

Ayoub Engineering, Inc.
 414 Benefit Street
 Pawtucket, RI 02861
 Phone: (401) 728-5533
 Fax: (401) 724-1110

Letter of Transmittal

		Date: 06/05/2018	Job No: 1702.214
To:	Karon Skinner Catrone Conservation Agent Town of Westwood 50 Carby Street Westwood, MA 02090	Re:	Notice of Intent 394 Providence Highway Westwood, MA

We are sending you:

Attached Under separate cover

Via:

U.S. Postal Service Overnight mail

Hand Delivery Other:

The following:

Copies	Date	Description
10	06/05/2018	Notice of Intent Application
10	05/25/2018	Notice of Intent Plans
10	12/19/2014	Natural Resource Services, Inc. Wetlands Report
1	06/04/2018	Wetland Application: Town Clerk
1	06/04/2018	Time Waiver Requirement
1	06/04/2018	Affidavit of Service
1		Worksheet for Fees Westwood Wetlands Bylaw – Article 18
1		Plans Checklist
1		Certified Abutters and Notice of Intent
1	06/05/2018	Check #3162 for \$100 payable to Town of Westwood
1	06/05/2018	Check #3163 for \$262.50 payable to Town of Westwood

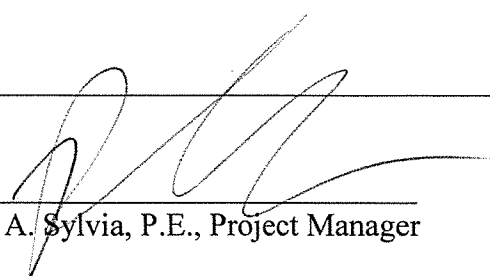
For the purpose of:

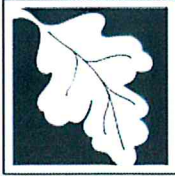
- | | | |
|--|---|---|
| <input type="checkbox"/> For approval | <input type="checkbox"/> Approved as submitted | <input type="checkbox"/> Return a copy |
| <input checked="" type="checkbox"/> For your use | <input type="checkbox"/> Approved as noted | <input type="checkbox"/> Prints Returned After Loan to Us |
| <input type="checkbox"/> As requested | <input type="checkbox"/> For review and comment | <input type="checkbox"/> Other: |

Remarks:

If there are any questions, please call me at the number above, or email at psylvia@ayoubengineering.com.

Copy to: _____

Signed: 
 Paul A. Sylvia, P.E., Project Manager



Massachusetts Department of Environmental Protection

eDEP Transaction Copy

Here is the file you requested for your records.

To retain a copy of this file you must save and/or print.

Username: AYOUBENG

Transaction ID: 1018955

Document: WPA Form 3 - NOI

Size of File: 259.79K

Status of Transaction: In Process

Date and Time Created: 6/5/2018:9:59:46 AM

Note: This file only includes forms that were part of your transaction as of the date and time indicated above. If you need a more current copy of your transaction, return to eDEP and select to "Download a Copy" from the Current Submittals page.



Massachusetts Department of Environmental Protection

Bureau of Resource Protection - Wetlands

WPA Form 3 - Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:
MassDEP File #:
eDEP Transaction #:1018955
City/Town:WESTWOOD

A.General Information

1. Project Location:

a. Street Address	394 PROVIDENCE HIGHWAY		
b. City/Town	WESTWOOD	c. Zip Code	02090
d. Latitude	42.21435N	e. Longitude	71.18170W
f. Map/Plat #	24	g.Parcel/Lot #	82

2. Applicant:

Individual Organization

a. First Name	PAUL	b.Last Name	SYLVIA
c. Organization	AYOUB ENGINEERING, INC.		
d. Mailing Address	414 BENEFIT STREET		
e. City/Town	PAWTUCKET	f. State	RI
g. Zip Code	02861		
h. Phone Number	401-728-5533	i. Fax	401-724-1110
j. Email	psylvia@ayoubengineering.com		

3.Property Owner:

more than one owner

a. First Name	WILLIAM	b. Last Name	MCDONOUGH
c. Organization			
d. Mailing Address			
e. City/Town	f.State	g. Zip Code	
h. Phone Number	i. Fax	j.Email	

4.Representative:

a. First Name	b. Last Name
c. Organization	
d. Mailing Address	
e. City/Town	f. State
g. Zip Code	
h.Phone Number	i.Fax
	j.Email

5.Total WPA Fee Paid (Automatically inserted from NOI Wetland Fee Transmittal Form):

a.Total Fee Paid	500.00	b.State Fee Paid	237.50	c.City/Town Fee Paid	262.50
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6.General Project Description:

REMOVE EXISTING UNDERGROUND STORAGE TANKS, TANK MAT, AND PIPING. REPLACE WITH TWO NEW DOUBLE-WALL FIBERGLASS 15,000 GALLON UNDERGROUND STORAGE TANKS WITH LATEST SPILL DETECTION AND MITIGATION, NEW TANK MAT, AND NEW PIPING.

7a.Project Type:

- | | |
|---|--|
| 1. <input type="checkbox"/> Single Family Home | 2. <input type="checkbox"/> Residential Subdivision |
| 3. <input type="checkbox"/> Limited Project Driveway Crossing | 4. <input checked="" type="checkbox"/> Commercial/Industrial |
| 5. <input type="checkbox"/> Dock/Pier | 6. <input type="checkbox"/> Utilities |
| 7. <input type="checkbox"/> Coastal Engineering Structure | 8. <input type="checkbox"/> Agriculture (eg., cranberries, forestry) |
| 9. <input type="checkbox"/> Transportation | 10. <input type="checkbox"/> Other |



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7b. Is any portion of the proposed activity eligible to be treated as a limited project subject to 310 CMR 10.24 (coastal) or 310 CMR 10.53 (inland)?

1. Yes No If yes, describe which limited project applies to this project:
 2. Limited Project

8. Property recorded at the Registry of Deeds for:

a. County:	b. Certificate:	c. Book:	d. Page:
NORFOLK		6024	859

B. Buffer Zone & Resource Area Impacts (temporary & permanent)

1. Buffer Zone & Resource Area Impacts (temporary & permanent):

This is a Buffer Zone only project - Check if the project is located only in the Buffer Zone of a Bordering Vegetated Wetland, Inland Bank, or Coastal Resource Area.

2. Inland Resource Areas: (See 310 CMR 10.54 - 10.58, if not applicable, go to Section B.3. Coastal Resource Areas)

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
a. <input type="checkbox"/> Bank	1. linear feet	2. linear feet
b. <input type="checkbox"/> Bordering Vegetated Wetland	1. square feet	2. square feet
c. <input type="checkbox"/> Land under Waterbodies and Waterways	1. Square feet	2. square feet
	3. cubic yards dredged	
d. <input type="checkbox"/> Bordering Land Subject to Flooding	1. square feet	2. square feet
	3. cubic feet of flood storage lost	4. cubic feet replaced
e. <input type="checkbox"/> Isolated Land Subject to Flooding	1. square feet	
	2. cubic feet of flood storage lost	3. cubic feet replaced
f. <input type="checkbox"/> Riverfront Area	1. Name of Waterway (if any)	
2. Width of Riverfront Area (check one)	<input type="checkbox"/> 25 ft. - Designated Densely Developed Areas only	
	<input type="checkbox"/> 100 ft. - New agricultural projects only	
	<input type="checkbox"/> 200 ft. - All other projects	
3. Total area of Riverfront Area on the site of the proposed project		square feet
4. Proposed Alteration of the Riverfront Area:		
a. total square feet	b. square feet within 100 ft.	c. square feet between 100 ft.



Massachusetts Department of Environmental Protection

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and 200 ft.

5. Has an alternatives analysis been done and is it attached to this NOI? Yes No

6. Was the lot where the activity is proposed created prior to August 1, 1996? Yes No

3.Coastal Resource Areas: (See 310 CMR 10.25 - 10.35)

Resource Area Size of Proposed Alteration Proposed Replacement (if any)

a. <input type="checkbox"/> Designated Port Areas	Indicate size under	Land under the ocean below,
b. <input type="checkbox"/> Land Under the Ocean	1. square feet	
	2. cubic yards dredged	
c. <input type="checkbox"/> Barrier Beaches	Indicate size under Coastal Beaches and/or Coastal Dunes, below	
d. <input type="checkbox"/> Coastal Beaches	1. square feet	2. cubic yards beach nourishment
e. <input type="checkbox"/> Coastal Dunes	1. square feet	2. cubic yards dune nourishment
f. <input type="checkbox"/> Coastal Banks	1. linear feet	
g. <input type="checkbox"/> Rocky Intertidal Shores	1. square feet	
h. <input type="checkbox"/> Salt Marshes	1. square feet	2. sq ft restoration, rehab, crea.
i. <input type="checkbox"/> Land Under Salt Ponds	1. square feet	
	2. cubic yards dredged	
j. <input type="checkbox"/> Land Containing Shellfish	1. square feet	
k. <input type="checkbox"/> Fish Runs	Indicate size under Coastal Banks, Inland Bank, Land Under the Ocean, and/or inland Land Under Waterbodies and Waterways, above	
	1. cubic yards dredged	
l. <input type="checkbox"/> Land Subject to Coastal Storm Flowage	1. square feet	

4.Restoration/Enhancement

Restoration/Replacement

If the project is for the purpose of restoring or enhancing a wetland resource area in addition to the square footage that has been entered in Section B.2.b or B.3.h above, please entered the additional amount here.

a. square feet of BVW b. square feet of Salt Marsh

5.Projects Involves Stream Crossings



Massachusetts Department of Environmental Protection

Bureau of Resource Protection - Wetlands

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Provided by MassDEP:
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Project Involves Streams Crossings

If the project involves Stream Crossings, please enter the number of new stream crossings/number of replacement stream crossings.

a. number of new stream crossings

b. number of replacement stream crossings

C. Other Applicable Standards and Requirements

Streamlined Massachusetts Endangered Species Act/Wetlands Protection Act Review

1. Is any portion of the proposed project located in **Estimated Habitat of Rare Wildlife** as indicated on the most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife published by the Natural Heritage of Endangered Species program (NHESP)?

a. Yes No

If yes, include proof of mailing or hand delivery of NOI to:

Natural Heritage and Endangered Species Program
Division of Fisheries and Wildlife
1 Rabbit Hill Road
Westborough, MA 01581

b. Date of map:FROM MAP VIEWER

If yes, the project is also subject to Massachusetts Endangered Species Act (MESA) review (321 CMR 10.18)....

c. Submit Supplemental Information for Endangered Species Review * (Check boxes as they apply)

1. Percentage/acreage of property to be altered:

(a) within Wetland Resource Area

percentage/acreage

(b) outside Resource Area

percentage/acreage

2. Assessor's Map or right-of-way plan of site

3. Project plans for entire project site, including wetland resource areas and areas outside of wetland jurisdiction, showing existing and proposed conditions, existing and proposed tree/vegetation clearing line, and clearly demarcated limits of work **

a. Project description (including description of impacts outside of wetland resource area & buffer zone)

b. Photographs representative of the site

c. MESA filing fee (fee information available at: <http://www.mass.gov/eea/agencies/dfg/dfw/natural-heritage/regulatory-review/mass-endangered-species-act-mesa/mesa-fee-schedule.html>)

Make check payable to "Natural Heritage & Endangered Species Fund" and **mail to NHESP** at above address

Projects altering 10 or more acres of land, also submit:

d. Vegetation cover type map of site

e. Project plans showing Priority & Estimated Habitat boundaries

d. OR Check One of the following

1. Project is exempt from MESA review. Attach applicant letter indicating which MESA exemption applies. (See 321 CMR 10.14, <http://www.mass.gov/eea/agencies/dfg/dfw/laws-regulations/cmr/321-cmr-1000-massachusetts-endangered-species-act.html#10.14>; the NOI must still be sent to NHESP if the project is within estimated habitat pursuant to 310 CMR 10.37 and 10.59.)

2. Separate MESA review ongoing.



Massachusetts Department of Environmental Protection

Bureau of Resource Protection - Wetlands

WPA Form 3 - Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:
 MassDEP File #:
 eDEP Transaction #:1018955
 City/Town:WESTWOOD

a. NHESP Tracking Number

b. Date submitted to NHESP

3. Separate MESA review completed.

Include copy of NHESP "no Take" determination or valid Conservation & Management Permit with approved plan.

* Some projects **not** in Estimated Habitat may be located in Priority Habitat, and require NHESP review...

2. For coastal projects only, is any portion of the proposed project located below the mean high waterline or in a fish run?

a. Not applicable - project is in inland resource area only

b. Yes No

If yes, include proof of mailing or hand delivery of NOI to either:

South Shore - Cohasset to Rhode Island, and the Cape & Islands:	North Shore - Hull to New Hampshire:
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Division of Marine Fisheries -
 Southeast Marine Fisheries Station
 Attn: Environmental Reviewer
 1213 Purchase street - 3rd floor
 New Bedford, MA 02740-6694

Division of Marine
 Fisheries -
 North Shore Office
 Attn: Environmental
 Reviewer
 30 Emerson Avenue
 Gloucester, MA 01930

If yes, it may require a Chapter 91 license. For coastal towns in the Northeast Region, please contact MassDEP's Boston Office. For coastal towns in the Southeast Region, please contact MassDEP's Southeast Regional office.

3. Is any portion of the proposed project within an Area of Critical Environmental Concern (ACEC)?

a. Yes No

If yes, provide name of ACEC (see instructions to WPA Form 3 or DEP Website for ACEC locations). **Note:** electronic filers click on Website.

b. ACEC Name

4. Is any portion of the proposed project within an area designated as an Outstanding Resource Water (ORW) as designated in the Massachusetts Surface Water Quality Standards, 314 CMR 4.00?

a. Yes No

5. Is any portion of the site subject to a Wetlands Restriction Order under the Inland Wetlands Restriction Act (M.G.L.c. 131, § 40A) or the Coastal Wetlands Restriction Act (M.G.L.c. 130, § 105)?

a. Yes No

6. Is this project subject to provisions of the MassDEP Stormwater Management Standards?

a. Yes, Attach a copy of the Stormwater Report as required by the Stormwater Management Standards per 310 CMR 10.05(6)(k)-(q) and check if:

1. Applying for Low Impact Development (LID) site design credits (as described in Stormwater Management Handbook Vol.2, Chapter 3)

2. A portion of the site constitutes redevelopment

3. Proprietary BMPs are included in the Stormwater Management System



Massachusetts Department of Environmental Protection

Bureau of Resource Protection - Wetlands

WPA Form 3 - Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:
MassDEP File #:
eDEP Transaction #:1018955
City/Town:WESTWOOD

b. No, Explain why the project is exempt:

- 1. Single Family Home
- 2. Emergency Road Repair
- 3. Small Residential Subdivision (less than or equal to 4 single-family houses or less than or equal to 4 units in multi-family housing project) with no discharge to Critical Areas.

D. Additional Information

Applicants must include the following with this Notice of Intent (NOI). See instructions for details.

Online Users: Attach the document transaction number (provided on your receipt page) for any of the following information you submit to the Department by regular mail delivery.

- 1. USGS or other map of the area (along with a narrative description, if necessary) containing sufficient information for the Conservation Commission and the Department to locate the site. (Electronic filers may omit this item.)
- 2. Plans identifying the location of proposed activities (including activities proposed to serve as a Bordering Vegetated Wetland [BVW] replication area or other mitigating measure) relative to the boundaries of each affected resource area.
- 3. Identify the method for BVW and other resource area boundary delineations (MassDEP BVW Field Data Form(s). Determination of Applicability, Order of Resource Area Delineation, etc.), and attach documentation of the methodology.
- 4. List the titles and dates for all plans and other materials submitted with this NOI.

a. Plan Title:	b. Plan Prepared By:	c. Plan Signed/Stamped By:	c. Revised Final Date:	e. Scale:
ALTA/ACSM LAND TITLE SURVEY	COMMONWEALTH LAND SURVEYORS, INC.	CURT A. NUNES, PLS	01/22/2014	1"=20'
TANK & PIPING PLAN	AYOUB ENGINEERING, INC.	PAUL A. SYLVIA, PE	04/24/2018	1"=10'
TANK & PIPING STANDARDS	AYOUB ENGINEERING, INC.	PAUL A. SYLVIA, PE	04/24/2018	NOT TO SCALE
TANK ELEVATIONS	AYOUB ENGINEERING, INC.	PAUL A. SYLVIA, PE	04/24/2018	AS NOTED
TANK & PIPING DETAILS	AYOUB ENGINEERING, INC.	PAUL A. SYLVIA, PE	04/24/2018	AS NOTED

- 5. If there is more than one property owner, please attach a list of these property owners not listed on this form.
- 6. Attach proof of mailing for Natural Heritage and Endangered Species Program, if needed.
- 7. Attach proof of mailing for Massachusetts Division of Marine Fisheries, if needed.
- 8. Attach NOI Wetland Fee Transmittal Form.
- 9. Attach Stormwater Report, if needed.



Massachusetts Department of Environmental Protection

Bureau of Resource Protection - Wetlands

WPA Form 3 - Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:
MassDEP File #:
eDEP Transaction #:1018955
City/Town:WESTWOOD

E. Fees

- 1. Fee Exempt: No filing fee shall be assessed for projects of any city, town, county, or district of the Commonwealth, federally recognized Indian tribe housing authority, municipal housing authority, or the Massachusetts Bay Transportation Authority.

Applicants must submit the following information (in addition to pages 1 and 2 of the NOI Wetland Fee Transmittal Form) to confirm fee payment:

_____	_____
2. Municipal Check Number	3. Check date
_____	_____
4. State Check Number	5. Check date
_____	_____
6. Payer name on check: First Name	7. Payer name on check: Last Name

F. Signatures and Submittal Requirements

I hereby certify under the penalties of perjury that the foregoing Notice of Intent and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge. I understand that the Conservation Commission will place notification of this Notice in a local newspaper at the expense of the applicant in accordance with the wetlands regulations, 310 CMR 10.05(5)(a).

I further certify under penalties of perjury that all abutters were notified of this application, pursuant to the requirements of M.G.L. c. 131, § 40. Notice must be made by Certificate of Mailing or in writing by hand delivery or certified mail (return receipt requested) to all abutters within 100 feet of the property line of the project location.

Paul A. Sylvia	6/5/2018
_____	_____
1. Signature of Applicant	2. Date
Dennis Darveau	6/5/2018
_____	_____
3. Signature of Property Owner(if different)	4. Date
_____	_____
5. Signature of Representative (if any)	6. Date

For Conservation Commission:

Two copies of the completed Notice of Intent (Form 3), including supporting plans and documents, two copies of the NOI Wetland Fee Transmittal Form, and the city/town fee payment, to the Conservation Commission by certified mail or hand delivery.

For MassDEP:

One copy of the completed Notice of Intent (Form 3), including supporting plans and documents, one copy of the NOI Wetland Fee Transmittal Form, and a copy of the state fee payment to the MassDEP Regional Office (see Instructions) by certified mail or hand delivery.

Other:

If the applicant has checked the "yes" box in Section C, Items 1-3, above, refer to that section and the Instructions for additional submittal requirements.

The original and copies must be sent simultaneously. Failure by the applicant to send copies in a timely manner may result in dismissal of the Notice of Intent.



Massachusetts Department of Environmental Protection
 Bureau of Resource Protection - Wetlands
WPA Form 3 - Notice of Wetland Fee Transmittal
Form
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:
 MassDEP File #:
 eDEP Transaction #:1018955
 City/Town:WESTWOOD

A. Applicant Information

1. Applicant:

a. First Name PAUL b. Last Name SYLVIA
 c. Organization AYOUB ENGINEERING, INC.
 d. Mailing Address 414 BENEFIT STREET
 e. City/Town PAWTUCKET f. State RI g. Zip Code 02861
 h. Phone Number 4017285533 i. Fax 4017241110 j. Email psylvia@ayoubengineering.com

2. Property Owner:(if different)

a. First Name WILLIAM b. Last Name MCDONOUGH
 c. Organization
 d. Mailing Address
 e. City/Town f.State g. Zip Code
 h. Phone Number i. Fax j.Email

3. Project Location:

a. Street Address 394 PROVIDENCE HIGHWAY b. City/Town WESTWOOD

Are you exempted from Fee? (YOU HAVE SELECTED 'NO')

Note: Fee will be exempted if you are one of the following:

- City/Town/County/District
- Municipal Housing Authority
- Indian Tribe Housing Authority
- MBTA

State agencies are only exempt if the fee is less than \$100

B. Fees

Activity Type	Activity Number	Activity Fee	RF Multiplier	Sub Total
J.) ANY OTHER ACTIVITY NOT IN CATEGORY 1,3,4,5 OR 6;	1	500.00		500.00
		City/Town share of filling fee \$262.50	State share of filing fee \$237.50	Total Project Fee \$500.00

Receipt



Summary/Receipt

Your submission is complete. Thank you for using DEP's online reporting system. You can select "My eDEP" to see a list of your transactions.

DEP Transaction ID: 1018955
Date and Time Submitted: 6/5/2018 9:46:17 AM
Other Email :

Form Name: WPA Form 3 - NOI

Project Location

City/Town Name: WESTWOOD
location: 394 PROVIDENCE HIGHWAY
General Description: REMOVE EXISTING UNDERGROUND STORAGE TANKS, TANK MAT, AND PIPING. REPLACE WITH TWO NEW DOUBLE-WALL FIBERGLASS 15,000 GALLON UNDERGROUND STORAGE TANKS WITH LATEST SPILL DETECTION AND MITIGATION, NEW TANK MAT, AND NEW PIPING.

Applicant Information

Name: PAUL SYLVIA
Company: AYOUB ENGINEERING, INC.
Address: 414 BENEFIT STREET, PAWTUCKET, RI, 02861

Payment Information

Your fee for the state share is \$: 237.50
If you have paid by credit card or ACH, thank you for your payment. If you are paying by check or money order, please send your check (payable to the Commonwealth of Massachusetts) to MassDEP, Box 4062, Boston, MA 02211

Additional Forms Submitted

WPA Form 3 - NOI (Fee Transmittal)(ONLINE ONLY)

Ancillary Document Uploaded/Mailed

Colbea_Westwood,MA_NOI Plan Set_05-25-2018
NRS Wetlands Report 12-19-14

[My eDEP](#)

TOWN OF WESTWOOD
Commonwealth of Massachusetts

Joseph E. Prud'homme, Chairman
Leo J. Crowe
William Stowe
Charles Pare



2018 JUN -5 P 12: 07
Steven Woodworth, Vice Chair
Michael Terry
John C. Murphy
TOWN CLERK
TOWN OF WESTWOOD

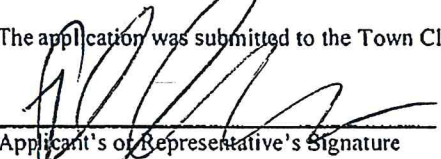
CONSERVATION COMMISSION

Wetland Permit Application: Town Clerk

Westwood Conservation Commission
Westwood Town Hall
50 Carby Street
Westwood, MA 02090

Dear Commission:

I here certify that a complete copy of the application and plans submitted to the Westwood Conservation Commission for a permit under the Wetland Protection Act, M.G.L. c. 131, s40 and/or the Westwood Wetlands Protection Bylaw, Article 18 has been filed with the Westwood Town Clerk.

The application was submitted to the Town Clerk on (date) 6/5/18

Applicant's or Representative's Signature Date 6/4/18

Applicant's Name Paul Sylvia, P.E., Ayoub Engineering, Inc.
Project Location : 394 Providence Highway
Project Type: Notice of Intent
New Tanks and Piping

Westwood Conservation Commission
50 Carby Street
Westwood, MA 02090

Phone (781) 251-2580
Fax (781) 461-6837

TOWN OF WESTWOOD
Commonwealth of Massachusetts

Joseph P. Belmont, Chairman
Edward J. Conroy
William J. Goss
Charles J. Lee



Steven Woodworth, Vice Chair
Michael Ferry
John C. Masterson

CONSERVATION COMMISSION

Time Waiver Requirement

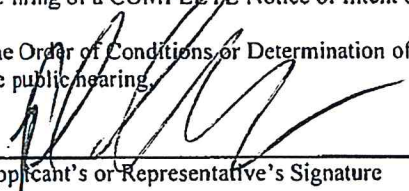
Westwood Conservation Commission
Westwood Town Hall
50 Carby Street
Westwood, MA 02090

Dear Commission:

I hereby waive the benefit of the time requirements set forth in Chapter 131 s. 40, (Wetland Protection Act) of the Massachusetts General Laws, 310 CMR. 10.00 Regulations, and the Town of Westwood Wetlands Protection By-Law, which require the Conservation Commission to convene a hearing and issue a Determination or Order within the time periods specified therein.

The public hearing shall be scheduled for the next available time slot on the meeting agenda upon receipt of the filing of a COMPLETE Notice of Intent or Request for Determination of Applicability.

The Order of Conditions or Determination of Applicability shall be issued within 45 days of the close of the public hearing.


Applicant's or Representative's Signature

6/4/18
Date

Applicant's Name Paul Sylvia, P.E., Ayoub Engineering, Inc.

Project Location : 394 Providence Highway

Project Type: Notice of Intent
New Tanks and Piping

Westwood Conservation Commission
50 Carby Street
Westwood, MA 02090

Phone (781) 251-2580
Fax (781) 461-6837

AFFIDAVIT OF SERVICE

Under the *Massachusetts Wetland Protection Act* and

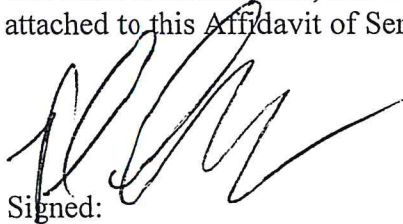
The Town of Westwood *Wetlands Protection Bylaw and Regulations*

(To be submitted to the *Massachusetts Department of Environmental Protection* and the
Conservation Commission when filing a Notice of Intent)

I, Paul Sylvia, P.E./Ayoub Engineering, Inc., here-by certify under the pains and penalties of perjury that on or before June 27, 2018, I gave notification to abutters in compliance with the second paragraph of Massachusetts General Laws Chapter 131, Section 40, and the DEP Guide to Abutter Notification dated April 8, 1994, in connection with the following matter:

A Notice of Intent filed under the Massachusetts Wetlands Protection Act by Paul Sylvia, P.E./Ayoub Engineering, Inc., with the Westwood Conservation Commission on June 27, 2018 for property located at 394 Providence Highway in Westwood, Massachusetts.

The form of notification, and a list of the abutters to whom it was given and their addresses are attached to this Affidavit of Service.



Signed:

Dated:

6/4/18

**Worksheet for Fees
Westwood Wetlands Bylaw – Article 18
(in Addition to DEP filing Fees)**

Applicant: Ayoub Engineering, Inc.

Address: 414 Benefit Street, Pawtucket, RI 02861

Location of Project: 394 Providence Highway, Westwood, MA Map 24 Lot 82

Notice of Intent

- | | | |
|---|---------------|--|
| 1. Minor project | <u> X </u> | \$100.00 |
| 2. Major project | <u> </u> | \$250.00 plus \$1.00 additional sq. ft. |
| 3. New single family home | <u> </u> | \$500.00 plus \$1.00 per 10 sq. ft. of disturbance |
| 4. Subdivision road and utility | <u> </u> | \$750.00 plus \$5.00 per road sideline in resource or buffer zone |
| 5. Drainage detention/retention | <u> </u> | \$750.00 plus \$1.00 per 10cf. of basin in resource or buffer zone |
| 6. Multiple Dwelling | <u> </u> | \$500.00 plus \$100.00/unit and \$1.00 per 10 sq. ft. of disturbance |
| 7. Commercial institutional, industrial | <u> </u> | \$750.00 plus \$1.00 per 10 sq. ft. of disturbance |
| 8. Request for Det. of Applicability | <u> </u> | @ \$50.00 |
| 9. ANORAD | <u> </u> | \$750.00 plus \$1.00 per 10 sq. ft. of disturbance |
| 10. Application filed after enforcement | <u> </u> | Double application fees |
| 11. Amendments | <u> </u> | \$100.00 |
| 12. Certificate of Compliance | | |
| Residence | <u> </u> | \$100.00 |
| Non Residence | <u> </u> | \$100.00 |
| Commercial or subdivision | <u> </u> | \$200.00 |
| 13. Emergency Certificate | <u> </u> | \$100.00 |
| 14. Agent Site Visit | | |
| Resident | <u> </u> | \$25.00 per hour |
| Non Resident | <u> </u> | \$45.00 per hour |

Total \$ 100.00

See Westwood Wetlands Protection Bylaw Regulations for more detail.

Plans Checklist to Accompany DEP Application for Notice of Intent (NOI)

This is a Bylaw Supplemental form to aid you in submitting complete and appropriate information on your plans.

THIS PAGE MUST BE INCLUDED WITH YOUR NOI APPLICATION. All applicable boxes must be marked with or identified as "N/A".

These details are required on plans to accompany a DEP NOI application:

- north arrow locus insert bar scale- 1 in. = 40-20 ft
- existing contours (black dashed line- - - -)
- existing structure(s) with natural and man-made features
- existing rights-of-way, easements, ancient ways or other deeded ways
- existing utilities- all locations (use standard engineering symbols/notations)
- name of Wetland Specialist responsible for identifying wetland boundaries
- date wetland was flagged (must be no more than 3 yrs. prior to current date²)
- wetland boundaries with flag #'s (highlighted blue)
- notations identifying all wetland types
(include potential or certified vernal pools w/ 100' habitat area highlighted in green).
- 100 ft Buffer zone to wetlands (solid green line)
- 10 ft no-structure setback to wetlands (dashed green line -----)
- 35 ft no-disturbance setback to wetland (dashed green line - - - -)
- floodplain (highlighted orange; per FEMA flood plain maps (if applicable))
- Annual MHW line to Riverfront area (purple solid line) labeled w/ name of River
- 200 ft. and 100 ft. Riverfront areas (purple dashed line -----) (if applicable)
- wetland fill and replication areas (yellow for filled area, ~~highlighted in yellow~~)
- shortest distances to all resource areas from closest proposed structure (use arrow)
- shortest distances to all resource areas from closest point of erosion control materials

- Title Block with the following information: Plan Title
- Applicant's Name(s), address and phone
- Property Owner Name(s), address and phone
- Location/Street name and number-
Must obtain from Assessor's Office if new lot, prior to submission of NOI
- Assessor Map and Lot number(s) (All lots on which there will be activity, be must listed on the plan with appropriate Registry info.- BK/Pg or Cert. #)
- plan preparer's name, title and company/firm name
- date plan prepared
- proposed contours (black solid line) N/A proposed structure(s) (including driveway work, septic components, etc.)³
- proposed location of utility lines N/A erosion control line (highlighted red) with erosion control material detail
- erosion control line (highlighted red) with erosion control material detail N/A limit of Work line (solid red line- may be same as erosion control line)
- limit of Work line (solid red line- may be same as erosion control line) N/A conservation post locations (solid square symbol to indicate location of posts)
- conservation post locations (solid square symbol to indicate location of posts) N/A conservation post detail and plaque detail (copy available on website)
- conservation post detail and plaque detail (copy available on website) N/A location of temporary stockpiles w/ notation of content (e.g. excavated soils)⁴
- location of temporary stockpiles w/ notation of content (e.g. excavated soils)⁴ N/A drywell construction detail (copy available on website)
- drywell construction detail (copy available on website) N/A detail showing the access pathway to work area
- detail showing the access pathway to work area N/A crushed stone apron onto property as per DPW standards
- crushed stone apron onto property as per DPW standards signature and stamp of licensed surveyor or professional engineer

I certify that the above checked items have been completed and understand that incomplete applications are cause for scheduling delays/continuations of public hearings.

Signed: _____ Title: _____ Date: _____

¹ Other documents are required with the application packet- see Submittal Requirements form.
² Wetland delineation more than three years old is not acceptable for plan submission to the Cons. Commission. Call the Cons. Office for further details.
³ For Septic upgrades, show location of all features to be abandoned including detail notations. For structure demolition, show existing structural footprint.
⁴ depending on the content and size, stockpiles, even temporary piles, may require erosion control at base.



TOWN OF WESTWOOD
BOARD OF ASSESSORS
580 High St.
Westwood, MA 02090

Maureen Bleday
Philip N. Shapiro
Mark F. Murphy

phone: 781-326-1904
fax: 781-251-2588

May 29, 2018

Jeffrey White
Ayoub Engineering, Inc.

Mr. White:

Attached please find a list of abutters to abutters within 300' of the locus,

- *394 Providence Highway, Map 24 Lot 082*

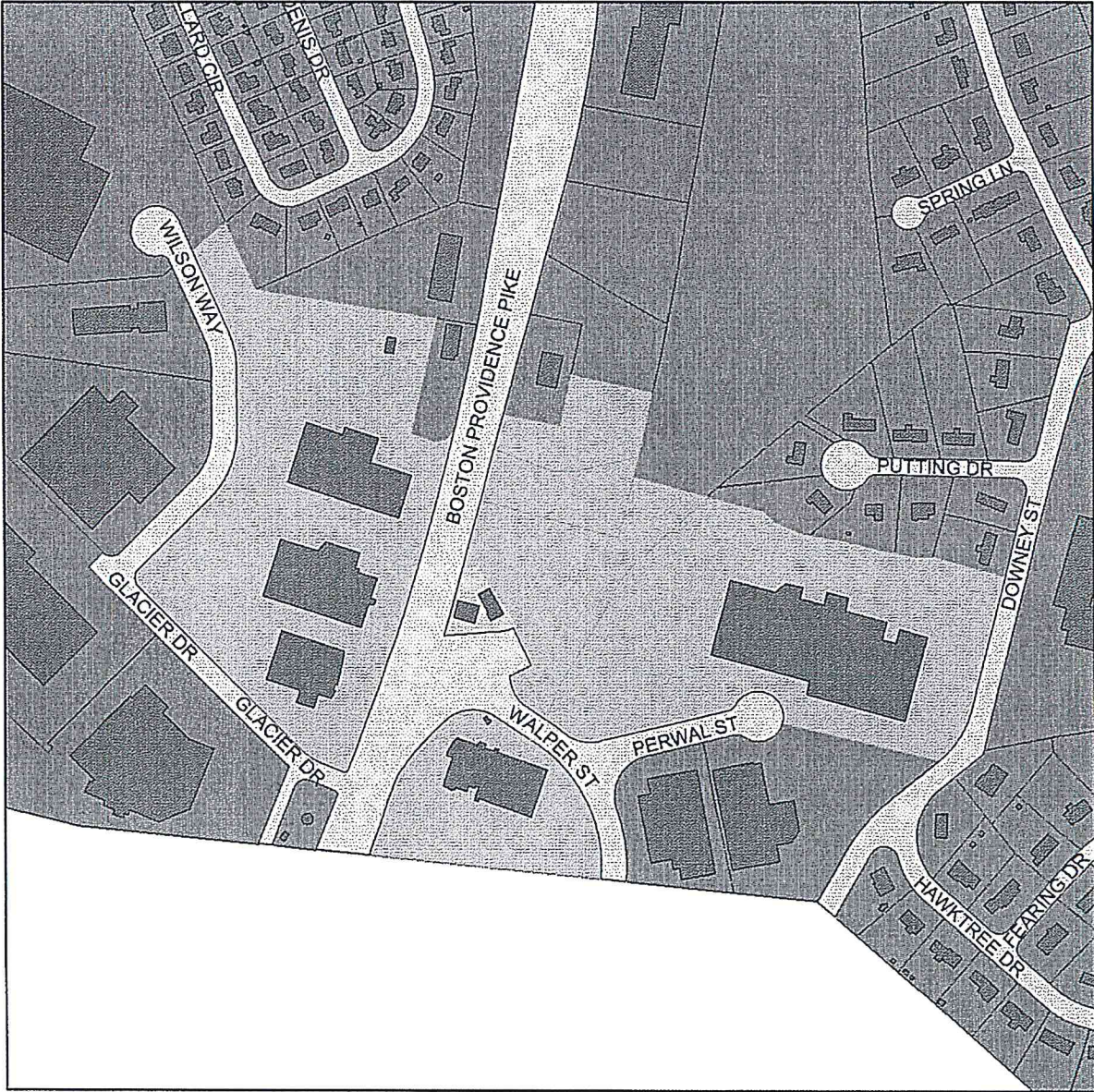
This list reflects owners of record as of January 1, 2018 or current owners, according to our records.

Sincerely,

Mark F. Murphy
Assessor

jlb

ABUTTERS MAP - 394 PROVIDENCE HIGHWAY



MAP 24 LOT 082

VISION APPRAISAL TECHNOLOGY



ABUTTERS LIST FOR 394 PROVIDENCE HIGHWAY
WESTWOOD, MA

MAP & LOT	OWNER	CO-OWNER	Mailing Address	City	st Zip	Location
24002	AMR REAL ESTATE HOLDINGS		425 PROVIDENCE HIGHWAY	WESTWOOD	MA 02090	375-411 PROVIDENCE HWY
24079	TOWN OF WESTWOOD		580 HIGH ST	WESTWOOD	MA 02090	PROVIDENCE HWY
24080	TOWN OF WESTWOOD		580 HIGH ST	WESTWOOD	MA 02090	PROVIDENCE HWY
24081	TOWN OF WESTWOOD		580 HIGH ST	WESTWOOD	MA 02090	PROVIDENCE HWY
24082	MCDONOUGH WILLIAM R	COLBEA ENTERPRISES LLC	REAL ESTATE DEPT	CRANSTON	RI 02921-2062	394 PROVIDENCE HWY
24083	RTE ONE MANAGEMENT LD TRU		1039 EAST ST	DEDHAM	MA 02026	420 PROVIDENCE HWY
24086	333 BRAZILIAN AVE LLC	C/O RJ KELLY COMPANY, INC	55 CAMBRIDGE STREET	BURLINGTON	MA 01803	30 PERWAL ST



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24/ 079/ / /
TOWN OF WESTWOOD
580 HIGH ST
WESTWOOD, MA 02090

24/ 080/ / /
TOWN OF WESTWOOD
580 HIGH ST
WESTWOOD, MA 02090

24/ 081/ / /
TOWN OF WESTWOOD
580 HIGH ST
WESTWOOD, MA 02090

24/ 082/ / /
MCDONOUGH WILLIAM R
COLBEA ENTERPRISES LLC
REAL ESTATE DEPT
2050 PLAINFIELD PIKE
CRANSTON, RI 02921-2062

24/ 083/ / /
RTE ONE MANAGEMENT LD TRUST LLC
1039 EAST ST
DEDHAM, MA 02026

24/ 002/ / /
AMR REAL ESTATE HOLDINGS - WESTW
425 PROVIDENCE HIGHWAY
WESTWOOD, MA 02090

24/ 086/ / /
333 BRAZILIAN AVE LLC
C/O RJ KELLY COMPANY, INC.
55 CAMBRIDGE STREET
BURLINGTON, MA 01803

AYOUB ENGINEERING, INC.
ENGINEERING AND ARCHITECTURAL CONSULTANTS

FACSIMILE TRANSMITTAL SHEET

TO: <i>Assessor's Office</i>	FROM: <i>Jeffrey White</i>
FAX NUMBER: <i>781-251-2588</i>	DATE: <i>5/29/18</i>
COMPANY: <i>Town of Westwood</i>	TOTAL NO. OF PAGES INCLUDING COVER: <i>2</i>
PHONE NUMBER:	SENDER'S REFERENCE NUMBER: <i>1702.214</i>
RE: <i>Shutter List Request</i>	YOUR REFERENCE NUMBER:

URGENT FOR REVIEW PLEASE COMMENT PLEASE REPLY PLEASE RECYCLE

NOTES/COMMENTS:

*Please contact our office
when list is complete.*

BOARD OF ASSESSORS
580 High St.
Westwood, Ma. 02090
Fax: 781- 251-2588

ABUTTERS LIST REQUEST
Please allow 10 business days for final list

PARCEL REQUESTED: Map 24 Lot 82

RECORD OWNER: William McDonough


FOR WHICH BOARD: Conservation Commission

REASON FOR REQUEST: Proposing work within 100 feet of wetland

PROJECT TYPE: UST/Tank replacement/Tank mat and piping replacement

CONTACT PERSON: Jeff White/Ayoub Engineering, Inc.

TELEPHONE NUMBER: 401-728-5533

SIGNATURE:  DATE: May 29, 2018
Jeffrey White
Ayoub Engineering, Inc.

* Forward this completed request to the Assessor's Office ASAP
Upon receipt of the certified abutter's list – send abutter's notification (next sheet) to
all abutters.

TRANSMISSION VERIFICATION REPORT

TIME : 03/28/2013 23:08
NAME : AYQUB ENG
FAX : 4017241110
TEL : 4017285533
SER.# : U63274A3J332756

DATE, TIME	03/28 23:07
FAX NO./NAME	17812512588
DURATION	00:00:43
PAGE(S)	02
RESULT	OK
MODE	STANDARD



Natural Resource Services, Inc.

December 19, 2014

Alan Micale, PE
Ayoub Engineering, Inc.
414 Benefit Street
Pawtucket, RI 02861

RE: Wetland Consulting Services; 394 Providence Highway, Westwood, Massachusetts

Dear Mr. Micale,

Natural Resource Services, Inc. (NRS) has performed the site inspection on the above referenced property. The purpose of the inspection was to determine if jurisdictional wetlands or regulatory setbacks exist within the above referenced property. This site visit was made on December 17, 2014. This inspection was done in accordance with the standards established in the Massachusetts Wetlands Protection Act (M.G.L. Ch. 131, sec. 40) and the Westwood Wetlands Regulations as administered under the authority of the Town of Westwood Conservation Commission. These regulations state that all delineations performed by consultants are not to be considered valid until reviewed and approved by the conservation commission.

In my opinion, the property consists entirely of upland. This property is the location of a gas station and is situated on the east side of Route 1. The property is surrounded by O' Toole park conservation area. There is a perennial river that flows through the conservation area with an associated *bordering vegetated wetland* (BVW) that exists north and east of the subject parcel. These wetland features are off-property and therefore flags were not hung to delineate their locations. However I have used a sub-meter Trimble GeoXT handheld GPS unit to locate the approximate location of the BVW. The river appears to be far enough off-site not to incur any setback onto the property.

In accordance with the MA Wetlands Protection Act and Westwood wetlands by-law, the BVW edge is afforded a 100 foot buffer zone and the bank of the river is afforded a 200 foot riverfront area. It appears a portion of the property is impacted by the 100 foot buffer zone but not the riverfront area. It is also important to note that the Town of Westwood Wetland Atlas Maps (2010) shows the lot being within a 100 year floodplain. Any work proposed that may alter the buffer zone will require special consideration and will require review and permit from the Town of Westwood Conservation Commission.

Please do not hesitate to contact me should you have any questions regarding the work performed or require any additional information.

Truly yours,

A handwritten signature in black ink, appearing to read 'E. Avizinis', with a long horizontal flourish extending to the right.

Edward J. Avizinis

Wetland Biologist/Soil Scientist

Enclosures: 2013 Aerial Photograph, USDA Soil Map, and USGS Topographic Map

NRS file# 14-314



FOR ILLUSTRATIVE PURPOSES ONLY
NOT A SURVEY PLAN

Site Sketch Depicting Approximate
Wetland Locations
394 Providence Hwy
Westwood, MA
MassGIS 2013 Image

- Approximate Site Location
- Approximate Wetland Location
- - - Approximate 100' Buffer Zone Location
- - - Approximate River Location
- Approximate 200' Riverfront Area Location
- Wetland Area Symbol

Performed & GPS Located by Edward Avizinis 12/17/14



Natural Resource Services, Inc.
 PO Box 311 p 1401 568-7350
 180 Tinkham Lane t 1401 568-7480
 Harrisville, RI 02830
 (c) 1990 RIGIS



2013 Historic Aerial
394 Providence Hwy

Westwood, MA
MassGIS 2013 Image

— Approximate Site Location

This map references The Massachusetts Natural Heritage & Endangered Species Program layers. Any such areas designated by the program are depicted.



- ▲ NHESP 2011 Certified Vernal Pools
- ▭ NHESP 2008 Priority Habitats of Rare Species
- ▭ NHESP 2008 Estimated Habitats of Rare Wildlife
- ▲ NHESP 2010 Potential Vernal Pools

(c) Office of Geographic and Environmental Information (MassGIS)
Commonwealth of Massachusetts Executive Office of Environmental Affairs
- NHESP 2008 Estimated Habitats for Rare Wildlife For Use with the MA Wetlands Protection Act Regulations (310 CMR 10)
- NHESP 2008 Priority Habitats for State-Protected Rare Species
- NHESP 2009 Massachusetts Certified Vernal Pools
- NHESP Potential Vernal Pools NOT equivalent to Certified Vernal Pools



**USDA Soil Survey Map
394 Providence Hwy**

Westwood, MA
MassGIS 2013 Image

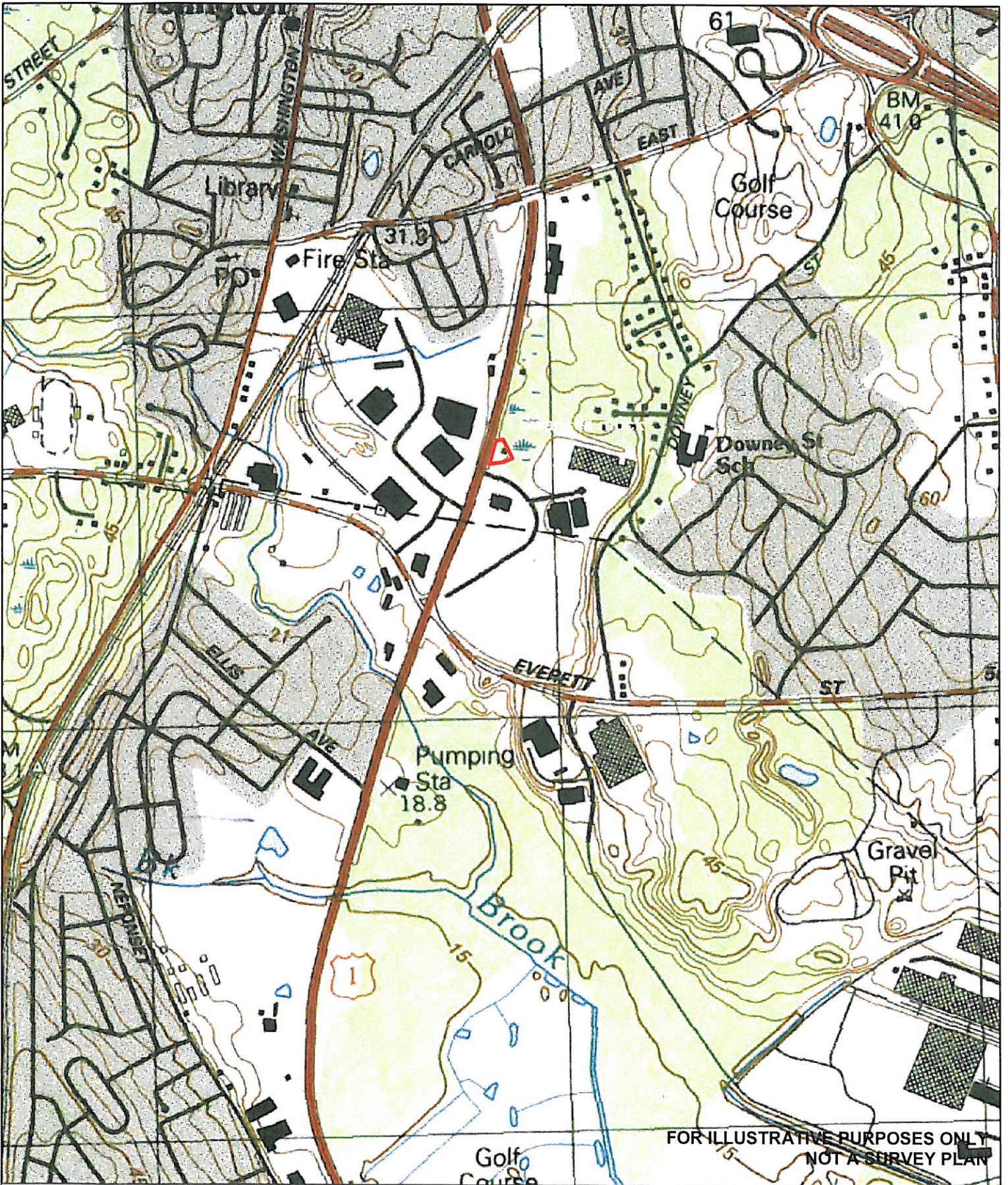
— Approximate Site Location

This map references The Massachusetts Natural Heritage & Endangered Species Program layers. Any such areas designated by the program are depicted.



- ▲ NHESP 2011 Certified Vernal Pools
- ▭ NHESP 2008 Priority Habitats of Rare Species
- ▭ NHESP 2008 Estimated Habitats of Rare Wildlife
- ▲ NHESP 2010 Potential Vernal Pools

(c) Office of Geographic and Environmental Information (MassGIS), Commonwealth of Massachusetts Executive Office of Environmental Affairs
 - NHESP 2008 Estimated Habitats for Rare Wildlife For Use with the MA Wetlands Protection Act Regulations (310 CMR 10.1)
 - NHESP 2008 Priority Habitats for State-Protected Rare Species
 - NHESP 2009 Massachusetts Certified Vernal Pools
 - NHESP Potential Vernal Pools NOT equivalent to Certified Vernal Pools

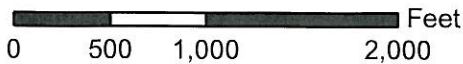


FOR ILLUSTRATIVE PURPOSES ONLY
NOT A SURVEY PLAN

USGS Topographic Map
394 Providence Hwy

Westwood, MA
MassGIS Image

— Approximate Site Location



Natural Resource Services, Inc.
PO Box 311
180 Tinkham Lane
Harrisville, RI 02830
p (401) 568-7350
f (401) 568-7490
(c) 1990 RIGIS

NOTICE OF INTENT PLANS

PREPARED FOR:

COLBEA ENTERPRISES, LLC

2050 PLAINFIELD PIKE,
CRANSTON, RI 02921

LOCATION:

394 PROVIDENCE HIGHWAY
WESTWOOD, MA

ARCHITECTURAL & CIVIL PREPARED BY:

AYOUB
ENGINEERING

ENGINEERS & ARCHITECTS

414 BENEFIT STREET
PAWTUCKET, RHODE ISLAND 02861
401-728-5533

P.O. Box 514
EXETER, NEW HAMPSHIRE 03833
603-765-1001

INDEX OF DRAWINGS

SHEET	TITLE
GENERAL	
0	COVER
CIVIL	
1	ALTA/ACSM LAND TITLE SURVEY
TK-1	TANK & PIPING PLAN
TK-2	TANK & PIPING STANDARDS
TK-3	TANK ELEVATIONS
TK-4	TANK & PIPING DETAILS

PREPARED FOR:

COLBEA
ENTERPRISES, LLC

LOCATION:

394 PROVIDENCE HIGHWAY
WESTWOOD, MA

PREPARED BY:

AYOUB
ENGINEERING

ENGINEERS & ARCHITECTS

414 BENEFIT STREET
PAWTUCKET, RHODE ISLAND 02861
401-728-5533

P.O. Box 514
EXETER, NEW HAMPSHIRE 03833
603-765-1001

PROJECT NO. 1702.214 DATE: 05/25/18

3 SCHEDULE 'B' ITEMS

NOTES CORRESPONDING TO SCHEDULE "B":

- 7 RIGHT OF WAY GRANTED IN A DEED FROM L. THOMAS SHINE, EXECUTOR TO PAUL F. MCNAMARA DATED SEPTEMBER 19, 1967...
8 ORDER OF TAKING BY RIGHT OF EMINENT DOMAIN BY THE TOWN OF WESTWOOD DATED MARCH 31, 1960...

2 TITLE INFORMATION

The Title Description and Schedule B Items herein are from Ticor Title Insurance Company, Commitment #0781-00201, dated March 15, 2010.

SAME AS STATEMENT

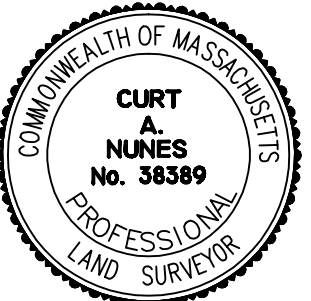
Land described in this survey is the same as that described in the vesting deed/lease conveyed to Motiva Enterprises LLC dated October 1, 1998...

4 SURVEYOR CERTIFICATION

To: MOTIVA ENTERPRISES, TICOR TITLE INSURANCE COMPANY & CHICAGO TITLE INSURANCE COMPANY:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the "Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys..."

Date: 6/8/2015
(signed) [Signature] (seal)

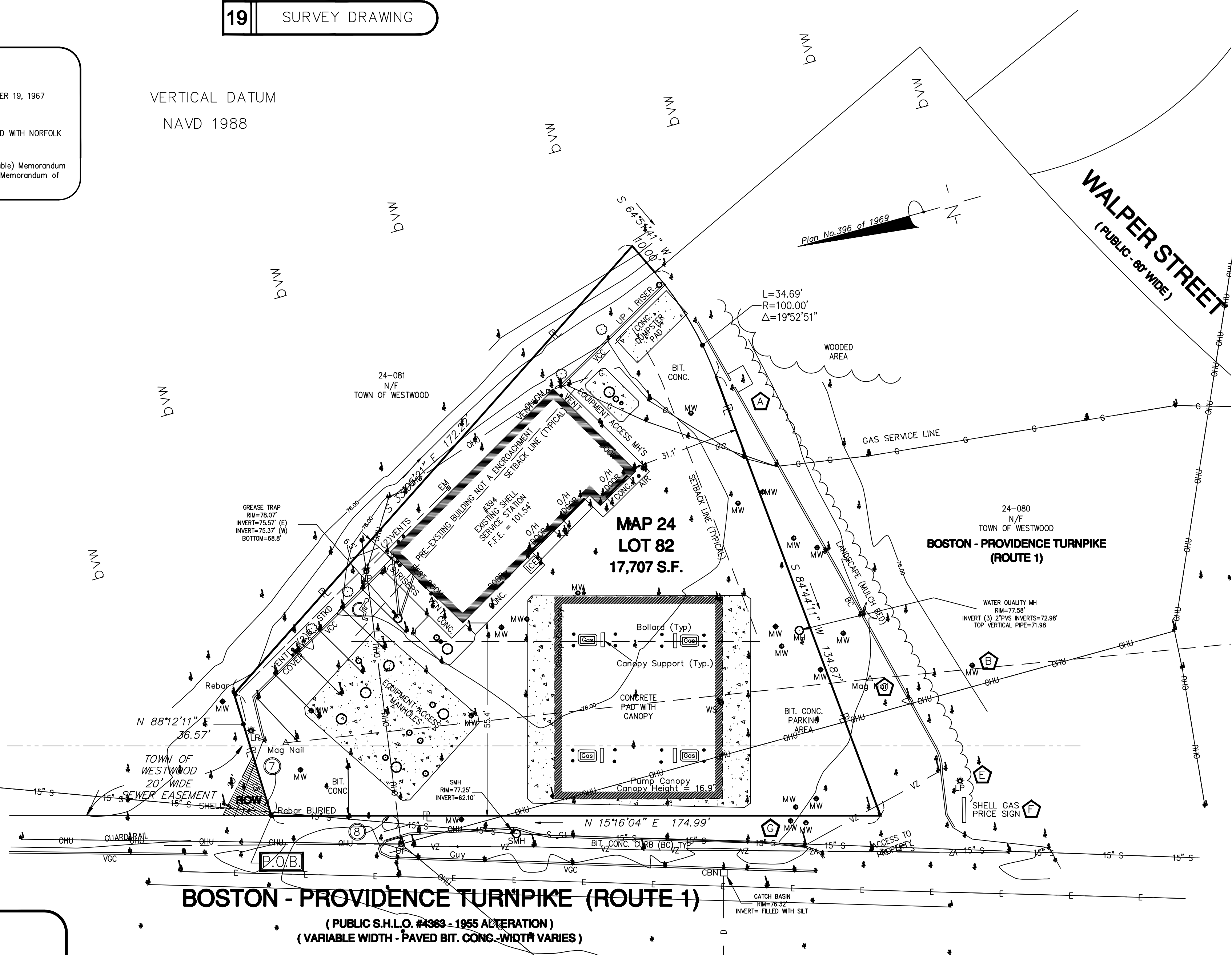


KEY TO ALTA-SURVEY

- 1 TITLE DESCRIPTION, 2 TITLE INFORMATION, 3 SCHEDULE 'B' ITEMS, 4 SURVEYOR CERTIFICATION, 5 FLOOD INFORMATION, 6 CEMETERY, 7 POSSIBLE ENCROACHMENTS, 8 ZONING INFORMATION, 9 LEGEND, 10 BASIS OF BEARING, 11 SURVEYOR'S NOTES, 12 PARKING INFORMATION, 13 LAND AREA, 14 BUILDING AREA, 15 BUILDING HEIGHT, 16 VICINITY MAP, 17 SCALE, 18 CLIENT INFORMATION BOX, 19 SURVEY DRAWING

19 SURVEY DRAWING

VERTICAL DATUM
NAVD 1988



1 TITLE DESCRIPTION

LEASEHOLD INTEREST DESCRIPTION: PARCEL ONE
Southerly and Southwesterly by a curved course whose radius is 100 feet by land of Estate of Edward O'Toole, Commonwealth of Massachusetts and Lessor 195.41 feet more or less...

5 FLOOD INFORMATION

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE "X" OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 2552250007D, WHICH BEARS AN EFFECTIVE DATE OF JUNE 17, 2002.

15 BUILDING HEIGHT

BUILDING HEIGHT: 15.4'

6 CEMETERY

THERE IS NO VISIBLE EVIDENCE OF CEMETERIES ON SUBJECT PROPERTY.

12 PARKING INFORMATION

- 4 STANDARD SPACES
1 HANDICAPPED SPACE
5 TOTAL SPACES

13 LAND AREA

17,707 SQUARE FEET
0.41 ACRES

14 BUILDING AREA

1,982 ± SQUARE FEET

7 POSSIBLE ENCROACHMENTS

- A CONC. PAD ENCROACHES A MAX. DIST. OF 9.2' ONTO ADJOINING PROPERTY.
B FIVE MONITORING WELLS ENCROACH A MAX. DIST. OF 39.8' WITHIN RIGHT OF WAY (ROUTE 1) ALONG SOUTHERLY PROPERTY LINE.
C BITUMINOUS CONCRETE CURB AND MULCHED AREA ENCROACH A MAX. DIST. OF 29.0' ONTO ADJOINING PROPERTY.
D REMOVED
E LIGHTPOLE ENCROACHES A MAX. DIST. OF 25' ONTO ADJOINING PROPERTY.
F SHELL GAS PRICE SIGN ENCROACHES A MAX. DIST. OF 23' ONTO ADJOINING PROPERTY.
G TWO MONITORING WELLS ENCROACH A MAX. DIST. OF 2' WITHIN RIGHT OF WAY (ROUTE 1) ALONG NORTHWESTERLY PROPERTY LINE.

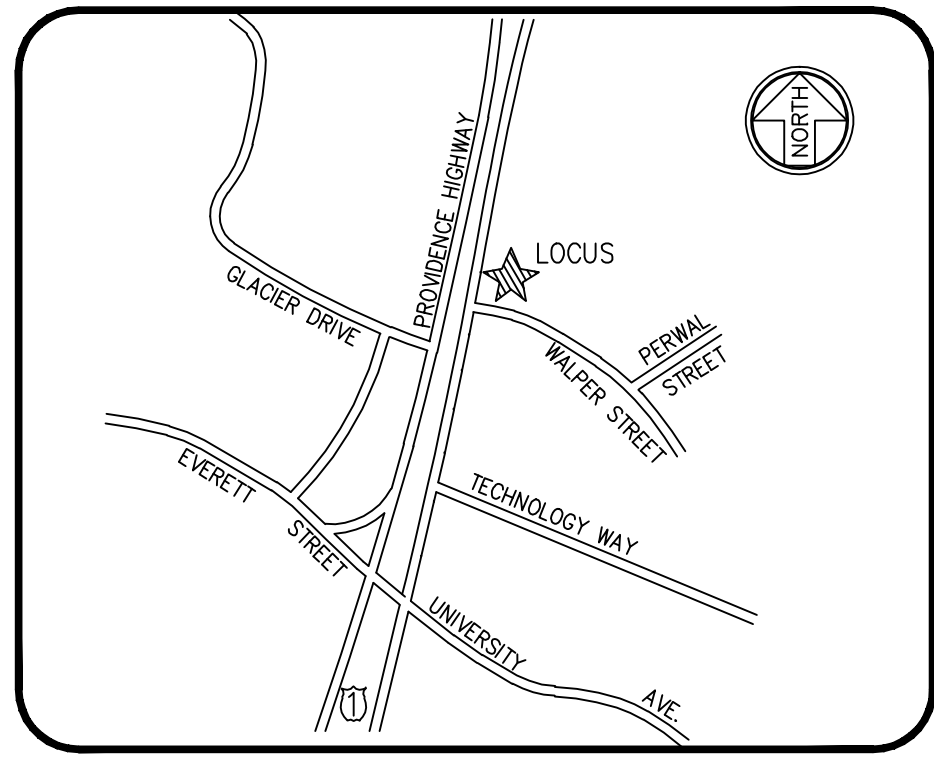
10 BASIS OF BEARING

The bearing N 15°16'04" E being the easterly side of Boston-Providence Pike (Route 1) shown on Plan No. 396 of 1969 recorded in the Norfolk County Registry of Deeds in the Commonwealth of Massachusetts...

11 SURVEYOR'S NOTES

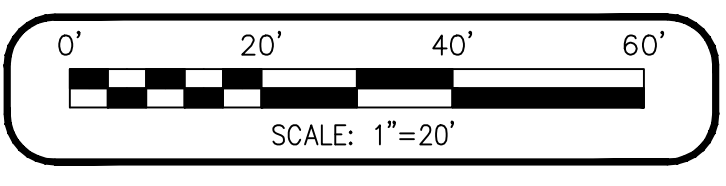
- 1. No observable evidence of earth moving work, building construction or building additions within recent months.
2. No observable evidence of changes in street right of way lines completed, and available from the controlling jurisdiction and no observable evidence of recent street or sidewalk construction or repairs.
3. No observable evidence of site use as a solid waste dump, sump or sanitary landfill.
4. Property has physical access to Boston-Providence Turnpike (Route 1).
5. All statements within the certification, and other references located elsewhere hereon, related to: utilities, improvements, structures, buildings, party walls, parking, easements, servitudes, and encroachments; are based solely on above ground, visible evidence unless another source of information is specifically referenced hereon.

16 VICINITY MAP



NOT TO SCALE

17 SCALE



8 ZONING INFORMATION

SITE RESTRICTIONS:
SETBACKS
FRONT - 50'
SIDE - 15'
REAR - 15'
HEIGHT - 42' OR 3 STORIES
BULK - NONE
ZONE - INDUSTRIAL OFFICE
1 PARKING SPACE FOR EVERY 500 S.F. OF FLOOR SPACE
ALL SITE RESTRICTIONS WERE OBTAINED PER THE TOWN OF WESTWOOD PLANNING DEPARTMENT CONTACT: DIANE BEECHAM (781-251-2581)

ALTA/ACSM Land Title Survey

18 CLIENT INFORMATION BOX

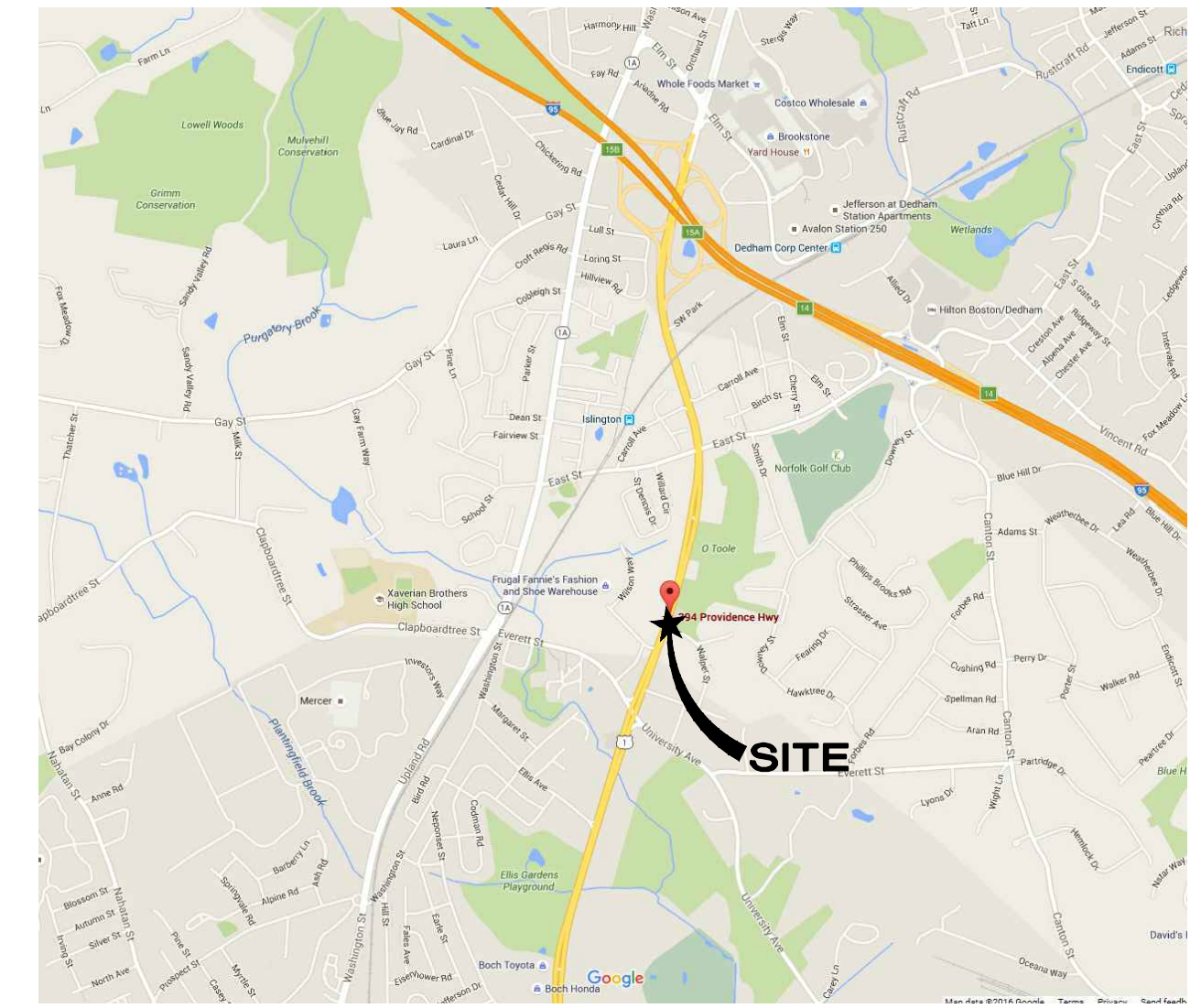
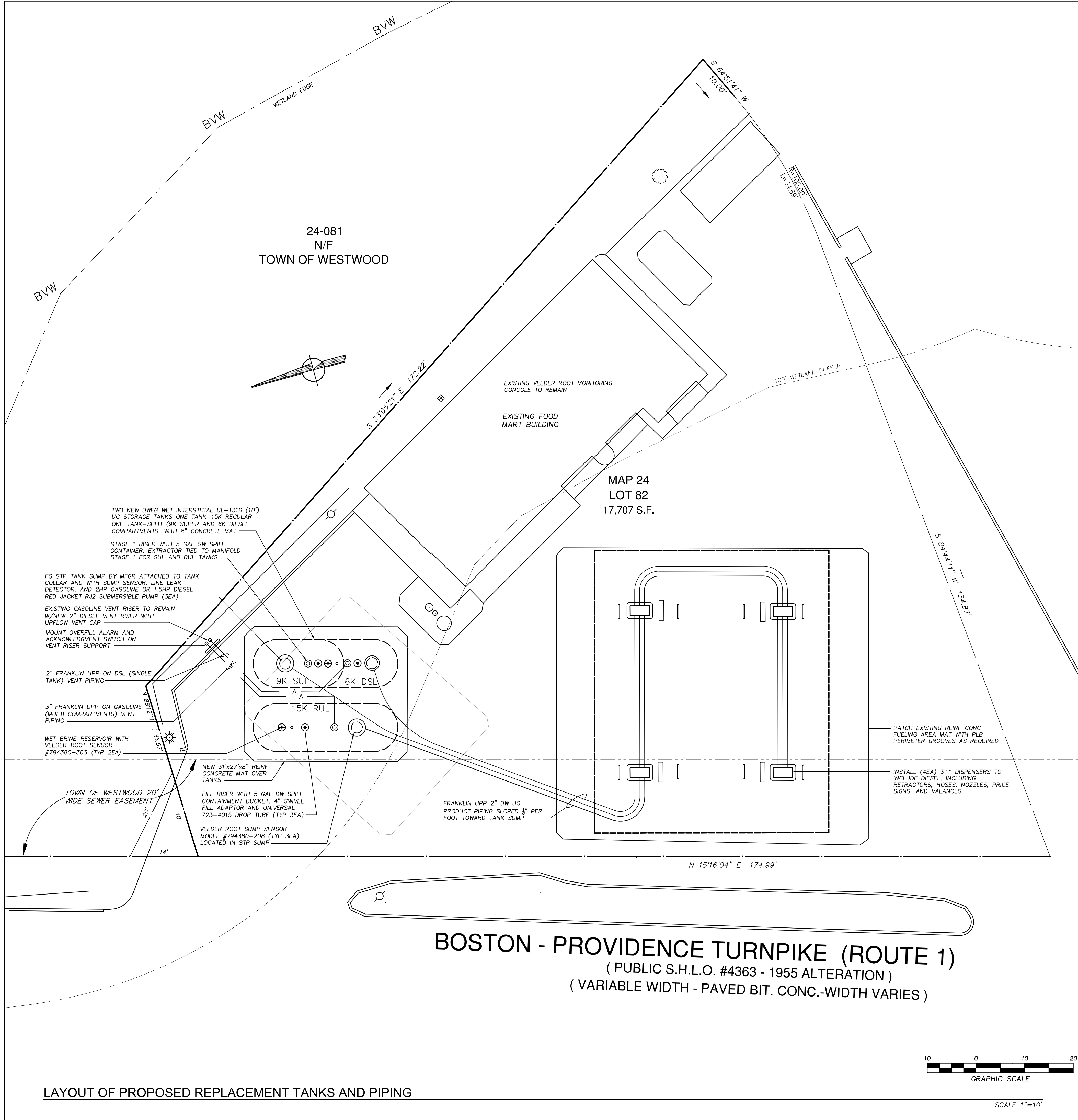


Table with columns for Dwn By, Ref No., Aprvd By, Field Date, Scale, Date, and Revision. Includes signature of JUR/DB/CAN and date 1/22/14.

Prepared For:

Client Ref. No:
Project Address: 394 PROVIDENCE HIGHWAY
Project Location: WESTWOOD, MA
Project Name:
Job Number: 2014-049

F:\1702 WESTWOOD, MA\2014-REBUILD\CONSTRUCTION DOCUMENTS\CIVIL\1702\TANKSONLY.DWG



VICINITY MAP
SCALE 1"=1000'

THIS WORK CONSISTS OF:

1. REMOVE (3) EXISTING SW FG TANKS, AND PROPERLY DISPOSE. SHORE AND EXCAVATE FOR NEW TANKS TO BE LOCATED AS SHOWN.
2. INSTALL TWO NEW 15,000 DW FG WET INTERSTITIAL TANKS AND PROPERLY ANCHOR AND BACKFILL.
3. INSTALL NEW TANK TOP SUMPS, RISERS AND FITTINGS INCLUDING TANK PROBES, SUBMERSIBLE PUMPS, FILL AND VAPOR RISERS WITH SPILL CONTAINMENT BUCKETS, STRAIGHT DROP TUBES, VAPOR EXTRACTOR FITTINGS AND VENT PIPING, AND ALL TANK AND SUMP MONITORS AND SENSORS.
4. INSTALL NEW 2" AND 3" FRANKLIN UPP SW VENT PIPING TO NEW VENT RISERS.
5. INSTALL NEW FUEL DISPENSING AREA INCLUDING: PIPING, SUMPS, ISLANDS, DISPENSERS, CANOPY, BUMPERS, PAVING, AND LIGHTING.
6. TIE IN ALL NEW TANK SUMP MONITOR PROBES AND SENSORS TO EXISTING VEEDER ROOT.
7. TANK OVERFILL ALARM AND ACKNOWLEDGEMENT SWITCH MOUNTED AT VENT RISERS OR BUILDING AS DIRECTED BY OWNER TO BE PRIMARY TANK OVERFILL DEVICE
8. INSTALL NEW REINFORCED CONCRETE TANK MAT AND REPLACE DISTURBED PAVING TO MATCH SITE GRADING PLAN.

GENERAL NOTES:

1. THE UNDERGROUND TANK INSTALLATION SHALL COMPLY WITH ALL APPLICABLE REGULATIONS, ALL REQUIREMENTS OF FEDERAL, STATE AND LOCAL CODES, INCLUDING OSHA STANDARDS REGARDING EXCAVATION AND IN PARTICULAR ANY APPROVAL DOCUMENTS OR CONDITIONS FROM THE MA DEP.
2. PRIOR TO ANY WORK COMMENCING AT THE SITE, APPROVAL WILL BE OBTAINED FROM MA DEP.
3. THE CONTRACTOR SHALL CONTACT DIG-SAFE PRIOR TO ANY CONSTRUCTION EXCAVATION.
4. THE CONTRACTOR WILL BE RESPONSIBLE FOR PERMITS FROM THE LOCAL FIRE MARSHAL AND/OR BUILDING DEPARTMENT AND ANY REQUIRED ELECTRICAL/MECHANICAL OR OTHER TRADE PERMITS FROM THE LOCAL BUILDING DEPARTMENT. CONTRACTOR RESPONSIBLE FOR DETERMINING AND COMPLYING WITH ALL ASSOCIATED TESTING & INSPECTION REQUIREMENTS.
5. THE CONTRACTOR SHALL FIELD VERIFY THE FOLLOWING ITEMS PRIOR TO CONSTRUCTION:
 - 5.1. LOCATION OF PROPERTY BOUNDARIES, EASEMENTS, AND RIGHT OF WAYS.
 - 5.2. LOCATION OF STRUCTURES, BUILDINGS, AND DRIVEWAYS DEPICTED ON THE PLANS.
 - 5.3. LOCATIONS, SIZES, AND DEPTHS OF EXSTG UG UTILITIES, PIPING, STRUCTURES, TANKS, ETC..
 - 5.4. ALL EXISTING AND PROPOSED CRITICAL ELEVATIONS.
6. WHERE CONFLICTS ARISE BETWEEN THE FIELD CONDITIONS VERIFIED AND PROPOSED CONSTRUCTION, OR BEFORE MAKING ANY FIELD ADJUSTMENTS TO LAYOUT OR GRADES, THE CONTRACTOR SHALL NOTIFY THE OWNERS REPRESENTATIVE PRIOR TO CONTINUANCE OF WORK.
7. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE DUE TO CONSTRUCTION ACTIVITIES.
8. PRIOR TO INITIATING WORK, THE CONTRACTOR SHALL DETERMINE IF DEWATERING MAY BE REQ'D. IF IT IS DETERMINED THAT IT IS, THE OWNER ENVIRONMENTAL CONSULTANT IN COORDINATION WITH THE INSTALLATION CONTRACTOR SHALL OBTAIN ANY REQ'D PERMITS PRIOR TO PROCEEDING.
9. FOLLOW SAFETY PRECAUTIONS DUE TO SAFETY HAZARDS CREATED BY AIR TESTING, FAILURE OF TANKS OR PIPING UNDER AIR TEST MAY CAUSE SEVERE PERSONAL INJURY OR DEATH. TESTING IS DONE ENTIRELY AT THE RISK OF THE CONTRACTOR, AYVOUB ENGINEERING IS NOT RESPONSIBLE FOR ANY RESULTING INJURY OR PERSONAL PROPERTY DAMAGE.
10. CONTRACTOR SHALL TAKE MEASURES TO CONTROL NOISE AND DUST TO AS GREAT AS AN EXTENT AS POSSIBLE.
11. ALL UNDERGROUND STORAGE TANK RELATED FACILITY EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND/OR SPECIFICATIONS.
12. ALL DISTURBED AREAS SHALL BE SAW CUT TO PROVIDE CLEAN, SMOOTH EDGE. TACK COAT EXPOSED EXISTING PAVEMENT PRIOR TO PLACEMENT OF NEW BITUMINOUS CONCRETE PAVEMENT. NEW PAVEMENT TO MEET LINE AND GRADE OF EXISTING PAVEMENT.
13. REFER TO SHEETS TK-2, TK-3 AND TK-4 FOR SPECIFICATIONS AND DETAILS.
14. PRIOR TO PROJECT CLOSEOUT, CONTRACTOR SHALL REMOVE ALL DEBRIS AND EXCESS MATERIALS FROM THE SITE AND REPAIR ANY DAMAGED TO EXISTING OR NEWLY INSTALLED EQUIPMENT OR OTHER SITE IMPROVEMENTS.

INSTALLATION AND TESTING

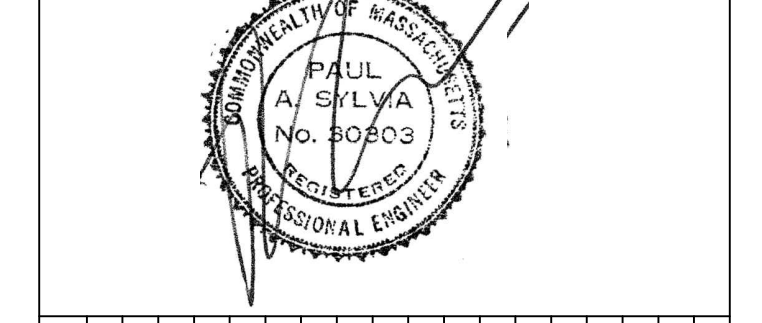
1. TANK AND LINE TESTING PROTOCOL OR METHOD SHALL BE TESTED AND CERTIFIED BY AN INDEPENDENT TESTING LABORATORY. A COMPLETE DESCRIPTION OF THE METHOD OR PROTOCOL SHALL BE FILED WITH THE FACILITY OWNER. OWNER SHALL RETAIN THE DESCRIPTION AND CERTIFICATION FOR THE LIFE OF THE FACILITY.
2. WHEN A TIGHTNESS TEST IS PERFORMED, THE OWNER SHALL SEND A TIGHTNESS REPORT TO THE MA DEP NO LATER THAN 30 DAYS AFTER THE DATE OF THE TEST. THE TEST REPORT AND OTHER DOCUMENTS DESCRIBING THE TYPE OF TEST, CONTRACTOR, DATE, MATERIALS, ALL TECHNICIAN TESTING DATA AND ANY OTHER INFORMATION PERTINENT TO THE WORK PERFORMED UNDER THIS SECTION SHALL BE KEPT BY THE OWNER FOR THE LIFE OF THE SYSTEM.

REFERENCE:

THIS PLAN IS NOT A SURVEY NOR INTENDED TO PROVIDE ANY SITE INFORMATION OTHER THAN GENERAL ARRANGEMENT APPROXIMATION FOR THE SOLE PURPOSE OF UST RELATED WORK. IT SHOULD NOT BE USED FOR ANY OTHER PURPOSE OR AS A SITE LAYOUT REFERENCE FOR ANY OTHER WORK. ALL SITE IMPROVEMENTS ARE SHOWN PER THE BEST AVAILABLE INFORMATION AND MUST BE VERIFIED IN THE FIELD PRIOR TO STARTING CONSTRUCTION, PARTICULARLY ANY EXCAVATION OR WORK THAT MAY AFFECT BURIED UTILITIES.

PROPERTY LINES AND OTHE TOPOGRAPHICAL INFORMATION SHOWN ON THIS DRAWING WERE TAKEN FROM:
"BOUNDARY & TOPOGRAPHIC SURVEY" BY: CONTROL POINT ASSOCIATES, INC., SCALE: 1"=20', DATE: 06/29/16.

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REV	PER	DATE	DESCRIPTION

AYVOUB ENGINEERING
ENGINEERS & ARCHITECTS

ADDRESS:
41/4 BENEFIT STREET
PAWTUCKET, RHODE ISLAND 02861
401-728-5555

PROJECT
WESTWOOD, MA
394 PROVIDENCE HWY

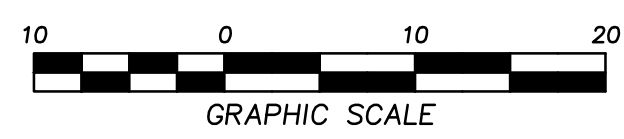
PREPARED FOR
COLBEA ENPERPRISES, LLC
CRANSTON RI 2050 PLAINFIELD PIKE

SHEET DESCRIPTION
TANK & PIPING PLAN

PROJECT NO. 1702.114
SCALE: 1"=10'
DRAWN BY: JW
DATE: 04/24/2018

SHEET NO.
TK-1

LAYOUT OF PROPOSED REPLACEMENT TANKS AND PIPING



SCALE 1"=10'

1. GENERAL:

- 1.1 ALL WORK TO BE DONE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL RULES, REGULATIONS AND REQUIREMENTS...
1.2 THESE TYPICAL DRAWINGS ARE TO BE USED IN CONJUNCTION WITH OTHER PROJECT DOCUMENTS...
1.3 ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE PERMITS AND REGULATIONS...
1.4 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL TRADE PERMITS AND ENSURING THAT ALL PERMITS AND APPROVALS NECESSARY TO START WORK ARE OBTAINED...
1.5 THE CONTRACTOR SHALL NOTIFY DIG-SAFE 811 PRIOR TO ANY EXCAVATION...
1.6 CONTRACTOR IS RESPONSIBLE FOR THE SECURITY OF THE PROJECT SITE, INCLUDING CONTROL OF ACCESS TO THE SITE DURING THE ENTIRE PERIOD OF CONSTRUCTION ACTIVITY...
1.7 ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL ENVIRONMENTAL RULES AND REGULATIONS...
1.8 MANUFACTURER'S INSTRUCTIONS, INSTALLATION GUIDELINES, AND CHECKLISTS WILL BE FOLLOWED FOR ALL EQUIPMENT BEING INSTALLED...
1.9 CONTRACTOR SHALL KEEP THE SITE CLEAR OF RUBBISH AND DEBRIS AND MAINTAIN A CLEAN SAFE WORKSITE...
1.10 IF THE OWNER ENGAGES AN INDEPENDENT ENVIRONMENTAL CONSULTANT, THE CONTRACTOR SHALL WORK WITH THE CONSULTANT TO INSURE THE PROJECT COMPLIES WITH ALL ENVIRONMENTAL REQUIREMENTS...
1.11 THE CONTRACTOR SHALL VISIT THE SITE AND FIELD VERIFY THE EXISTING AND PROPOSED CONDITIONS PRIOR TO CONSTRUCTION...
1.12 CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED BY CONSTRUCTION ACTIVITIES...
1.13 FOLLOW ALL SAFETY PRECAUTIONS DUE TO SAFETY HAZARDS CREATED BY AIR TESTING...
1.14 THE CONTRACTOR SHALL PROVIDE A REDLINE AS BUILT DRAWING INDICATING ACTUAL LOCATION OF ALL PIPING, CONDUITS, AND BURIED EQUIPMENT...

2. DEMOLITION & TANK OR PIPING REMOVAL:

- 2.1 CONTRACTOR WILL OBTAIN ANY TANK REMOVAL PERMITS AND FOLLOW ALL LOCAL PERMIT REQUIREMENTS REGARDING NOTICE, INSPECTIONS, TESTING, AND PROPER DISPOSAL...
2.2 CHECK GROUNDWATER LEVELS BEFORE ANY EXCAVATION AND PLAN ACCORDINGLY REGARDING REMOVAL OF OVERBURDEN AT TANK AREA...
2.3 ANY TANK TO BE REMOVED SHALL BE PROPERLY DRAINED, INERTED AND DISPOSED...
2.4 ALL EXISTING PIPING SHALL BE REMOVED...
2.5 TANKS WILL BE ABANDONED IN PLACE ONLY IN SPECIAL CIRCUMSTANCES...

3. EXCAVATION:

- 3.1 ALL EXCAVATIONS SHALL BE COMPLETED IN ACCORDANCE WITH OSHA REGULATIONS AND GOOD INDUSTRY PRACTICES...
3.2 THE PERIMETER OF ALL EXCAVATIONS SHALL BE PROPERLY MARKED...
3.3 THE CONTRACTOR WILL WORK WITH POR AND ENVIRONMENTAL CONSULTANT...
3.4 WHERE UNEXPECTED ROCK LEDGE OR UNCONTROLLABLE WATER CONDITION IS ENCOUNTERED...

4. BACKFILL:

- 4.1 TANK EXCAVATIONS WILL BE LINED WITH OWNER APPROVED GEOTEXTILE FILTER FABRIC...
4.2 ALL BACKFILL MATERIAL WILL BE IMPORTED CLEAN FILL MEETING SPECIFICATIONS...
4.3 STANDARD BED AND BACKFILL MATERIAL SHOULD BE A NATURALLY ROUNDED AGGREGATE...
4.4 AN ACCEPTABLE ALTERNATIVE IS STONE OR GRAVEL CRUSHINGS...
4.5 DRY GRAVEL DENSITY MUST BE A MINIMUM OF 95 POUNDS PER CUBIC FOOT...
4.6 CAUTION: IN FREEZING CONDITIONS, BACKFILL MUST BE DRY AND FREE OF ICE...
4.7 SAND IS NOT AN ACCEPTABLE ALTERNATE BACKFILL MATERIAL...
4.8 THE SAME BACKFILL MATERIAL WILL BE USED OVER THE TANKS AND PIPING TO BASE OF PAVING...

5. TANK INSTALLATION:

- 5.1 ALL TANKS SHALL BE UL APPROVED...
5.2 TANKS TO BE FILLED BY GRAVITY ONLY...
5.3 DO NOT ROLL TANK...
5.4 RETEST TANK PER MFGR INSTRUCTIONS...
5.5 PROVIDE MINIMUM EXCAVATION CLEARANCES...
5.6 PROVIDE MINIMUM 36 INCH AND MAXIMUM 84 TANK BURIAL...
5.7 BACKFILLING OF BOTTOM OF FIBERGLASS TANKS IS CRITICAL...
5.8 COMPLETE AND PROVIDE TO OWNER ALL MFGR INSTALLATION CHECKLISTS...
5.9 IF TANKS OF DIFFERENT DIAMETERS ARE BEING INSTALLED...
5.10 BALLAST TANKS AS SOON AS PRACTICAL AFTER INSTALLATION...
5.11 TANK REPAIRS OR OTHER TANK UPGRADES SUCH AS SUMPS OR FITTINGS...

6. PIPING & FITTING INSTALLATION:

- 6.1 ALL PIPING SHALL MEET UL-971 AND APPLICABLE ASTM STANDARDS...
6.2 THE CONTRACTOR AND/OR HIS ON-SITE EMPLOYEES SHALL BE CERTIFIED...
6.3 PIPING SYSTEMS SHALL PROVIDE FLEXIBILITY FOR MOVEMENT...
6.4 ALL PIPING SHALL BE INSTALLED WITH MINIMUM 1/8" PER FOOT SLOPE...
6.5 THE CONTRACTOR SHALL EMPLOY ANY SPECIAL INSTALLATION TECHNIQUES...
6.6 ALL METAL RISERS OR BURIED METAL COMPONENTS...
6.7 ALL TANK TOP EQUIPMENT AND SUMPS SHALL BE INSTALLED...
6.8 PRIOR TO BACKFILLING, CONDUCT PIPE TESTING...
6.9 INSTALL UG DETECTABLE TAPE FOR ALL PIPING RUNS...
6.10 PIPE TRENCHES SHALL BE PROPERLY BARRICADED...
6.11 PIPE TRENCHES SHALL BE PROPERLY BARRICADED...

7. SUMP INSTALLATION:

- 7.1 ALL SUMPS WILL BE INSTALLED PER MFGR INSTALLATION GUIDELINES...
7.2 SUMPS TO BE INSTALLED TO PREVENT SURFACE OR GROUNDWATER INTRUSION...

8. OTHER EQUIPMENT:

- 8.1 DISPENSERS AND OTHER EQUIPMENT TO BE INSTALLED IN STRICT ACCORDANCE...
8.2 ALL WARRANTY PAPERWORK SHALL BE FORWARDED TO THE OWNER...
8.3 DISPENSERS SHALL BE PROPERLY ANCHORED...
8.4 ALL ELECTRICAL WORK WILL BE DONE IN ACCORDANCE WITH APPLICABLE ELECTRICAL CODES...
8.5 VERIFY WITH OWNER AS TO MINIMUM NUMBER OF CONDUIT TO BE PROVIDED...

9. TESTING:

- 9.1 ALL EQUIPMENT WILL BE TESTED PRIOR TO BEING PUT INTO OPERATION...
9.2 THE CONTRACTOR SHALL PROVIDE A MINIMUM OF THREE DAYS NOTICE...

10. PAVING:

- 10.1 ALL PAVING WILL BE PER THE OWNER'S SITE SPECIFIC SPECIFICATIONS...
10.2 EXISTING PAVEMENT SHALL BE SAWCUT AT THE EXTENT OF DISTURBANCE...
10.3 CONCRETE PAD OVER TANKS WILL EXTEND A MINIMUM OF TWO FT BEYOND...
10.4 CONCRETE TO BE SEALED USING "STARSEAL PS CLEAR" PENETRATING SEALANT...

Table with columns: ITEM, MFGR, MODEL NUMBER, COMMENTS. Lists various equipment items like tanks, sumps, piping, dispensers, and monitoring consoles.

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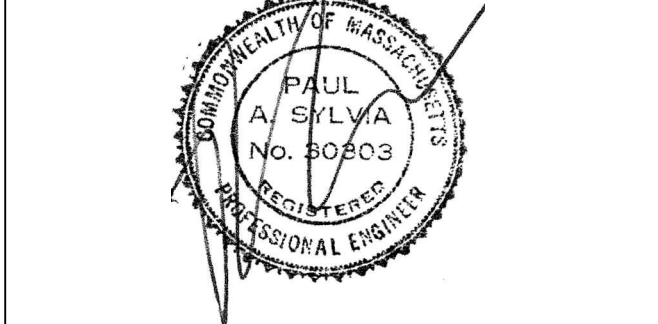
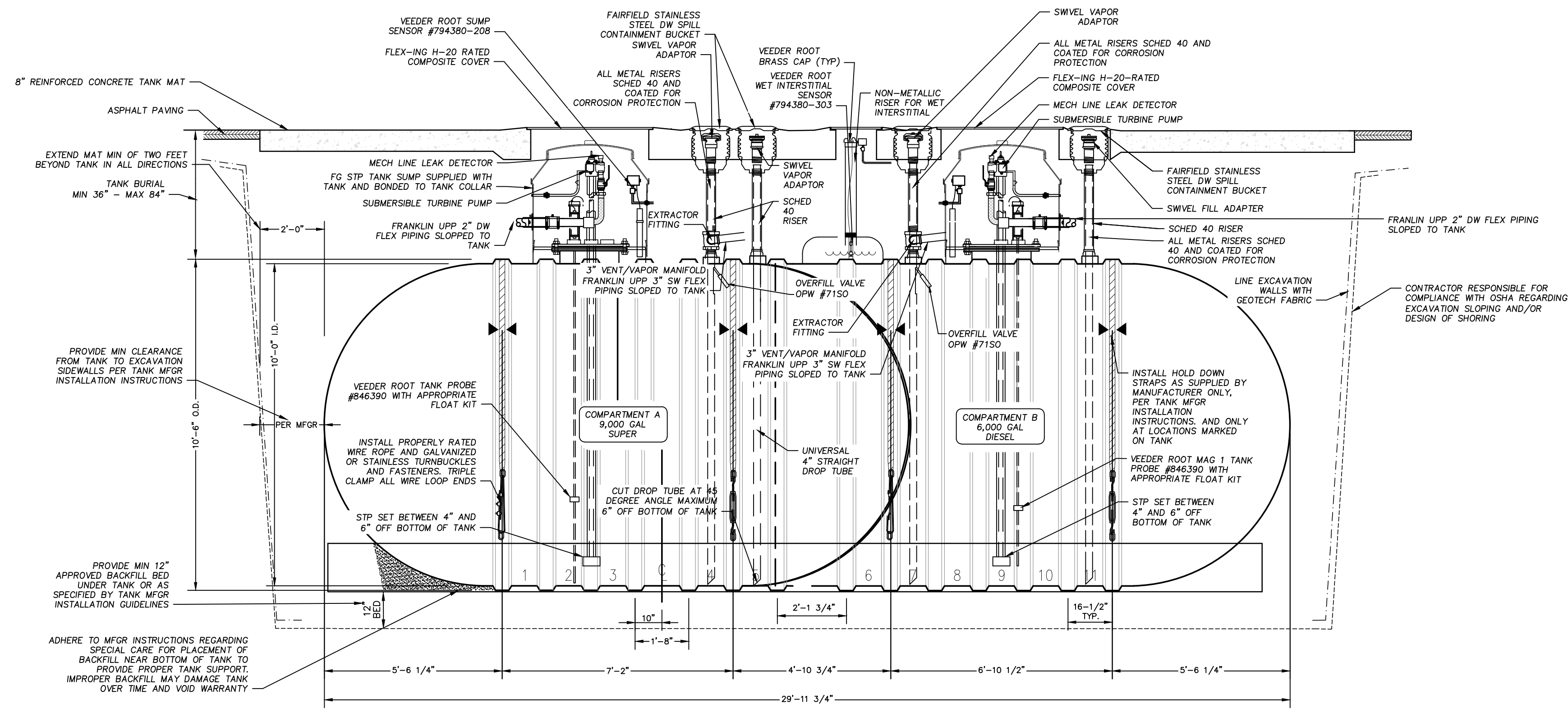


Table with columns: REV, PER, DATE, DESCRIPTION. A revision log table.

AYOUB ENGINEERING logo and address: 4114 BENEFIT STREET, FAUNTLETT, RHODE ISLAND 02861, 401-728-5555.

PROJECT: WESTWOOD, MA 394 PROVIDENCE HWY. PREPARED FOR: COLBEA ENPERPRISES, LLC. SHEET DESCRIPTION: TANK & PIPING STANDARDS.

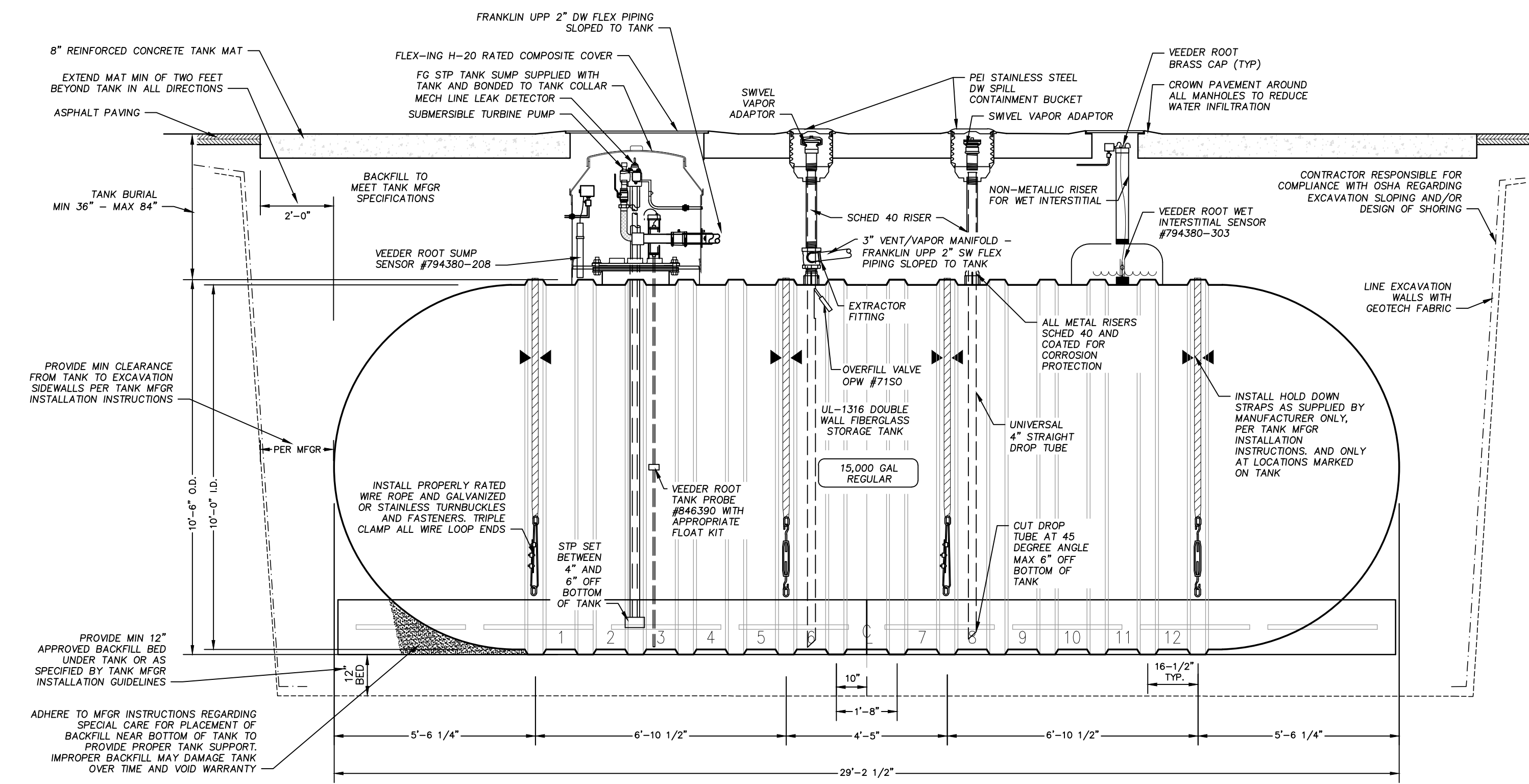
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NEW TANK ELEVATION

NOT TO SCALE

NOTE: TANK FITTING AND HOLD DOWN LOCATIONS ARE PROPOSED, TYPICAL, OR SCHEMATIC. REFER TO SITE SPECIFIC MANUFACTURER TANK SHOP DRAWINGS AND PROJECT OWNER SPECIFICATIONS FOR SPECIFIC FITTING LOCATIONS FOR EACH SITE SPECIFIC TANK AND ADJUST FITTING LOCATIONS AS NECESSARY.



NEW TANK ELEVATION

NOT TO SCALE

NOTE: TANK FITTING AND HOLD DOWN LOCATIONS ARE PROPOSED, TYPICAL, OR SCHEMATIC. REFER TO SITE SPECIFIC MANUFACTURER TANK SHOP DRAWINGS AND PROJECT OWNER SPECIFICATIONS FOR SPECIFIC FITTING LOCATIONS FOR EACH SITE SPECIFIC TANK AND ADJUST FITTING LOCATIONS AS NECESSARY.

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REV	PER	DATE	DESCRIPTION

AYOUB ENGINEERING
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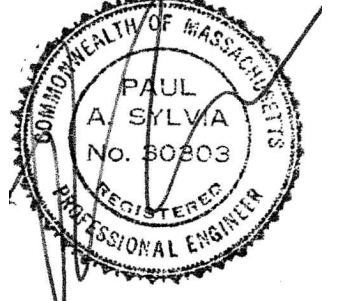
ADDRESS:
4114 BENEFIT STREET
FAWTCCKET, RHODE ISLAND 02861
401-728-5555

PROJECT
WESTWOOD, MA
394 PROVIDENCE HWY
COLBEA ENPERPRISES, LLC
CRANSTON RI 02909 PLAINFIELD PIKE
SHEET DESCRIPTION
TANK ELEVATIONS

PROJECT NO.	1702.114	SHEET NO.	TK-3
SCALE:	AS NOTED		
DRAWN BY:	RCD		
DATE:	04/24/2018		

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REVISIONS	DATE	DESCRIPTION

AYOUB ENGINEERING
ENGINEERS & ARCHITECTS
ADDRESS:
4114 BENEFIT STREET
PAWTUCKET, RHODE ISLAND 02861
401-728-5555

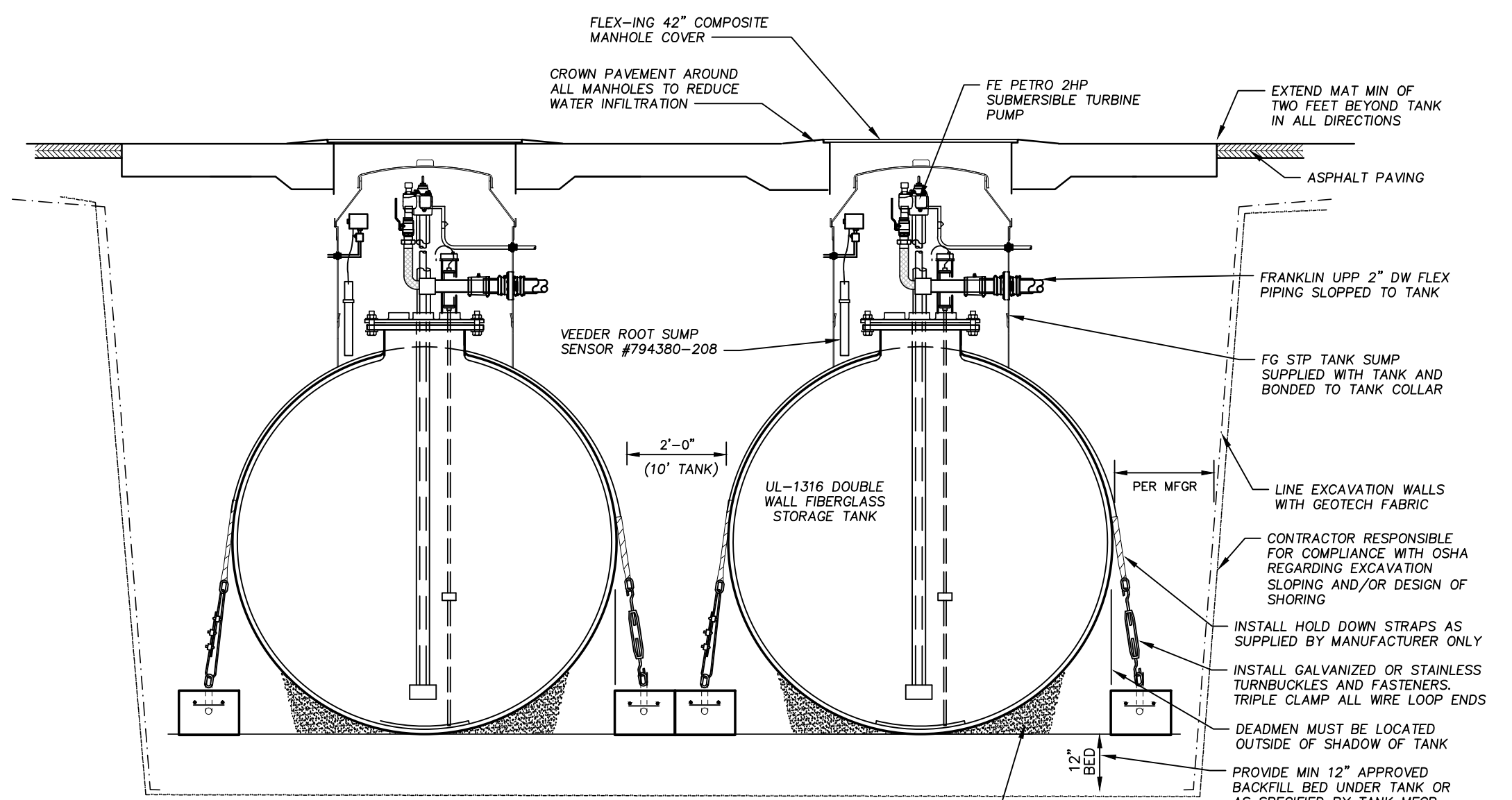
PROJECT
WESTWOOD, MA
394 PROVIDENCE HWY

PREPARED FOR
COLBEA ENTERPRISES, LLC
CRANSTON, RI 02906 PLAINFIELD PIKE

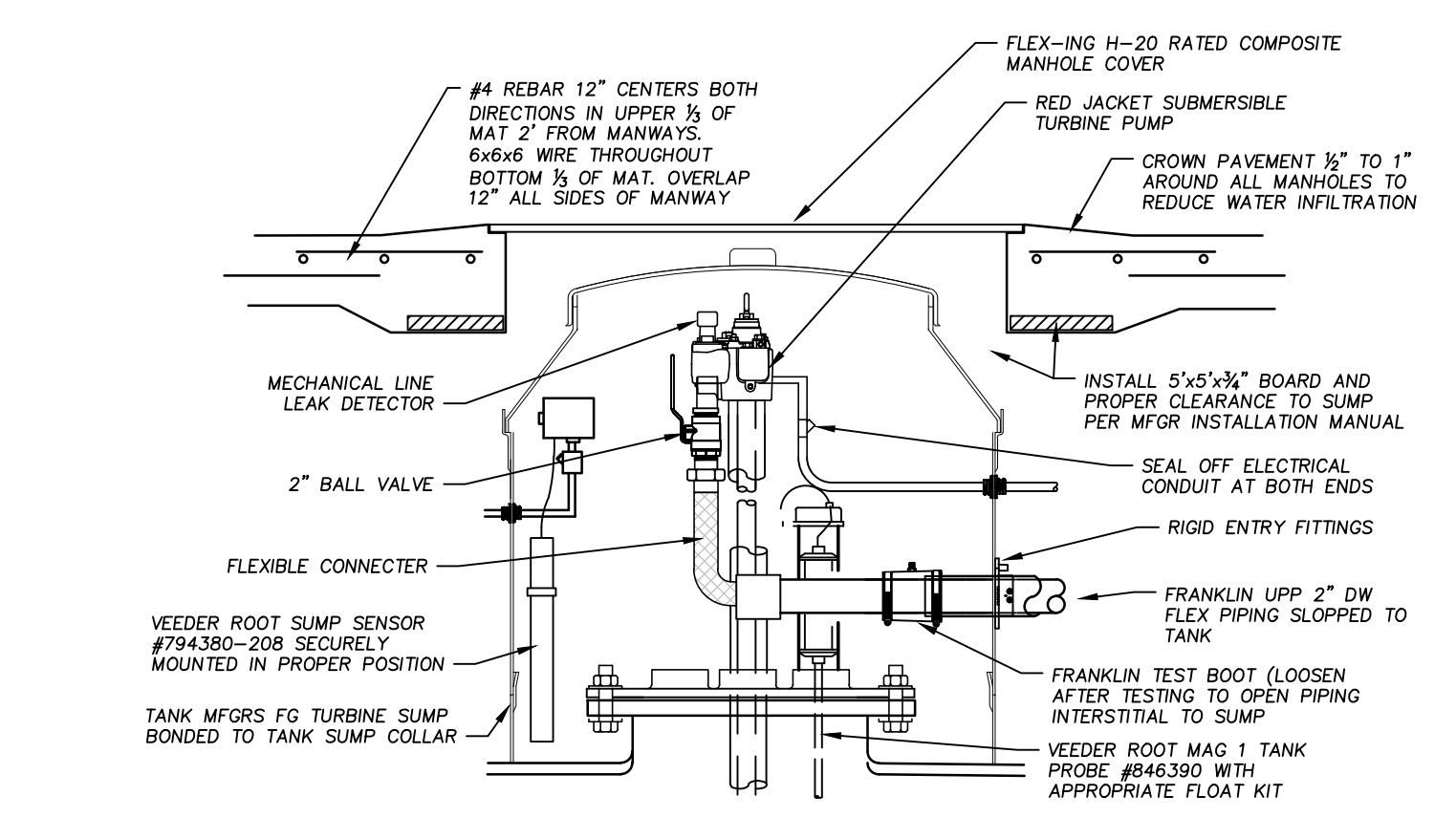
SHEET DESCRIPTION
TANK & PIPING DETAILS

PROJECT NO. 1702.114
SCALE: AS NOTED
DRAWN BY: RCD
DATE: 04/24/2018

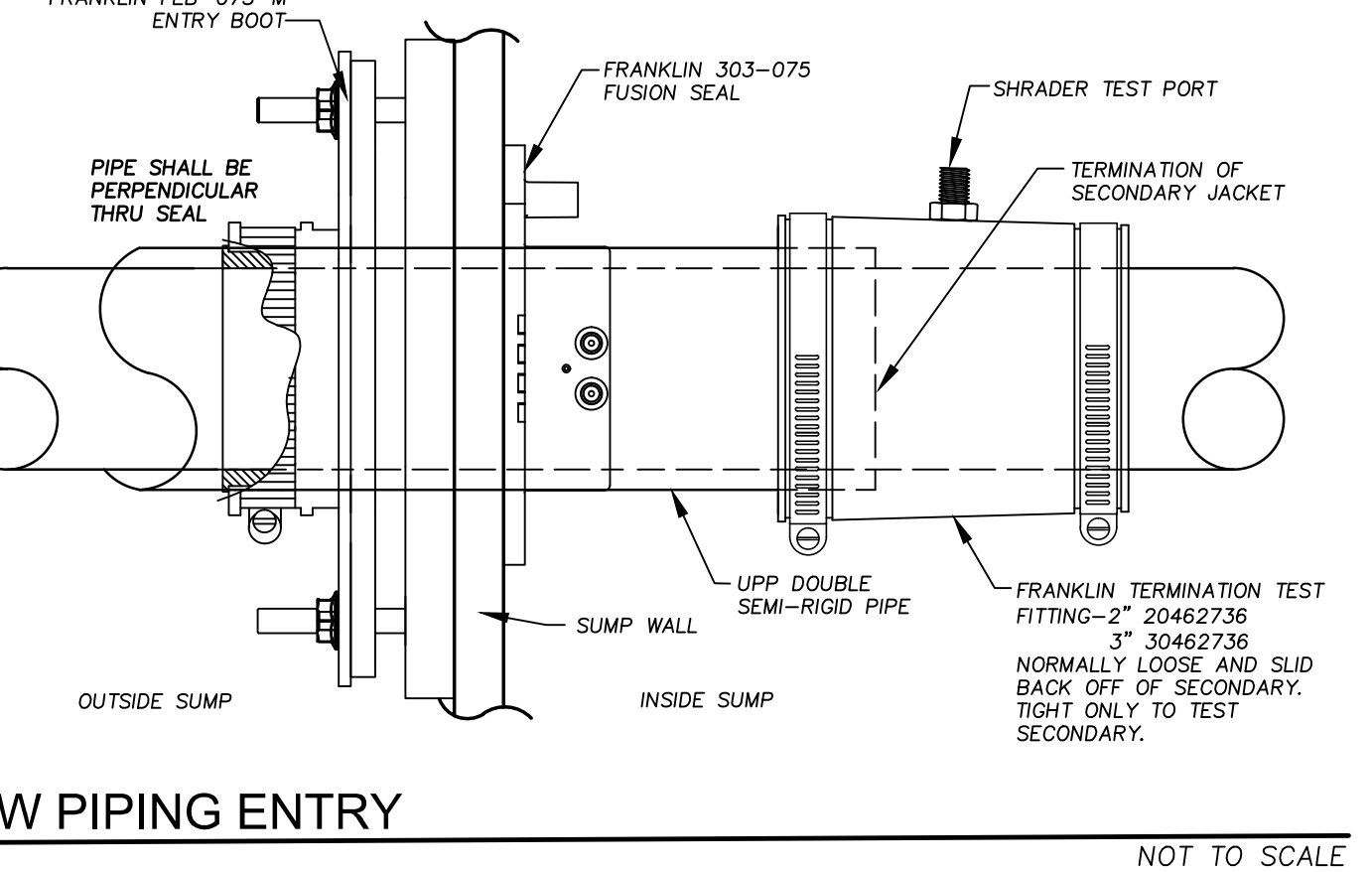
SHEET NO.
TK-4



TANK END ELEVATION
NOT TO SCALE



TANK SUMP
NOT TO SCALE



DW PIPING ENTRY
NOT TO SCALE

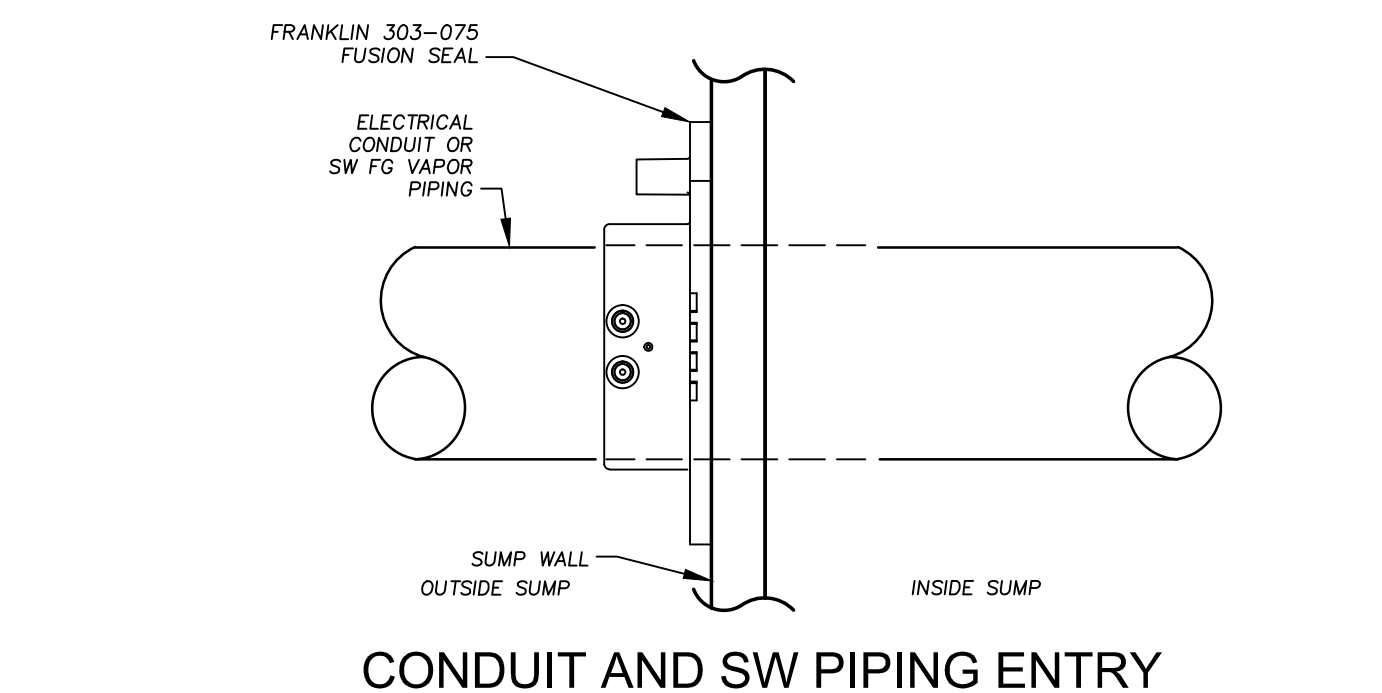
SEE MOST CURRENT MFGOR PIPING INSTALLATION MANUAL FOR MIN COVER REQUIREMENTS BASED ON PIPING SIZE AND PAVEMENT TYPE/THICKNESS:

PIPE SIZE	"A"	"B"
2" PIPE	18" IF (UNPAVED) 12" IF 4" ASPHALT 9" IF 4" CONCRETE 9" IF 6" CONCRETE 11" IF 8" CONCRETE	12" UNDER (UNPAVED) 8" UNDER 4" ASPHALT 5" UNDER 4" CONCRETE 3" UNDER 6" CONCRETE 3" UNDER 8" CONCRETE
3" PIPE	20" IF (UNPAVED) 13" IF 4" ASPHALT 11" IF 4" CONCRETE 10" IF 6" CONCRETE 12" IF 8" CONCRETE	14" UNDER (UNPAVED) 9" UNDER 4" ASPHALT 7" UNDER 4" CONCRETE 4" UNDER 6" CONCRETE 4" UNDER 8" CONCRETE

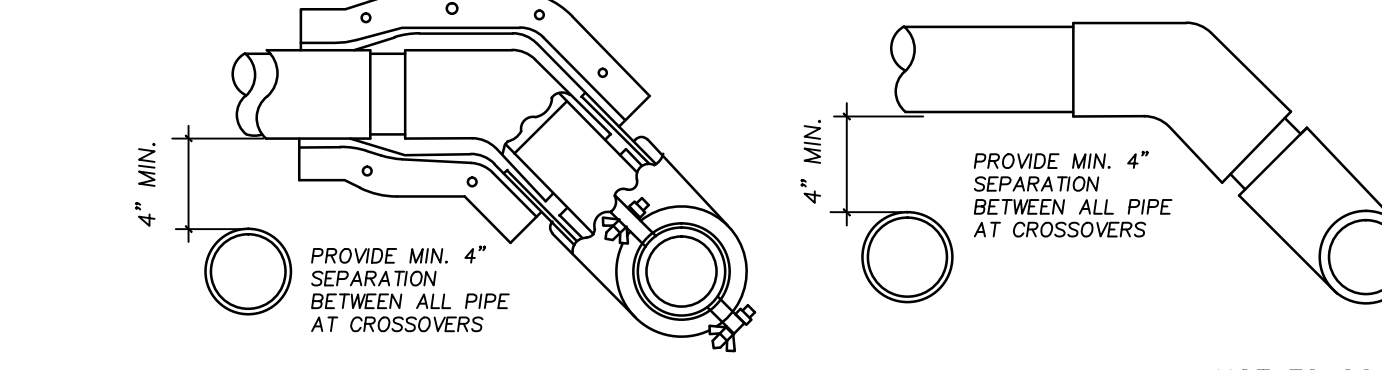
IF MFGOR MIN BURIAL LESS THAN 18", KEEP MIN. AT 18" WHEREVER POSSIBLE.

MAINTAIN 4" SEPARATION BETWEEN ALL PIPE RUNS. MAINTAIN MIN 4" BETWEEN FRP PIPING AND ALL OTHER PIPING SUCH AS ELECTRICAL CONDUIT. MAINTAIN 6" MIN BETWEEN PIPING AND TRENCH WALLS. PROVIDE MIN 6" SELECT BACKFILL BED UNDER PIPING. MAINTAIN FLEXIBLE CONNECTIONS AT ALL TERMINATIONS PER MFGOR SPEC. USING FLEXIBLE CONNECTOR OR MIN. 4"-0" FOR 2" PIPE AND 5'-4" FOR 3" PIPE DOG LEG OF STRAIGHT PIPE.

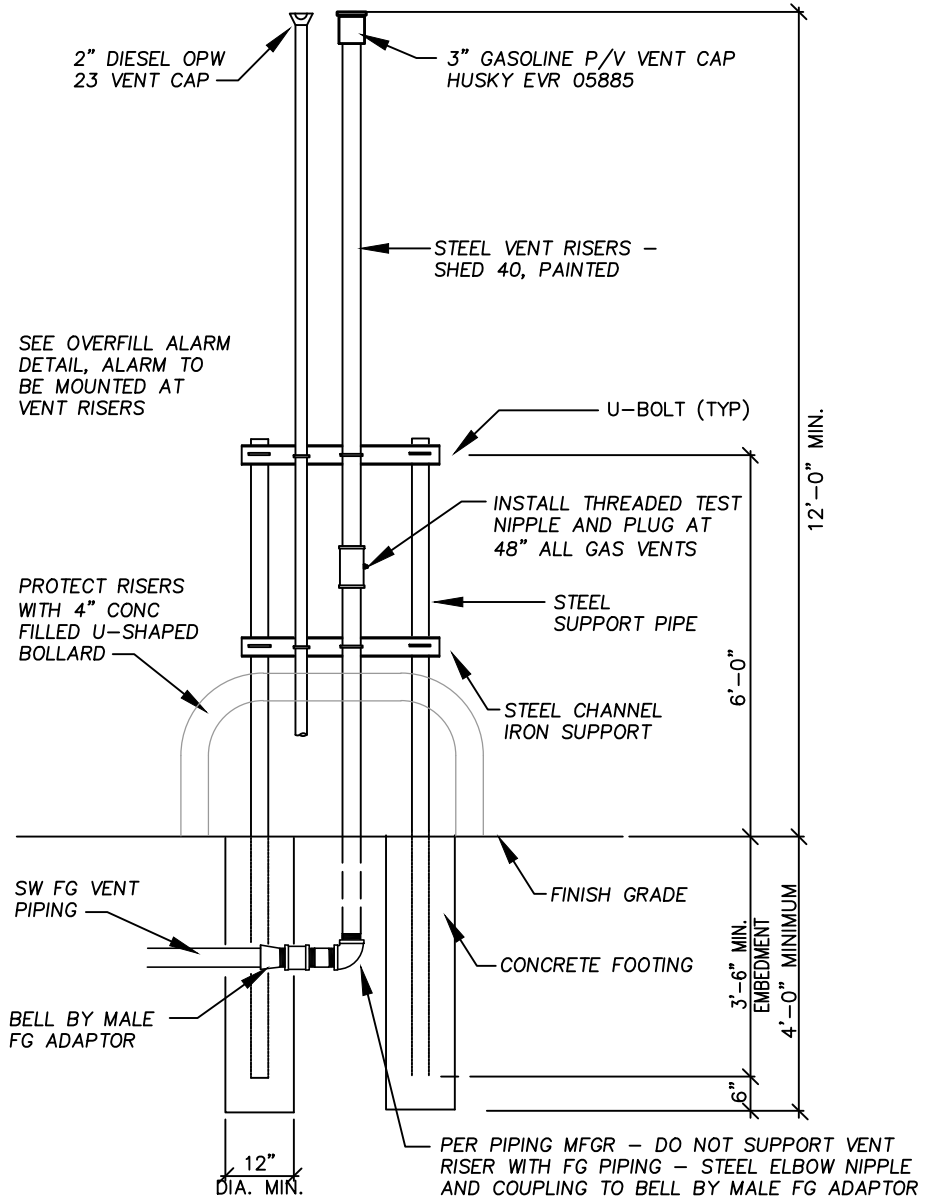
PIPE TRENCH
NOT TO SCALE



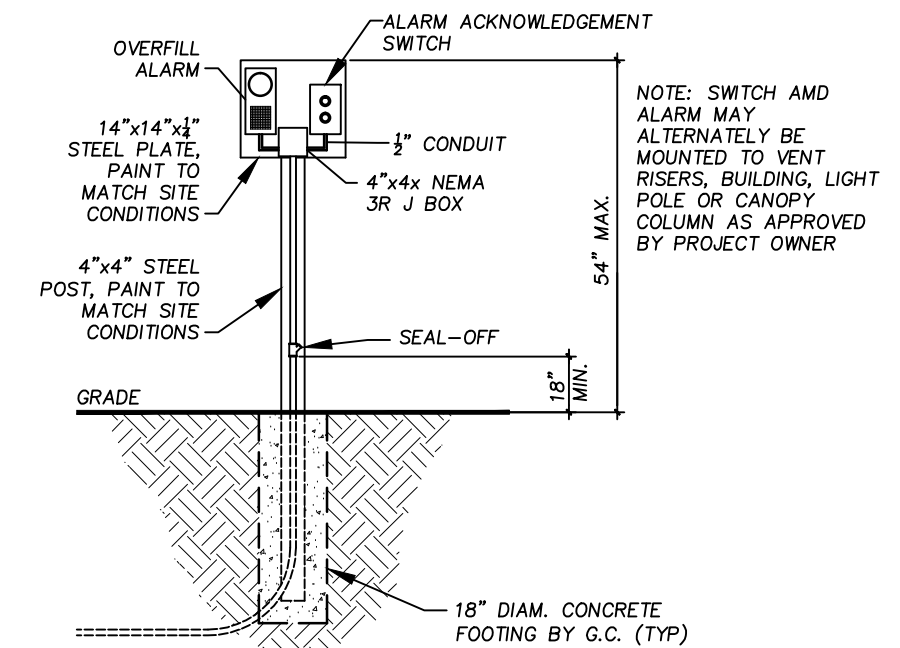
CONDUIT AND SW PIPING ENTRY
NOT TO SCALE



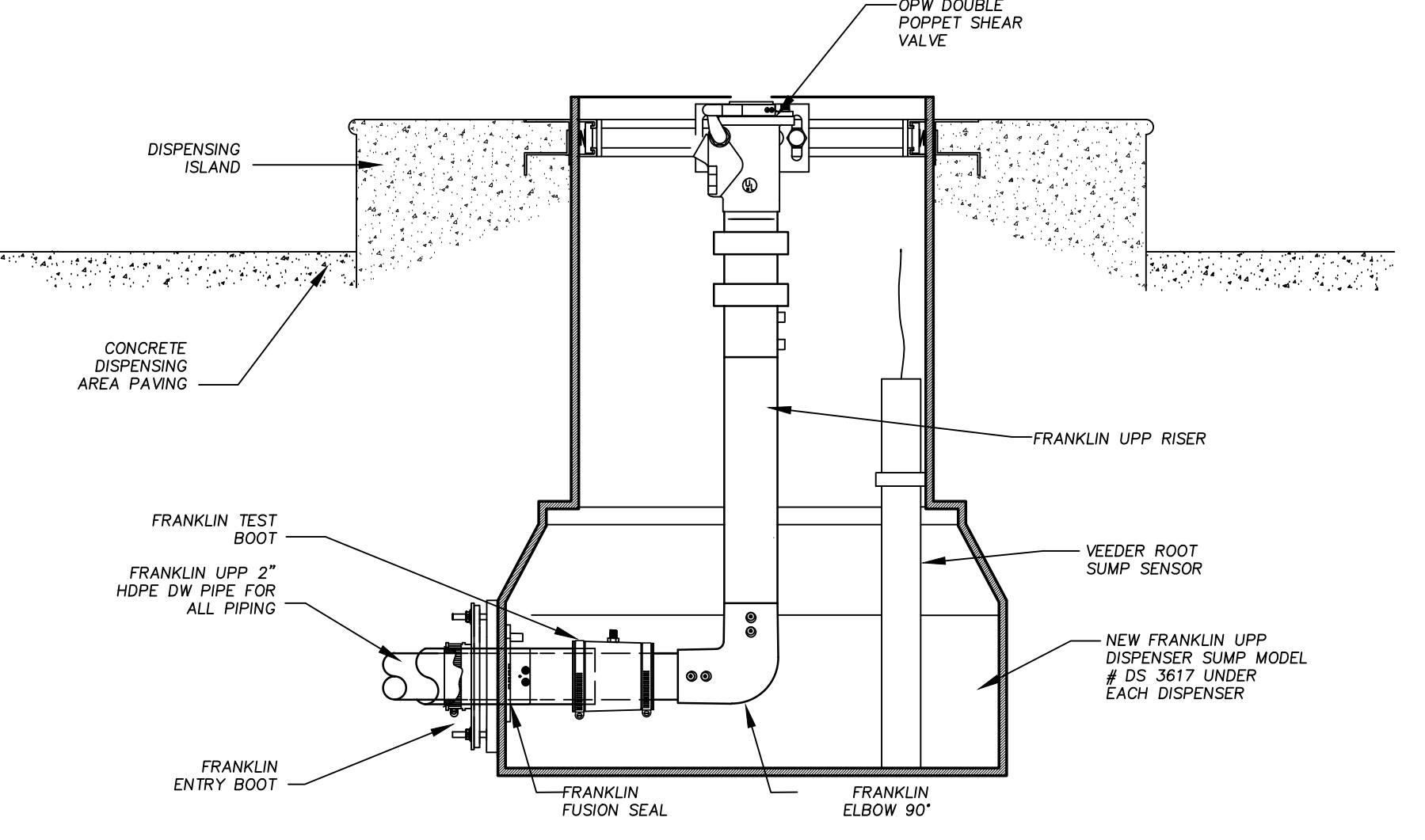
FG PIPE JUMPOVER
NOT TO SCALE



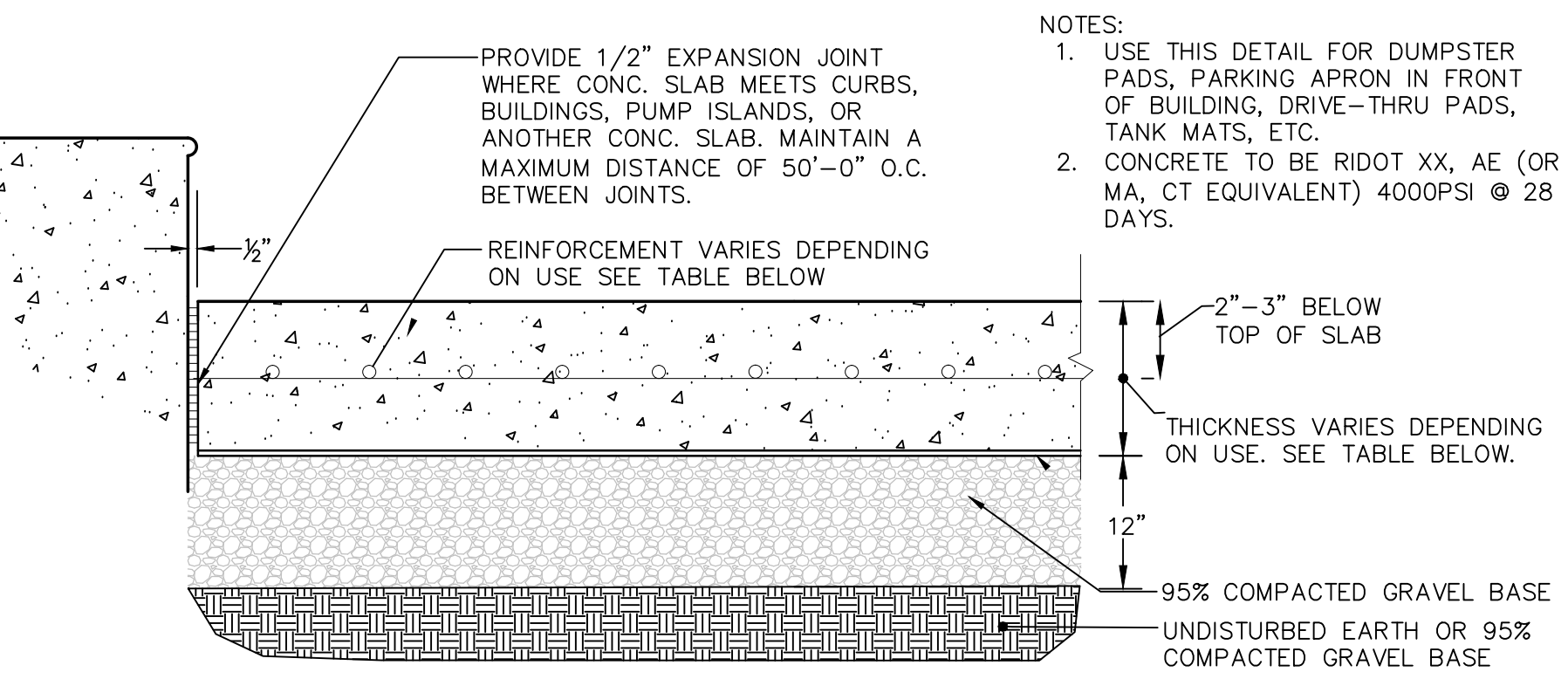
VENT RISER
NOT TO SCALE



OVERFILL ALARM
NOT TO SCALE



DISPENSER SUMP
NOT TO SCALE



	DUMPSTER PAD	TANK MATS	PARKING APRON	DRIVE-THRU PADS
THICKNESS	0'-8"	0'-8"	0'-6"	0'-6"
REINFORCEMENT	6"X6" - W6W WWF SHEETS	#4 REBAR - 12"X12"	6"X6" - W6W WWF SHEETS	6"X6" - W6W WWF SHEETS

CONCRETE SECTION DETAIL (VARIOUS USES)
NOT TO SCALE

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