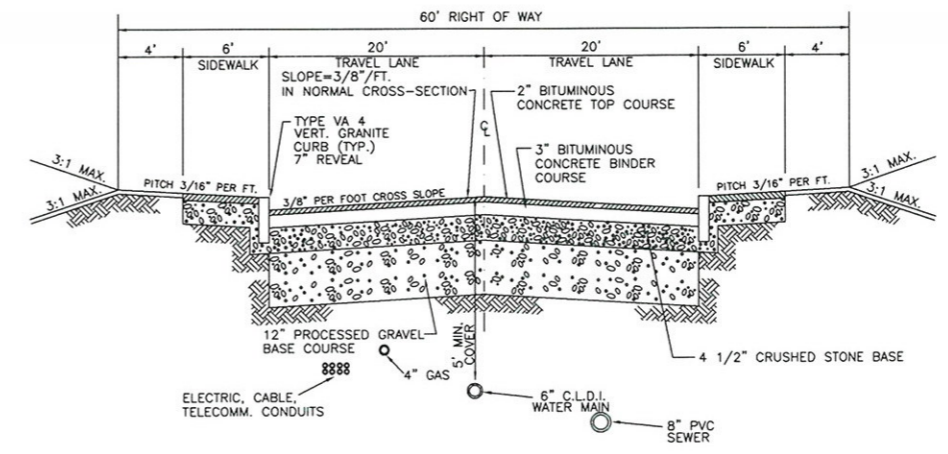
FIELD CHIEF: JBS    DES/COMP: JED    DRAFTED BY: JED    CHECKED BY: MC  
 DATE: AUGUST 31, 2015    SCALE: 1"=40'    JOB#: 3518    FILE: 420 PROVIDENCE HGWY.DWG


DEFINITIVE PLAN  
 420 PROVIDENCE HIGHWAY  
 GRADING AND UTILITIES PLAN  
 WESTWOOD, MA  
 PREPARED FOR:  
**420 PROVIDENCE HIGHWAY REALTY TRUST**

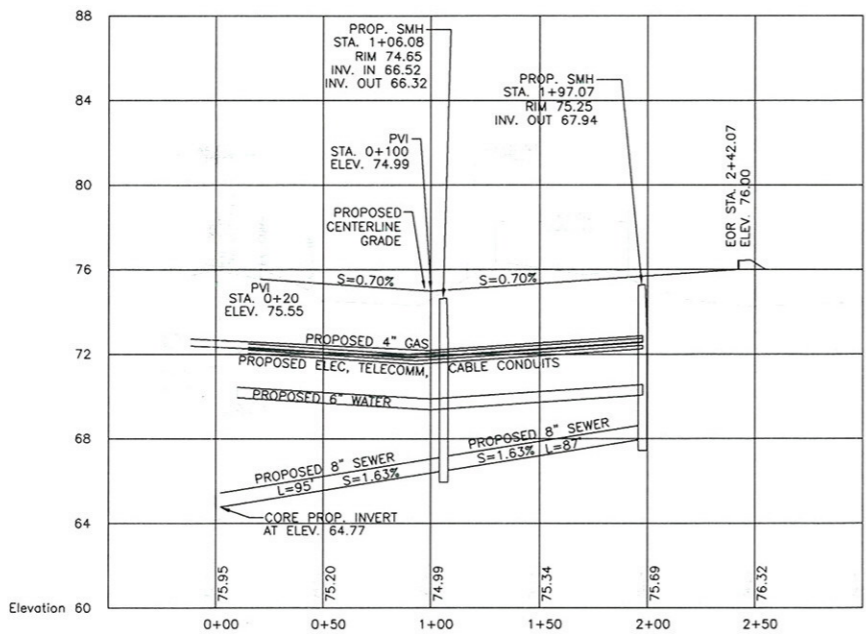




STREET "A" PLAN  
HORIZONTAL SCALE: 1"=40'



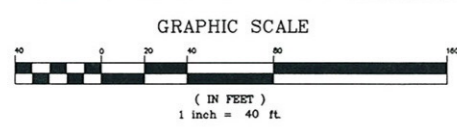
STREET "A" SUBDIVISION ROAD CROSS-SECTION  
NOT TO SCALE



STREET "A" PROFILE  
HORIZONTAL SCALE: 1"=40'  
VERTICAL SCALE: 1"=4'



*Joseph E. Danubio III* 8/30/15  
PROFESSIONAL ENGINEER



REVISIONS		
REV.	COMMENTS	DATE

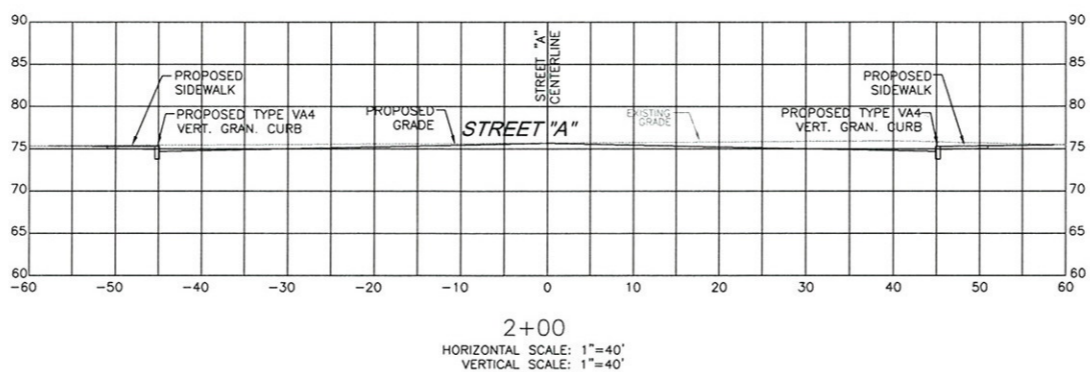
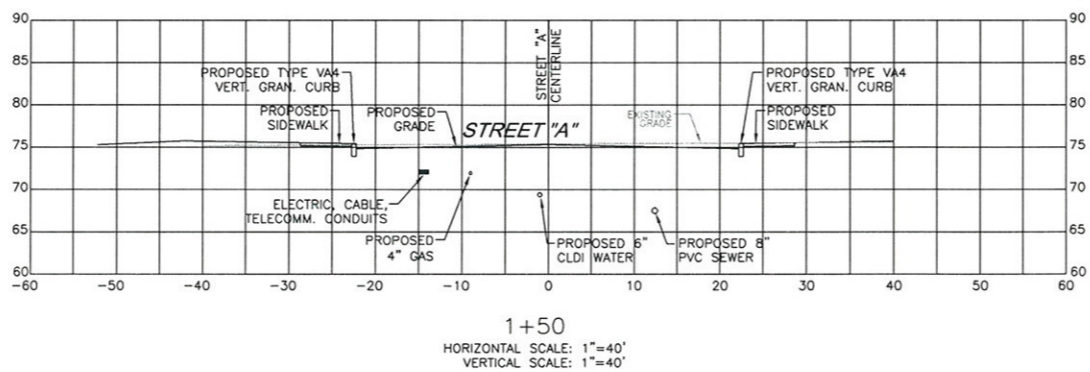
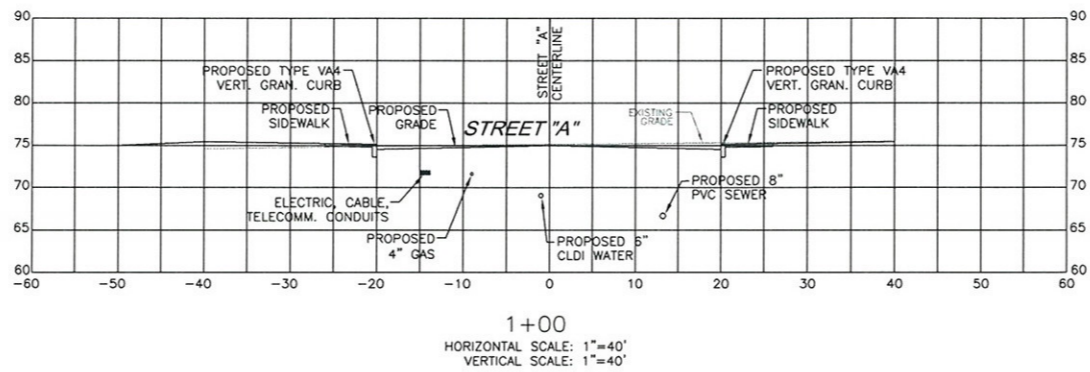
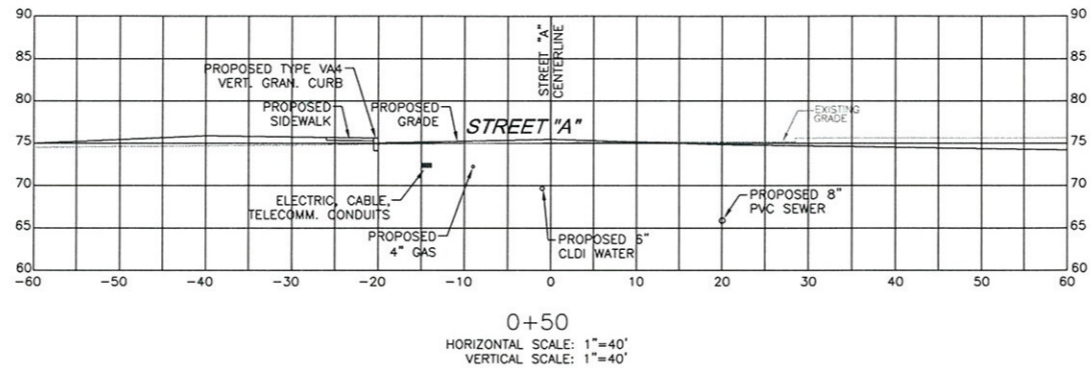
PREPARED BY:  
**A-PLUS CONSTRUCTION SERVICES CORPORATION**  
17 ACCORD PARK DRIVE, UNIT 102 NORWELL, MASS.  
TEL. (781) 681-6667 FAX. (781) 681-6673

ORIGINAL FULL SIZE DRAWING=4"  
REPRODUCTIONS MAY BE REDUCED SIZE

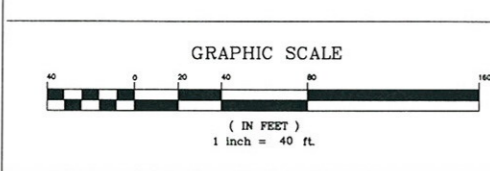
FIELD CHIEF: JBS    DES/COMP: JED    DRAFTED BY: JED    CHECKED BY: MC  
DATE: AUGUST 31, 2015    SCALE: 1"=40'    JOB#: 3518    FILE: 420 PROVIDENCE HGWY.DWG

DEFINITIVE PLAN  
420 PROVIDENCE HIGHWAY  
PROFILE  
WESTWOOD, MA  
PREPARED FOR:  
**420 PROVIDENCE HIGHWAY REALTY TRUST**

SHEET  
**5 of 10**  
REV.0



  
*Joseph E. Danubio III*  
 8/31/15  
 PROFESSIONAL ENGINEER



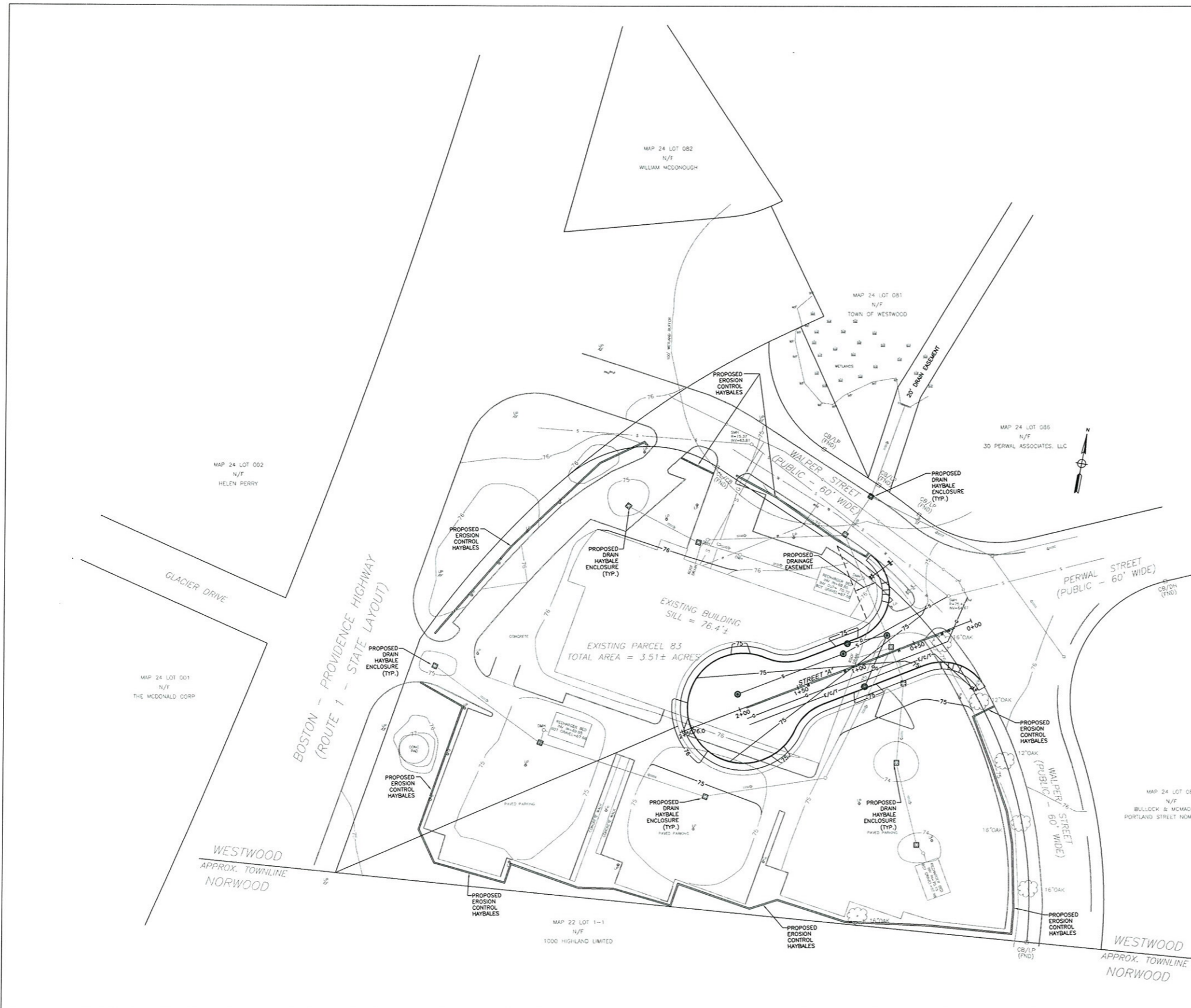
REVISIONS		
REV.	COMMENTS	DATE

PREPARED BY:  
**A-PLUS CONSTRUCTION SERVICES CORPORATION**  
17 ACCORD PARK DRIVE, UNIT 102 NORWELL, MASS. TEL. (781) 681-6667 FAX. (781) 681-6673

FIELD CHIEF: JBS	DES/COMP: JED	DRAFTED BY: JED	CHECKED BY: MC
DATE: AUGUST 31, 2015	SCALE: 1"=40'	JOB#: 3518	FILE: 420 PROVIDENCE HWY.DWG

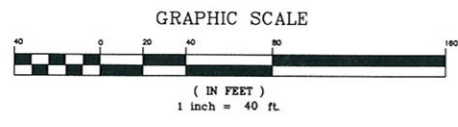
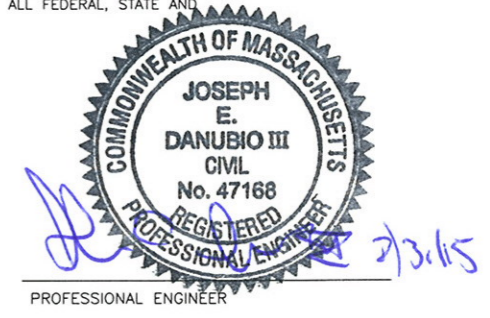
DEFINITIVE PLAN 420 PROVIDENCE HIGHWAY CROSS SECTIONS WESTWOOD, MA PREPARED FOR: <b>420 PROVIDENCE HIGHWAY REALTY TRUST</b>	SHEET <b>6 of 10</b> REV.0
--	----------------------------------





**EROSION CONTROL NOTES:**

1. EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED PRIOR TO START OF CONSTRUCTION OF PROJECT. STABILIZATION OF ALL REGRADED AND SOIL STOCKPILE AREAS WILL BE INITIATED AND MAINTAINED DURING ALL PHASES OF CONSTRUCTION. SOIL STOCKPILE AND AREAS AND DISPOSAL SCHEDULES WILL BE DETERMINED AT PRE-CONSTRUCTION MEETING. CONTRACTOR TO MAINTAIN EROSION CONTROL HAYBALES DOWNSTREAM FROM ALL STOCKPILED MATERIAL AREA ON THE SITE AT ALL TIMES.
2. PLACE SILT SACKS OR WRAP INLETS OF CATCH BASINS OF ALL EXISTING ON SITE CATCH BASINS AND OFF SITE CATCH BASINS AS ON THE PLANS, PRIOR TO BEGINNING SITE WORK.
3. PLACE AND STAKE HAYBALE EROSION CONTROL AT LIMIT OF PROJECT WORK AS SHOWN. PLACE HAYBALES DOWNSTREAM OF SOIL STOCKPILE AREAS. HAYBALES MAY BE SUBSTITUTED BY ALTERNATIVE EROSION CONTROL MEASURE (SILT SACKS, STRAW WADDLES, ETC.) IF AGREED UPON WITH CONSERVATION AGENT PRIOR TO COMMENCEMENT OF WORK.
4. LOCATION OF STABILIZED CONSTRUCTION ENTRANCE TO BE ARRANGED AND AGREED UPON BY CONTRACTOR AND CONSERVATION AGENT PRIOR TO COMMENCEMENT OF WORK. CONTRACTOR TO PROVIDE STABILIZED CONSTRUCTION ENTRANCE AT POINTS OF SITE ACCESS. EXISTING CURB CUT AREAS THAT ARE NOT USED AS CONSTRUCTION ENTRANCES SHALL HAVE HAYBALE EROSION CONTROL PLACED ACROSS THEM.
5. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INSTALL ADDITIONAL CONTROL MEASURES DURING CONSTRUCTION AS REQUIRED (TO PROTECT ANY ADJACENT UNDISTURBED AREAS).
6. SEDIMENT REMOVED FROM EROSION CONTROL STRUCTURES WILL BE DISPOSED OF IN A MANNER WHICH IS CONSISTENT WITH THE INTENT OF THIS PLAN. ALL HAYBALES OR SILT FENCE RETAINING SEDIMENT OVER 1/3 THEIR HEIGHT SHALL HAVE THE SEDIMENT REMOVED AND ALL DAMAGED EROSION CONTROLS REMOVED AND REPLACED.
7. THE CONTRACTOR WILL BE ASSIGNED THE RESPONSIBILITY FOR IMPLEMENTING THIS EROSION AND SEDIMENT CONTROL PLAN. THIS RESPONSIBILITY INCLUDES THE INSTALLATION AND MAINTENANCE OF CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED ON THE CONSTRUCTION SITE OF THE REQUIREMENTS AND OBJECTIVES OF THE PLAN, AND NOTIFYING THE PROPER TOWN AGENCY OF ANY TRANSFER OF THIS RESPONSIBILITY.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTROLLING DUST AND WIND EROSION THROUGHOUT THE LIFE OF THE CONTRACT. DUST CONTROL SHALL INCLUDE, BUT IS NOT LIMITED TO, SPRINKLING OF WATER ON EXPOSED SOILS AND HAUL ROADS. CONTRACTOR SHALL CONTROL DUST TO PREVENT A HAZARD TO TRAFFIC ON ADJACENT ROADWAYS.
9. IF FINAL GRADING IS TO BE DELAYED FOR MORE THAN 21 DAYS AFTER LAND DISTURBANCES CEASE, TEMPORARY VEGETATION OR MULCH SHALL BE USED TO STABILIZE SOILS WITHIN 14 DAYS OF LAST DISTURBANCE.
10. IF A DISTURBED AREA WILL BE EXPOSED FOR GREATER THAN ONE YEAR, PERMANENT GRASSES OR OTHER APPROVED COVER MUST BE INSTALLED.
11. IN DISTURBED AREAS, IF THE SURFACE MATERIAL IS NOT SUITABLE FOR THE GROWING OF SEED, A MINIMUM OF 6 INCHES OF LOAM WILL BE REQUIRED.
12. THE CONTRACTOR MUST KEEP ON SITE AT ALL TIMES ADDITIONAL HAY BALES AND SILT FENCE FOR THE INSTALLATION AT THE DIRECTION OF THE ENGINEER OR CONSERVATION COMMISSION TO MITIGATE ANY EMERGENCY CONDITION.
13. DISPOSAL OF ALL DEMOLISHED MATERIALS IS THE RESPONSIBILITY OF THE CONTRACTOR AND MUST BE HAULED OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL REQUIREMENTS.



REVISIONS		
REV.	COMMENTS	DATE

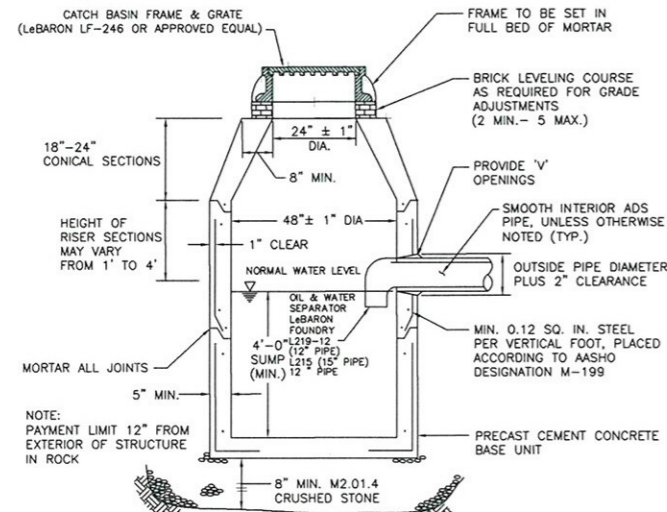
PREPARED BY:  
**A-PLUS CONSTRUCTION SERVICES CORPORATION**  
 17 ACCORD PARK DRIVE UNIT 102 NORWELL, MASS.  
 TEL: (781) 681-6667 FAX: (781) 681-6673

FIELD CHIEF: JBS    DES/COMP: JED    DRAFTED BY: JED    CHECKED BY: MC  
 DATE: AUGUST 31, 2015    SCALE: 1"=40'    JOB#: 3518    FILE: 420 PROVIDENCE HGWY.DWG

**DEFINITIVE PLAN**  
 420 PROVIDENCE HIGHWAY  
 EROSION CONTROL PLAN  
 WESTWOOD, MA  
 PREPARED FOR:  
**420 PROVIDENCE HIGHWAY REALTY TRUST**

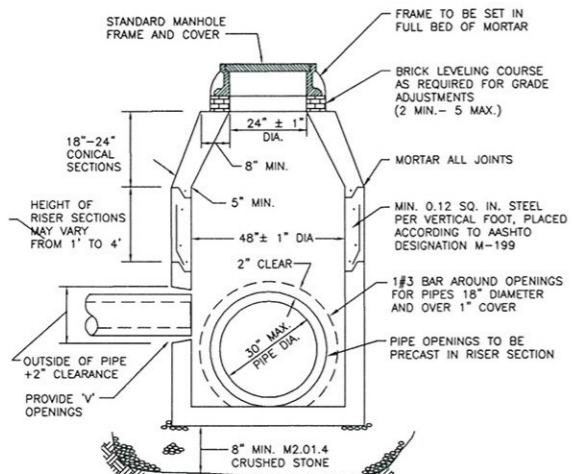
SHEET  
**7 of 10**  
 REV.0





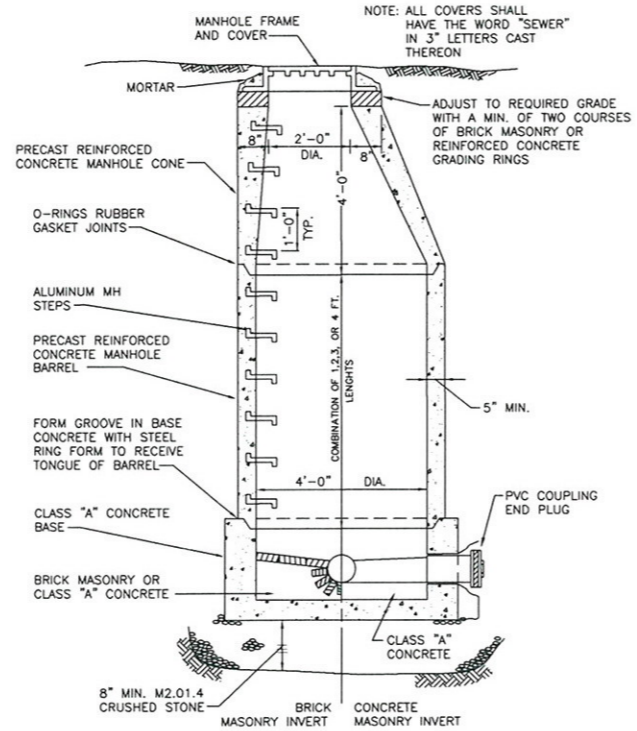
NOTES:  
FACE OF PIPE TO BE FLUSH OR NOT TO PROJECT MORE THAN 4" FROM FACE OF WALL ALONG CENTERLINE OF PIPE.  
WHEN A CURB INLET IS INSTALLED, OPENING TO BE 24" ± 1" x 27" ± 1"

**PRECAST CONCRETE DEEP SUMP CATCH BASIN**  
NOT TO SCALE



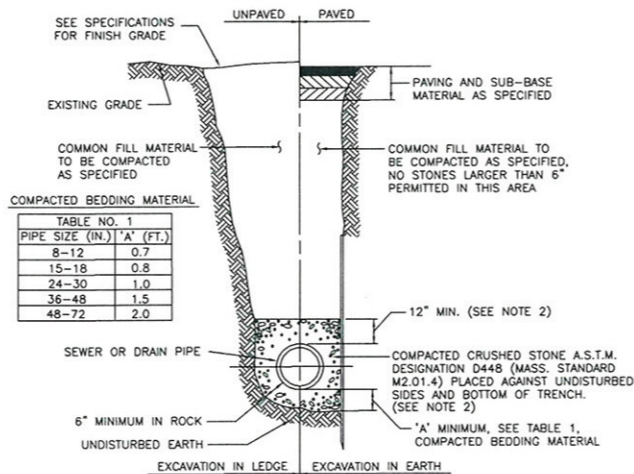
NOTE:  
MANHOLE DIAMETER TO BE INCREASED AS REQUIRED TO ACCOMMODATE THE NUMBER OF PIPES ENTERING OR DISCHARGING FROM MANHOLE.

**PRECAST CONCRETE DRAIN MANHOLE**  
9 FEET OR LESS IN DEPTH  
NOT TO SCALE



NOTE: ALL COVERS SHALL HAVE THE WORD \"SEWER\" IN 3\" LETTERS CAST THEREON

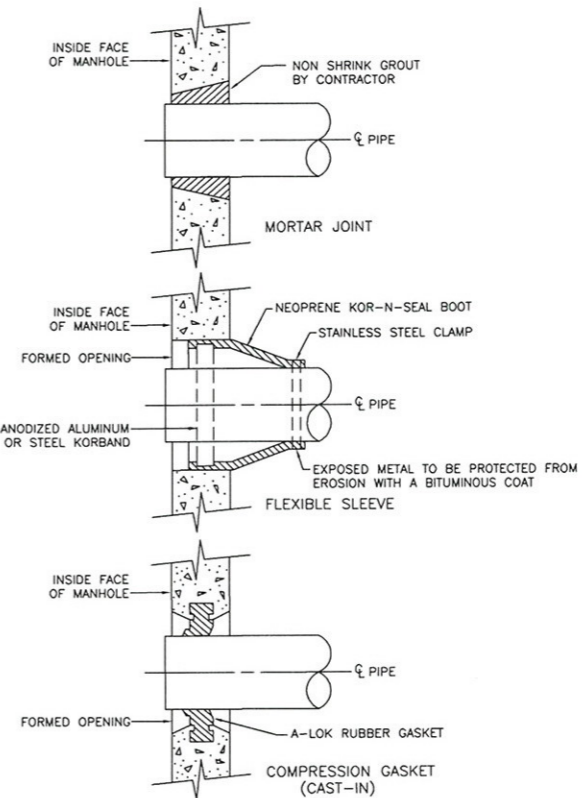
**SEWER MANHOLE**  
NOT TO SCALE



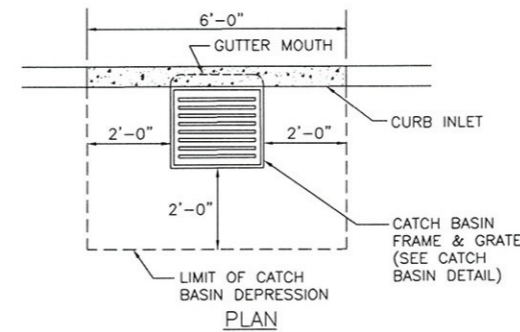
PIPE SIZE (IN.)	'A' (FT.)
8-12	0.7
15-18	0.8
24-30	1.0
36-48	1.5
48-72	2.0

- NOTES:
1. SHEETING, WHEN REQUIRED, TO BE CUT OFF AT LEAST 5 FEET BELOW STREET AND A MINIMUM OF 1 FOOT ABOVE TOP OF PIPE. WOOD SHEETING DRIVEN BELOW MID-DIAMETER OF THE PIPE SHALL BE LEFT IN PLACE. STEEL SHEETING DRIVEN BELOW MID-DIAMETER MAY BE WITHDRAWN IF APPROVED IN WRITING BY THE ENGINEER. FOR PVC PIPE ALL SHEETING DRIVEN BELOW MID-DIAMETER SHALL BE LEFT IN PLACE.
  2. WHEN APPROVED BY THE ENGINEER FOR PIPES OTHER THAN PVC SELECTED GRAVEL FILL MATERIAL MAY BE USED FROM MID-DIAMETER OF PIPE TO 12" ABOVE TOP OF PIPE. NO STONES LARGER THAN 2 INCHES IN ANY DIMENSION WILL BE PERMITTED IN THIS AREA - MASSACHUSETTS STATE MATERIAL STANDARD M1.03.0 TYPE C.
  3. TRENCHES LOCATED ON THE ROAD SHOULDER SHALL BE TREATED THE SAME EXCEPT FOR PAVING.
  4. PROVIDE AT LEAST ONE IMPERVIOUS DAM IN GRAVEL BEDDING BETWEEN EACH MANHOLE WHERE DIRECTED, OR EVERY 300 FEET, WHICHEVER IS LESS. SEE DETAIL.
  5. BEDDING MATERIAL FOR PVC PIPE SHALL MEET THE REQUIREMENTS OF ASTM D2321 CLASS I OR CLASS II EMBEDMENT MATERIALS.

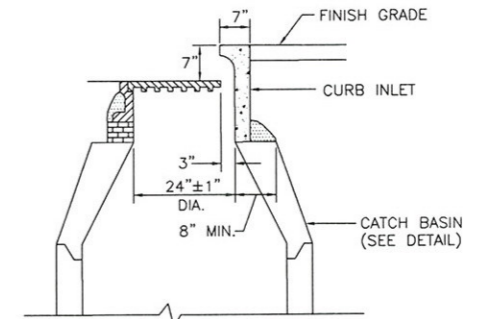
**SEWER AND DRAIN TRENCH**  
NOT TO SCALE



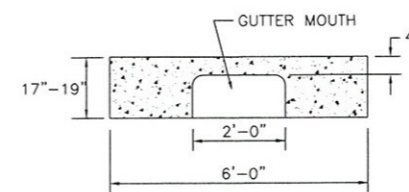
**PIPE TO MANHOLE CONNECTIONS**  
NOT TO SCALE



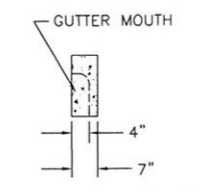
**PLAN**



**CROSS SECTION**



**FRONT ELEVATION**



**SIDE ELEVATION**

**CURB INLET DETAIL**  
NOT TO SCALE



PROFESSIONAL ENGINEER

REVISIONS		
REV.	COMMENTS	DATE

PREPARED BY:  
**A-PLUS CONSTRUCTION SERVICES CORPORATION**  
17 ACCORD PARK DRIVE, UNIT 102 NORWELL, MASS.  
TEL. (781) 681-6667 FAX. (781) 681-6673

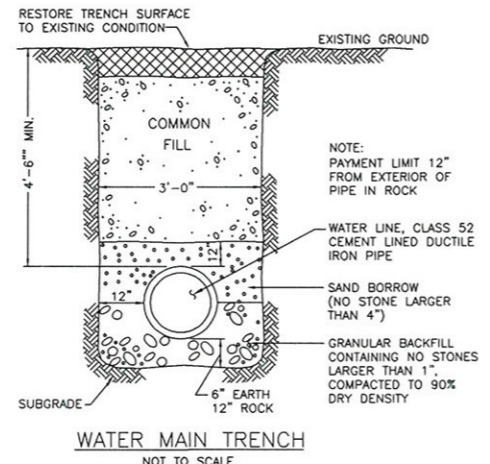
ORIGINAL FULL SIZE DRAWING=4"  
REPRODUCTIONS MAY BE REDUCED SIZE

FIELD CHIEF: JBS    DES/COMP: JED    DRAFTED BY: JED    CHECKED BY: MC  
DATE: AUGUST 31, 2015    SCALE: NTS    JOB#: 3518    FILE: 420 PROVIDENCE HGWY.DWG

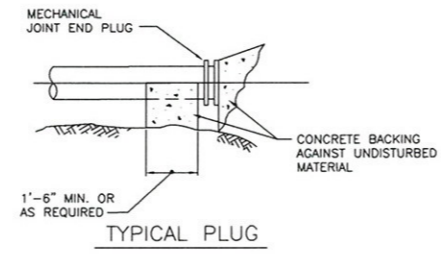

DEFINITIVE PLAN  
420 PROVIDENCE HIGHWAY  
CONSTRUCTION DETAILS 1  
WESTWOOD, MA  
PREPARED FOR:  
**420 PROVIDENCE HIGHWAY REALTY TRUST**

SHEET  
**8 of 10**  
REV.0

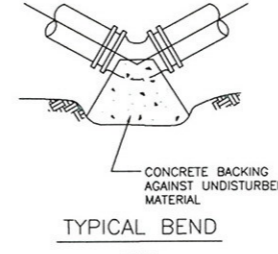




**WATER MAIN TRENCH**  
NOT TO SCALE



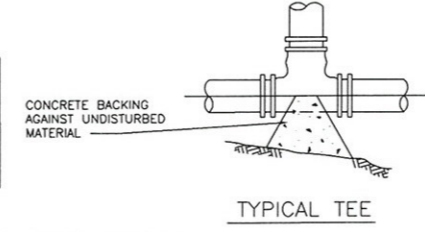
**TYPICAL PLUG**



**TYPICAL BEND**

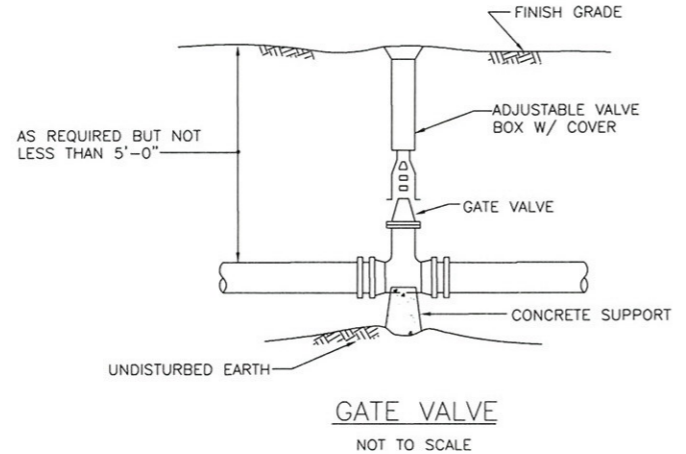
TABLE OF BEARING AREAS IN SQUARE FEET AGAINST UNDISTURBED MATERIAL FOR WATER MAIN FITTINGS

SIZE OF MAIN (IN.)	45° BEND	TEES & PLUGS	22 1/2° BEND
8" & LESS	8	10	8
10" & 12"	22	16	13

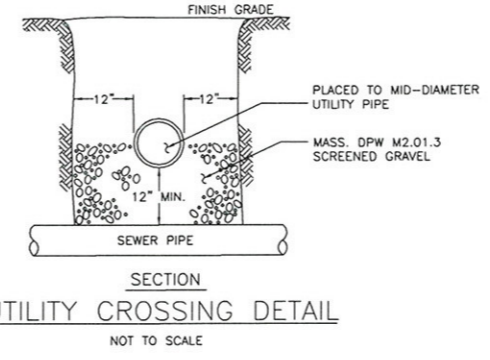


**TYPICAL TEE**

**THRUST BLOCK DETAIL**  
NOT TO SCALE



**GATE VALVE**  
NOT TO SCALE



**SECTION**  
**UTILITY CROSSING DETAIL**  
NOT TO SCALE

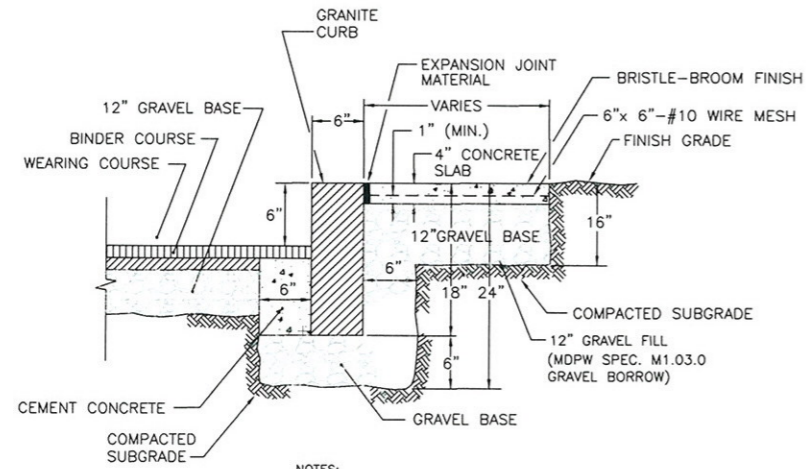


*Handwritten signature of Joseph E. Danubio III*

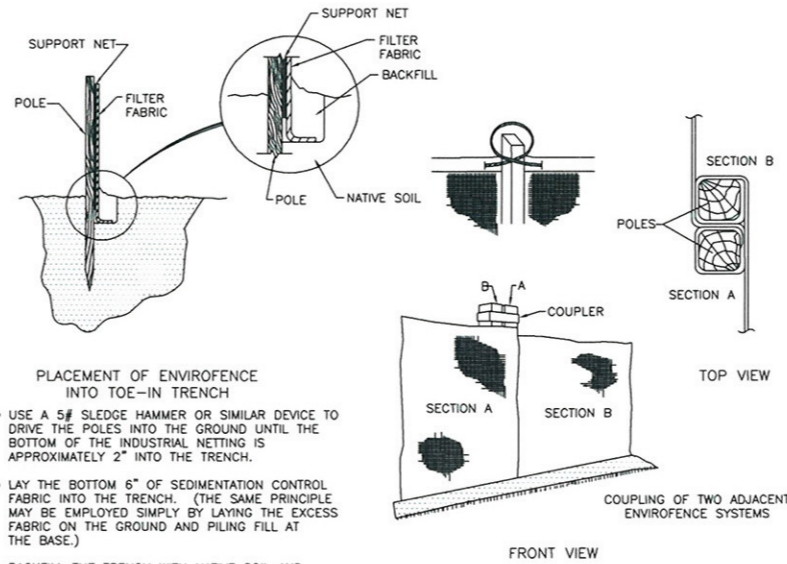
PROFESSIONAL ENGINEER

	<p>REVISIONS</p> <table border="1" style="width:100%; border-collapse: collapse;"> <thead> <tr> <th>REV.</th> <th>COMMENTS</th> <th>DATE</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </tbody> </table>	REV.	COMMENTS	DATE													<p>PREPARED BY:</p> <p><b>A-PLUS CONSTRUCTION SERVICES CORPORATION</b> 17 ACCORD PARK DRIVE, UNIT 102 NORWELL, MASS. TEL. (781) 681-6667 FAX. (781) 681-6673</p>		<p>DEFINITIVE PLAN</p> <p>420 PROVIDENCE HIGHWAY CONSTRUCTION DETAILS 2 WESTWOOD, MA</p> <p>PREPARED FOR:</p> <p><b>420 PROVIDENCE HIGHWAY REALTY TRUST</b></p>	<p>SHEET</p> <p><b>9 of 10</b></p> <p>REV.0</p>
REV.	COMMENTS	DATE																		
		<p>ORIGINAL FULL SIZE DRAWING=4"</p> <p>REPRODUCTIONS MAY BE REDUCED SIZE</p>																		
		<p>FIELD CHIEF: JBS    DES/COMP: JED    DRAFTED BY: JED    CHECKED BY: MC</p> <p>DATE: AUGUST 31, 2015    SCALE: NTS    JOB#: 3518    FILE: 420 PROVIDENCE HG.WY.DWG</p>																		



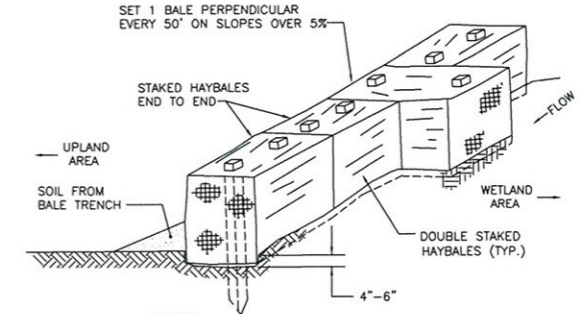


**VERTICAL GRANITE CURB & SIDEWALK**  
NOT TO SCALE



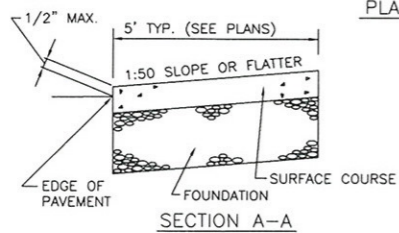
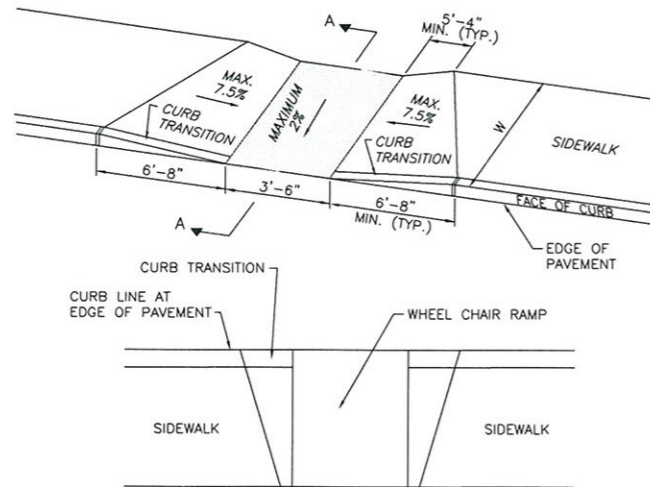
- PLACEMENT OF ENVIROFENCE INTO TOE-IN TRENCH**
- USE A 5# SLEDGE HAMMER OR SIMILAR DEVICE TO DRIVE THE POLES INTO THE GROUND UNTIL THE BOTTOM OF THE INDUSTRIAL NETTING IS APPROXIMATELY 2" INTO THE TRENCH.
  - LAY THE BOTTOM 6" OF SEDIMENTATION CONTROL FABRIC INTO THE TRENCH. (THE SAME PRINCIPLE MAY BE EMPLOYED SIMPLY BY LAYING THE EXCESS FABRIC ON THE GROUND AND PILING FILL AT THE BASE.)
  - BACKFILL THE TRENCH WITH NATIVE SOIL AND COMPACT, MAKING SURE THE FABRIC TOE IS IN PLACE.

**MIRAFI SILT FENCE**  
NOT TO SCALE



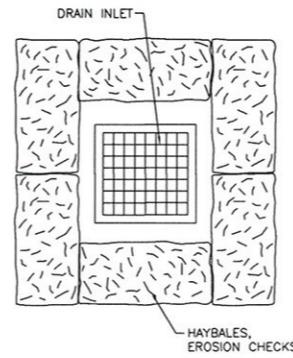
- NOTES:**
1. BALES TO BE TIED WITH ORGANIC FIBER TWINE ONLY, NO PLASTIC OR WIRE.
  2. HAYBALES TO BE SECURED WITH MIN. 2"x2"x3' WOODEN STAKES, DRIVEN 18" MIN. INTO GRADE.

**HAYBALES**  
NOT TO SCALE

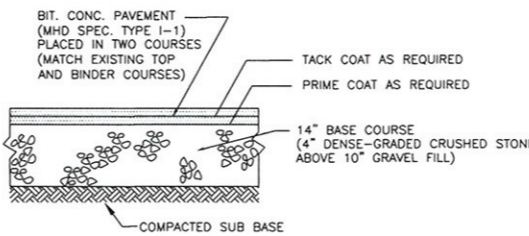


**WHEEL CHAIR RAMP**  
FOR SIDEWALKS UP TO 8' WIDE  
NOT TO SCALE

W	L	S.Y.
4'-0"	3'-6"±	5.2
5'-0"	2'-9"±	6.3
6'-0"	2'-0"±	7.2
7'-0"	1'-3"±	8.0
8'-0"	0'-0"	8.1

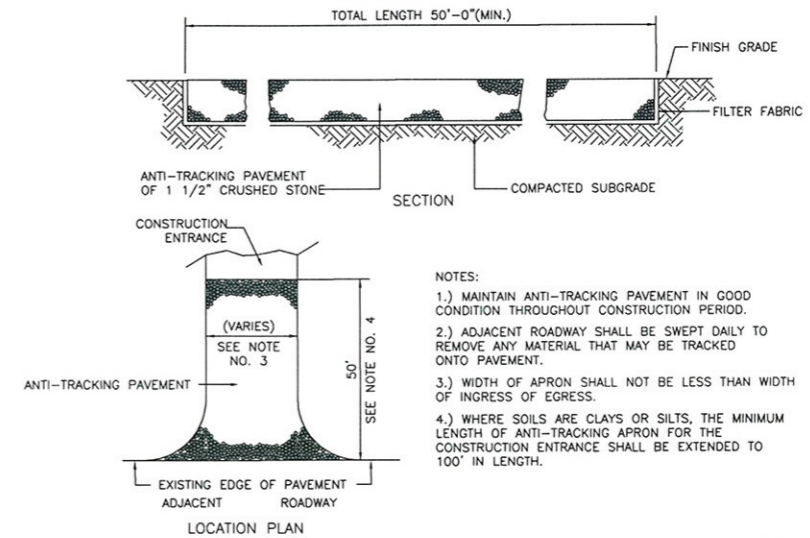


**DRAIN HAYBALE ENCLOSURE**  
NOT TO SCALE



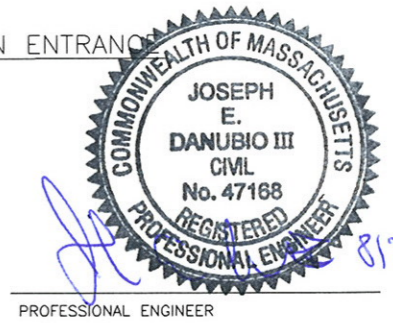
- NOTES:**
1. USE 6" OF COMPACTED GRAVEL FOR BASE COURSE FOR BITUMINOUS CONCRETE SIDEWALKS.
  2. ASPHALT PATCHING OF THE EXISTING ROADWAY SHALL HAVE A THICKNESS EQUAL TO THE EXISTING PAVEMENT BUT NOT LESS THAN 5".

**BITUMINOUS CONCRETE PAVEMENT**  
NOT TO SCALE



- NOTES:**
- 1.) MAINTAIN ANTI-TRACKING PAVEMENT IN GOOD CONDITION THROUGHOUT CONSTRUCTION PERIOD.
  - 2.) ADJACENT ROADWAY SHALL BE SWEEP DAILY TO REMOVE ANY MATERIAL THAT MAY BE TRACKED ONTO PAVEMENT.
  - 3.) WIDTH OF APRON SHALL NOT BE LESS THAN WIDTH OF INGRESS OF EGRESS.
  - 4.) WHERE SOILS ARE CLAYS OR SILTS, THE MINIMUM LENGTH OF ANTI-TRACKING APRON FOR THE CONSTRUCTION ENTRANCE SHALL BE EXTENDED TO 100' IN LENGTH.

**STABILIZED CONSTRUCTION ENTRANCE**  
NOT TO SCALE



REVISIONS		
REV.	COMMENTS	DATE

PREPARED BY:  
**A-PLUS CONSTRUCTION SERVICES CORPORATION**  
17 ACCORD PARK DRIVE, UNIT 102 NORWELL, MASS.  
TEL. (781) 681-6667 FAX. (781) 681-6673

FIELD CHIEF: JBS DES/COMP: JED DRAFTED BY: JED CHECKED BY: MC  
DATE: AUGUST 31, 2015 SCALE: NTS JOB#: 3518 FILE: 420 PROVIDENCE HGWY.DWG

--	--

**DEFINITIVE PLAN**  
420 PROVIDENCE HIGHWAY  
CONSTRUCTION DETAILS 3  
WESTWOOD, MA  
PREPARED FOR:  
**420 PROVIDENCE HIGHWAY REALTY TRUST**

SHEET  
**10 of 10**  
REV.0